

Chapter 18.15

Composite Building and Site Design Standards

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18.15.010 Generally

Purpose: This Chapter establishes a framework of guidelines, criteria, and standards for building and site design [to](#):

- Promote greater interest in the appearance, development, and redevelopment of all properties as it relates to a project, its surroundings, and throughout the community by providing guidance and direction for high quality development and redevelopment in Olathe; and*
- Protect the public health, safety, and welfare of the City, residents, property owners, business owners, and visitors; and*
- Implement the goals, objectives, and policies of PlanOlathe; and*

- *Encourage attractiveness, cohesiveness, and compatibility of buildings and sites ~~in-order~~ to achieve harmonious appearance and function while protecting property values; and*
- *Provide guidance for development and redevelopment while protecting the City's rich history and protecting natural resources throughout the built environment; and*
- *Maintain and improve the qualities of, and relationships between, individual buildings, structures and the physical development in such a manner as to best contribute to the amenities and attractiveness of the City.*

A. These ~~design composite~~ standards are minimum requirements. Applicants are encouraged to use higher quality materials, more frequent building articulation, higher connectivity, a greater amount of open or civic spaces, or a greater percentage of sustainable or green building design or materials.

~~**B.** The architectural design of single-family residences, their materials and color, shall be visually harmonious with the overall appearance of the community, natural environment, and other high-quality development approved within the City. The exterior appearance of single-family residences shall consist of complimentary building materials and design features that provide a variation in amenities and features and incorporate high quality standards into the building layout, open space, natural topography, sustainability practices and overall character. The visual elements and amenities will be proportional to the relationships and patterns of the built and natural environment while providing decorative detailing and utilizing high quality materials.~~

~~**C.** The zoning regulations (Chapter ~~18.20~~) provide the combinations of building and site design that are allowed in each zoning district. In many districts, higher quality materials or more compact development patterns are associated with higher density, building height or floor area.~~

~~Instead of creating new zoning districts or a series of overlay districts, composite zoning embeds the standards for use, building design, and site design into general district categories. This creates a customized set of standards that the City can administer for all new zoning cases, instead of having to negotiate individual standards for each new application.~~

~~**D.** For the purposes of composite design standards, nonresidential uses (i.e., churches and schools) that are permitted in residential zoning districts will be considered under Building Design Category C and Site Design Category 3. These types of uses should be comparable to a Neighborhood Commercial Center.~~

Example: The C-1 district provides a set of dimensional standards for Site Design Category 3 or 4 with Building Design Category D or E, Site Design Category 4 with Building Design Category C, or Site Design Category 3 with Building Design Category C. Building Design Category F and Site Design Categories 5 and 6 are not allowed in the C-1 district (Site Design Categories 1 and 2 and Building Design Categories A and B are applicable only to residential zoning districts). (Ord. 18-48 § 2, 2018)

18.15.100 Composite Site Design Standards

A range of composite site design categories are provided to promote compatibility with surrounding land uses and community features, while providing realistic and flexible standards for new development. ~~The site design categories that apply to an area are designated on the zoning Future Land Use map.~~ Some site design categories are intended to promote design character and quality that are compatible with abutting features and neighborhoods (such as a key corridor or residential neighborhood), while other areas are intended to promote maximum design flexibility. ~~The range of design standards that apply in each site design category are briefly summarized in the table below. This summary table is for reference purposes only; the applicable design standards are detailed the remainder of this Chapter.~~

The table below establishes the site design categories for a development based upon its location on the Future Land Use Map in Plan Olathe. If the proposed land use does not align with Plan Olathe, the zoning district for the property will be used to determine the applicable site design category.

Table 15-9. Summary of Composite Site Design Standards

	1	2	3	4	5	6
Future/Proposed Land Use Map Category	Conventional Neighborhood	Conservation/Cluster Neighborhood	Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood	Commercial Corridor, Regional or Community Commercial Center	Employment Area	Industrial Area
Typical Zoning District	R-1	R-1	N, C-1, D, R-2, R-3, R-4	C-2, C-3, C-4	O, BP, M-1	M-2, M-3
Open Space	Moderate amount of landscaping	High level of passive open space oriented	Open space primarily provided as	Some open space provided as patios and	Significant perimeter landscaping to	Significant perimeter landscaping

	1	2	3	4	5	6
Future/Proposed Land Use Map Category	Conventional Neighborhood	Conservation/Cluster Neighborhood	Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood	Commercial Corridor, Regional or Community Commercial Center	Employment Area	Industrial Area
Typical Zoning District	R-1	R-1	N, C-1, D, R-2, R-3, R-4	C-2, C-3, C-4	O, BP, M-1	M-2, M-3
	(perimeter-only)	around-natural-features	patios-and-courtyards-Limited-urban-landscaping-to-promote-pedestrian-orientation-and-reduce-visual-impacts-of-parking	courtyards-Significant-landscaping-to-reduce-visual-impacts-of-parking-and-enhance-community-image	enhance-community-image	where-adjoining-other-uses
Building Placement	Buildings-located-to-allow-for-front-and-rear-yards	Buildings-clustered-to-preserve-open-space	Buildings-located-near-the-sidewalk-edge	Buildings-located-near-the-sidewalk-edge-or-set-back	Buildings-located-to-allow-for-front-yards	Buildings-set-back-from-the-sidewalk-edge
Parking	No-special-considerations	No-special-considerations	Parking-located-to-the-rear-or-side-of-buildings-in-small-modules-/Quantity-limited	Parking-set-back-from-the-sidewalk-edge-in-landscaped-lots-/Sufficient-quantity	Parking-set-back-from-the-sidewalk-edge-in-landscaped-lots-/Sufficient-quantity	Parking-set-back-from-the-sidewalk-edge-/Sufficient-parking
Pedestrian Circulation	Sidewalks-and-paths-provide-connections	Trails-and-paths-provide-connections	Buildings-are-connected-to-the-street-and-transit-/Sidewalks-and-paths-connect-to-greenways-and-neighborhoods	Buildings-are-connected-to-the-street-and-transit-/Sidewalks-and-paths-connect-to-greenways-and-neighborhoods	Paths-and-sidewalks-connect-buildings-and-parking	No-special-considerations

	1	2	3	4	5	6
Future/Proposed Land Use Map Category	Conventional Neighborhood	Conservation/Cluster Neighborhood	Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood	Commercial Corridor, Regional or Community Commercial Center	Employment Area	Industrial Area
Typical Zoning District	R-1	R-1	N, C-1, D, R-2, R-3, R-4	C-2, C-3, C-4	O, BP, M-1	M-2, M-3
Vehicular Circulation	Streets provide sufficient connectivity	No special considerations	Narrow drive lanes / limited curb cuts / Off-street connections between parcels	Moderate drive lanes / limited curb cuts / Off-street connections between parcels	No special considerations	Adequate drive lanes for trucks / limited curb cuts
Drainage	Provides site amenities	Integrated with natural open space	Provides site amenities	Provides site amenities	Provides site amenities	No special considerations
Buffer Area	Landscape buffer adjacent to other land uses	Landscape buffer adjacent to other land uses	Landscape buffer or setback adjacent to existing single-family at perimeter of the development or Centers	Landscape buffer adjacent to single-family	Landscape buffer adjacent to single-family	Wide-landscape buffer adjacent to single-family

18.15.105 Site Design Category 1

~~Composite~~ Site Design Category 1 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Conventional Neighborhoods. The following ~~general~~ site design standards apply to all projects in Site Design Category 1. [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 1



Table 15-10. General Design Standards for Site Design Category 1

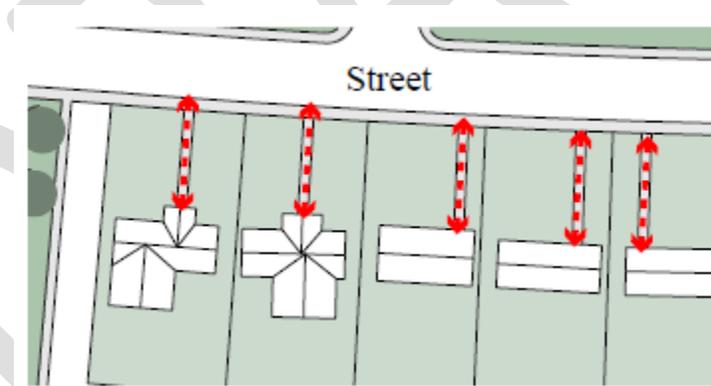
Connectivity		
A	Pedestrian Connections	Required – See menu options
B	Street Connections	Required for development with more than 25 lots – See § 18.30.220
Buffer Area Adjacent to Other Uses		
C	Landscaped buffer area adjacent to arterial streets or non-residential uses	Required – See design options

A. Menu of Pedestrian Connection Options for Site Design Category 1

Individual homes in Site Design Category 1 must be connected to the surrounding pedestrian network using one of the following options [methods](#):

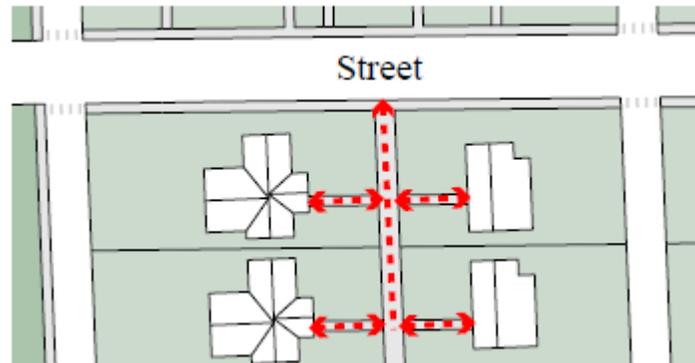
1. Public Sidewalk Connection

A walkway or driveway from a residence that connects directly to a public sidewalk.



2. Internal Path to a Public Sidewalk

A walkway within a development that leads directly to a public sidewalk on the perimeter.



B. ~~Design Standards for Street Connectivity in Site Design Category 1~~

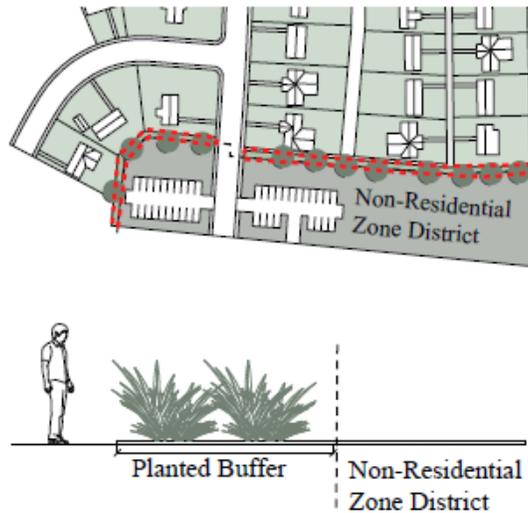
See § [18.30.220](#) for street connectivity and design requirements [for development with more than 25 lots](#).

C. ~~Required Landscaped Buffer Area for Site Design Category 1~~

Buffer standards apply to development in Site Design Category 1 ~~that is~~ [when](#) located adjacent to any arterial street or any non-residential zoning district. Standards are intended to promote a pedestrian-friendly edge to the development and enhance community image. One of the following landscaping strategies must be used within the required minimum setback area on the edges of a residential site adjacent to an arterial street or any non-residential zoning district. ~~For additional landscaping standards see § 18.30.130.~~

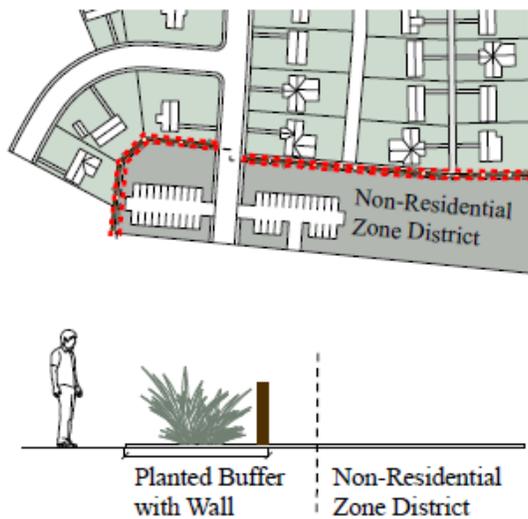
1. Planted Buffer with No Fence or Wall

A landscaped area that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.



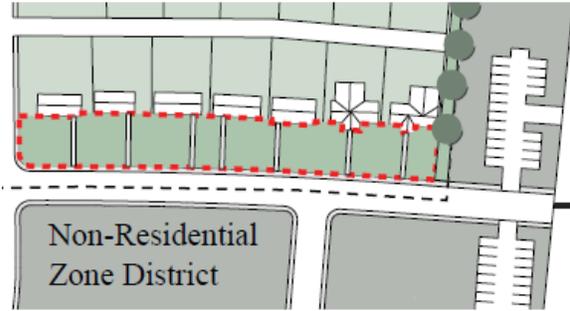
2. Planted Buffer with a Fence or Wall

A landscaped area that is at least 7 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall ~~shall~~must be located within the landscape area and ~~should~~ include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (↔ See § [18.50.050](#) for fence height and design).



3. Street-facing Yard

A landscaped area between the public sidewalk and the front(s) of residences that is a minimum of 20 feet deep.



18.15.110 Site Design Category 2

Composite Site Design Category 2 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Conservation Neighborhoods. The following **general** site design standards apply to all projects in Site Design Category 2: [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 2



Table 15-11. General Design Standards for Site Design Category 2

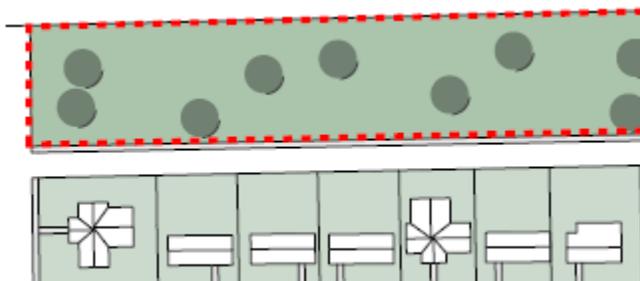
Open Space		
A	Common Open Space	Required – See menu options
Connectivity		
B	Pedestrian Connections	Required – See menu options
C	Street Connections	Required – See menu options
Buffer Area Adjacent to Other Uses		
D	Landscaped buffer area adjacent to arterial streets or non-residential uses	Required – See design options

A. Menu of Common Open Space Options for Site Design Category 2

Development in Site Design Category 2 must provide common open space areas to provide for natural resource protection and recreational opportunities for residents. ~~Select~~, using at least two of the following ~~tools~~ methods:

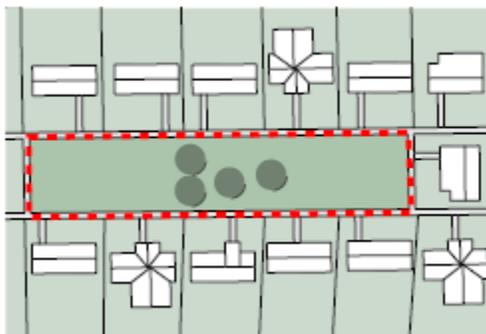
1. Natural Area

A stand of mature trees, shrubs or bushes and/or natural features such as rock outcroppings, hills or other viewpoints.



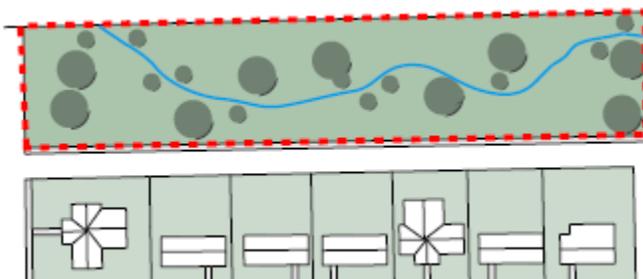
2. Common Green Area

A common green space shared by neighboring residents property owners that may include a lawn, a stand of trees, or shrubs.



3. Natural Drainage Area

Natural streams, lakes, ponds and other drainage areas with indigenous plants, native rocks and other features (note that artificial drainage areas meeting the standards for Design of Open Storm Drainage and Detention Areas may also be used to meet common open space standards).

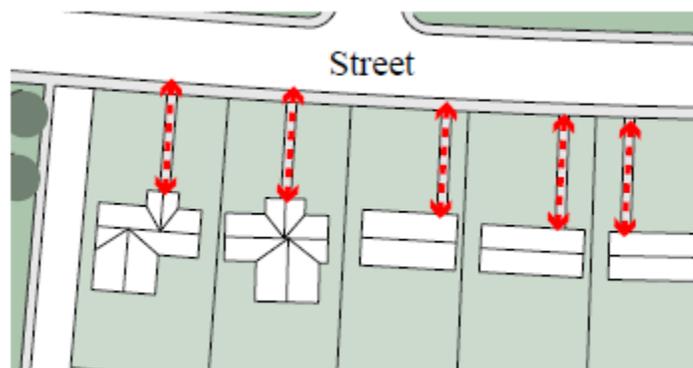


B. ~~Menu of Pedestrian Connection Options for Site Design Category 2~~

Individual homes in Site Design Category 2 must be connected to the surrounding pedestrian network and open space system using one of the following ~~options~~ methods:

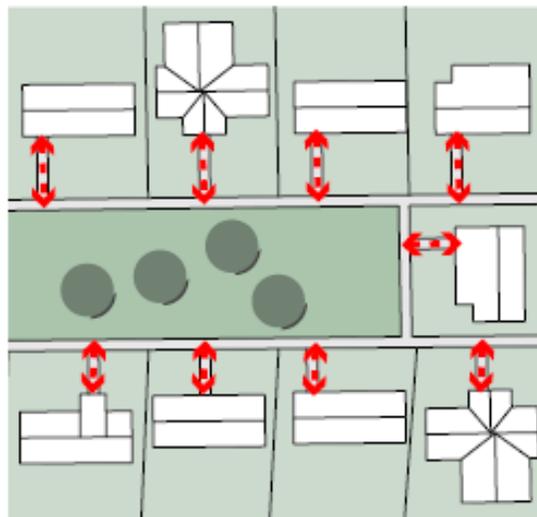
1. Public Sidewalk Connection

A walkway or driveway from a residence that connects directly to a public sidewalk.



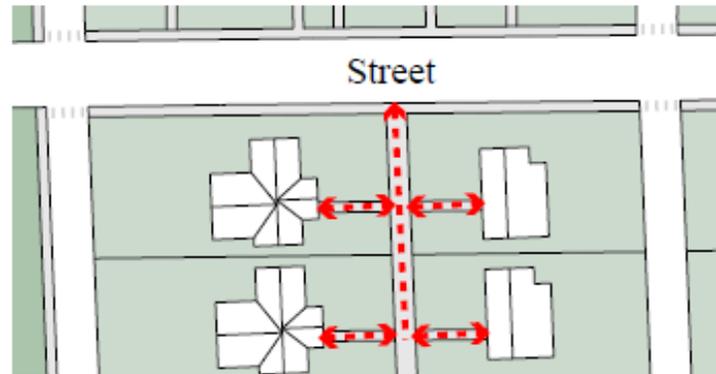
2. Connection to Common Open Space

A walkway from a residence that connects directly to common open space such as a natural area or common green area.



3. Internal Path to a Public Sidewalk

A walkway within a development that leads directly to a public sidewalk on the perimeter.



C. ~~Design Standards for Street Connectivity in Site Design Category 2~~

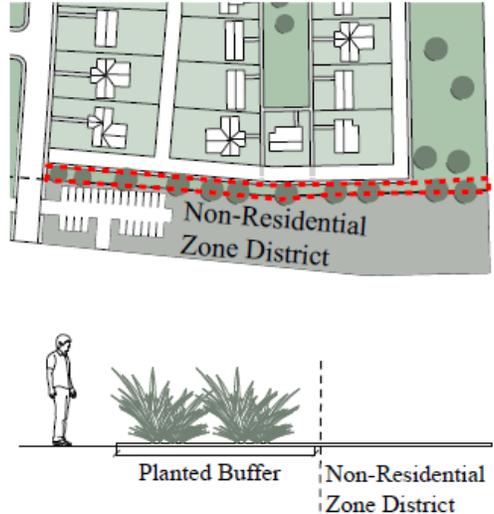
Development using Site Design Category 2 is not subject to the connectivity ratio requirements, but is subject to the street standards in § [18.30.220](#).

D. ~~Required Landscaped Buffer Area for Site Design Category 2~~

Buffer standards apply to development in Site Design Category 2 ~~that is~~ when located adjacent to any arterial street or any non-residential zoning district. Standards are intended to promote a pedestrian-friendly edge to the development and enhance community image. One of the following landscaping strategies must be used within the required minimum setback area on the edges of a residential site adjacent to an arterial street or any non-residential zoning district. ~~For additional landscaping standards See § 18.30.130.~~

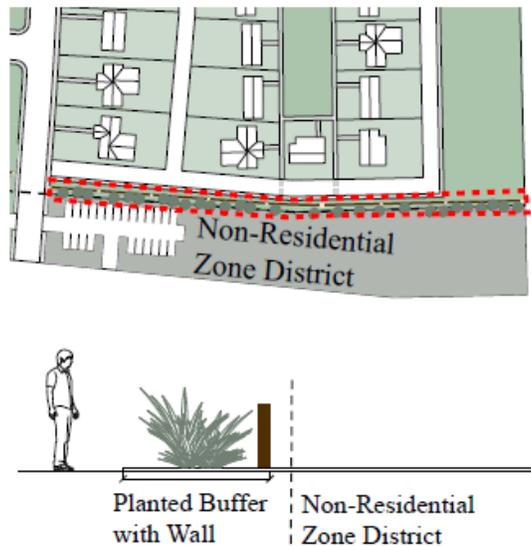
1. Planted Buffer with No Fence or Wall

A landscaped area that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.



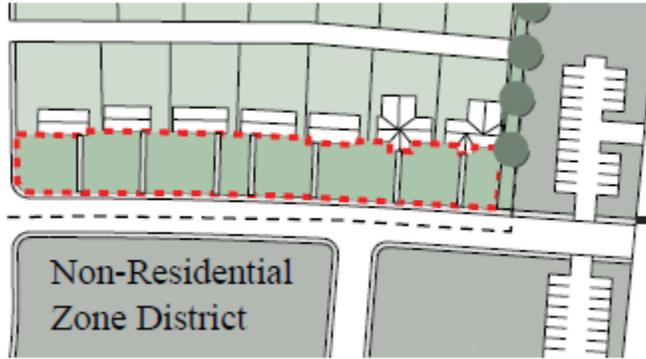
2. Planted Buffer with a Fence or Wall

A landscaped area that is at least 7 feet deep with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall shall **must** be located within the landscape area and **should** include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (↔ See § [18.50.050](#) for fence height and design).



3. Street-facing Yard

A landscaped area between the public sidewalk and the front(s) of residences that is a minimum of 20 feet deep.



18.15.115 Site Design Category 3

~~Composite~~ Site Design Category 3 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Neighborhood Centers, Urban Centers, Transit Oriented Development Centers and Mixed-Use Residential Neighborhoods. The following ~~general~~ site design standards apply to all projects in Site Design Category 3: [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 3

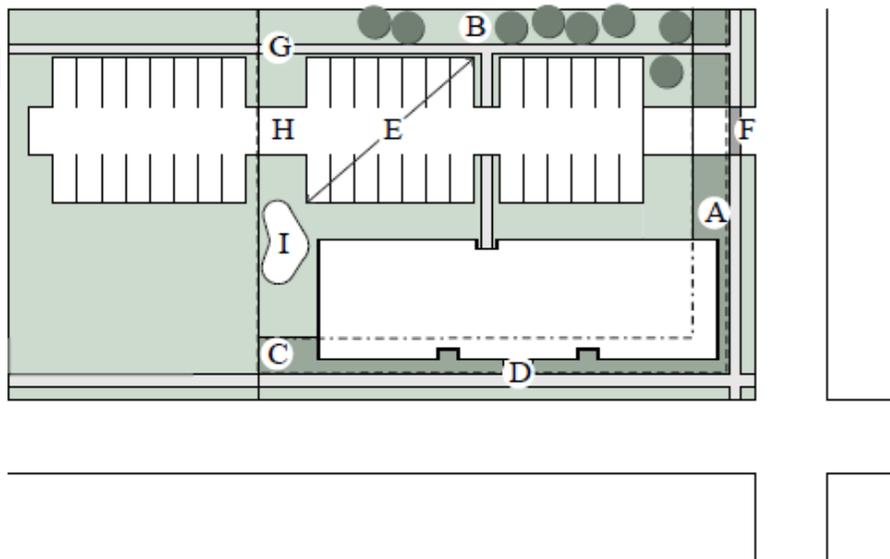


Table 15-12. General Design Standards for Site Design Category 3

Open Space		
A	Landscaping Adjacent to Sidewalks	Required where building façades are not located in the frontage area— See menu options
B	Outdoor Amenity Space	Required for development with more than 65% open space or larger than 4 acres— See menu options
Building Placement		
C	Street Frontage Area for Commercial/Mixed Use Buildings (min./max. from property line)	0 feet/15 feet
D	Façade Width in Frontage Area (min. % of lot width) — for commercial/mixed use	30% ¹
E	Parking Pod Size (max. spaces)	40
Connectivity		
F	Pedestrian Circulation System	Required — See design standards
G	Additional Pedestrian Connectivity	Required — See menu options
H	Connections to Driveways on Adjacent Properties	Required where possible
Drainage Features		
I	Open Drainage and Detention Areas Designed as Amenities	Required — See design options

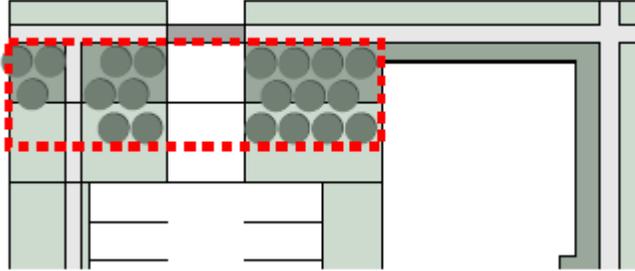
¹ Exceptions provided for Civic uses. The Planning Official may reduce required façade width in setback area to support preservation of significant trees or tree clusters.

A. Menu of Landscape Options for Site Design Category 3

Development in Site Design Category 3 must provide landscaping along sidewalks where building façades are not located within the minimum frontage area to enhance community image and support pedestrian activity. ~~Select one of the following options~~ [using one of the following methods:](#)

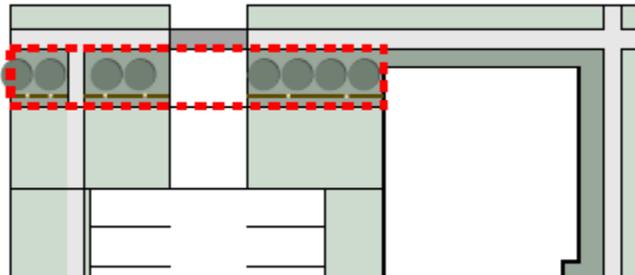
1. Planted Buffer with No Fence or Wall

A landscaped area at the sidewalk edge that is at least 20 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.



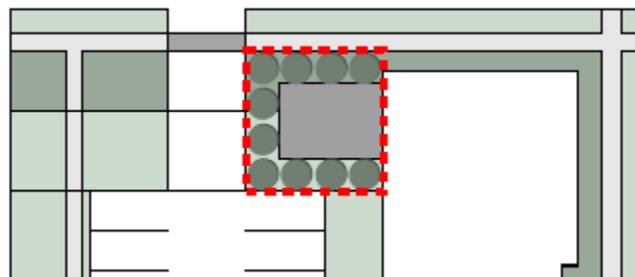
2. Planted Buffer with a Fence or Wall

A landscaped area at the sidewalk edge that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall **shall** **must** be located within the landscape area and **shall** include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (↔ See § [18.50.050](#) for fence height and design).



3. Plaza or Courtyard

An area that is paved but also includes amenities - These may include plant materials, sculptural or water features, public art or outdoor seating.

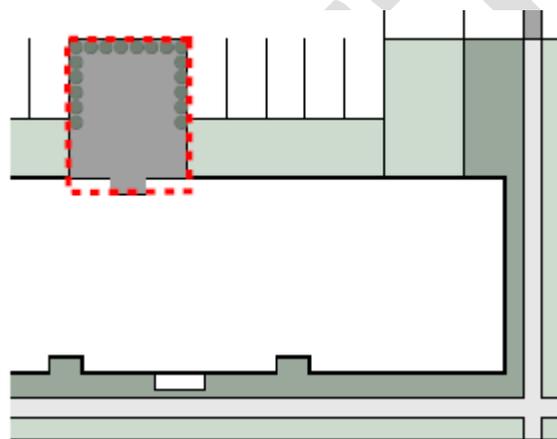


B. ~~Menu of Outdoor Amenity Space Options~~ for Site Design Category 3

Development in Site Design Category 3 that is greater than 4 acres in size or includes more than 65% open space (low coverage of buildings) must include outdoor amenity space to enhance the public realm and promote pedestrian activity. Select one or more of the following ~~options~~ methods to cover at least 10% of the site area:

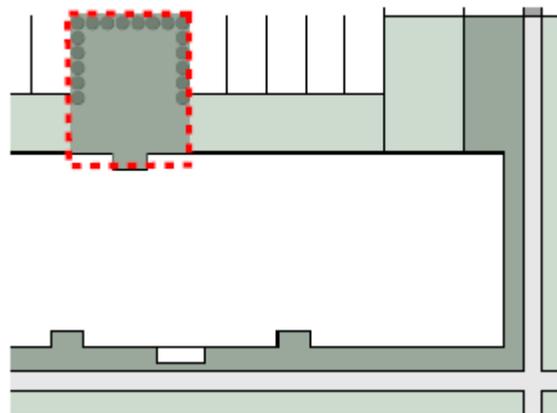
1. Plaza or Courtyard

A common use area directly accessible from adjoining buildings that includes decorative paving, street furniture, planters and/or pergolas or other shade structures.



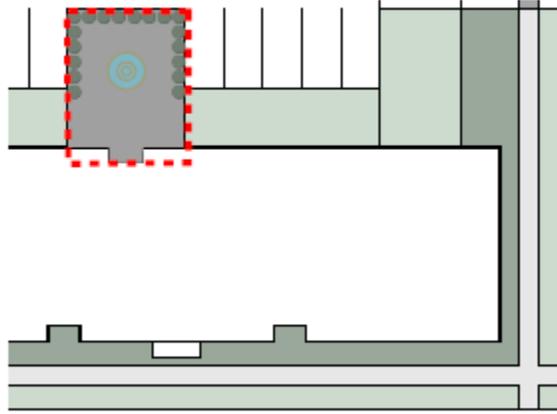
2. Common Green Area

A common green space shared by users of the development that may include a lawn, a stand of trees, or shrubs.



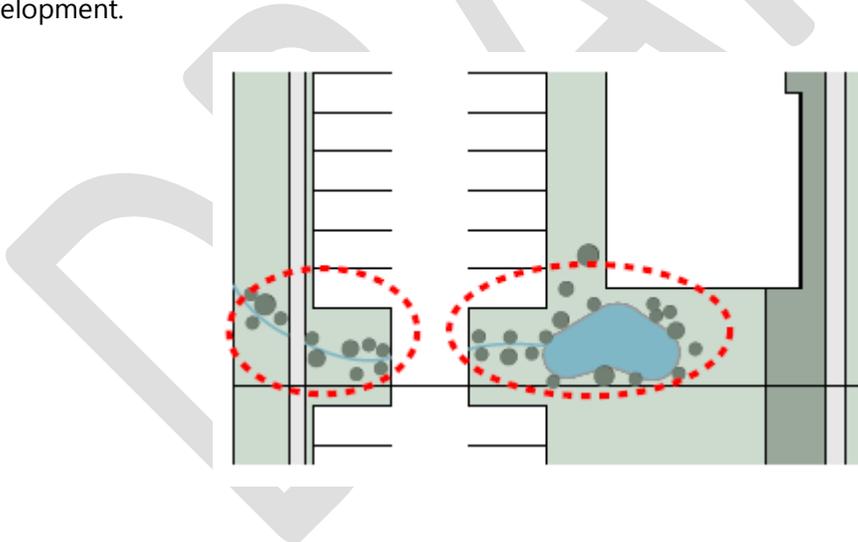
3. Water Feature

A fountain or decorative pool shared by users of the development (note that properly designed artificial drainage areas may also be used to meet common open space standards).



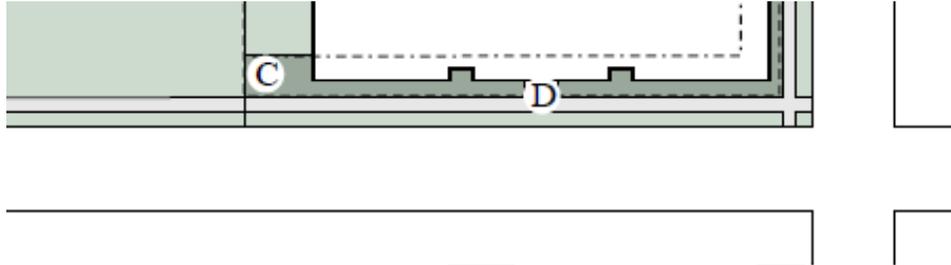
4. Natural Feature

Stands of mature trees or natural drainage areas retained as an amenity for users of the development.



C. ~~Street Frontage Area for Site Design Category 3~~

~~See Table 15-12. Street frontage area for commercial/mixed use buildings: 0 feet (min.) from property line / 15 feet (max.) from property line. Street frontage area for commercial and mixed-use buildings in Site Design Category 3 must be a maximum of 15 feet as measured from the property line.~~



D. ~~Façade Width in Frontage Area for Site Design Category 3~~

~~See Table 15-12. The façade width within the frontage area of a site must be a minimum of 30% of the lot width for commercial and mixed-use buildings as illustrated in Figure 1 of this Section. The Planning Official may reduce the required façade width in the setback area to support preservation of significant trees or tree clusters.~~

E. ~~Maximum Parking Pod Size for Site Design Category 3~~

~~See Table 15-12. The maximum number of parking stalls allowed in one parking pod, as illustrated in Figure 1 of this Section, is 40.~~

F. ~~Design Standards for Pedestrian Street Connectivity in Site Design Category 3~~

Development in Site Design Category 3 must provide an internal public or private street system with a connectivity ratio of at least 1.7 (see § [18.30.220](#)).

G. ~~Menu of Additional Pedestrian Connection~~ Connectivity Options for Site Design Category 3

1. ~~Design Standards for Pedestrian Circulation System in Site Design Category 3~~

Development in Site Design Category 3 must provide a coordinated pedestrian and bicycle system to provide convenient pedestrian access within the site and to adjacent development. All sites must provide:

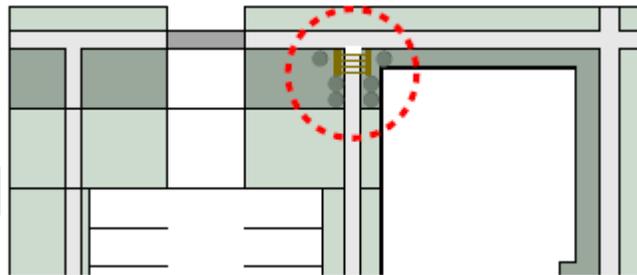
- a.** Direct pedestrian connections between buildings on the site; and
- b.** Paving materials that differentiate pedestrian ways from parking spaces and automobile travel lanes; and
- c.** Direct pedestrian connections to adjacent transit stops.

2. Additional Pedestrian Connection Options

Development in Site Design Category 3 must provide enhanced pedestrian connections to encourage pedestrian use, integrate with surrounding land uses or connect to regional paths and trails. Select at least two of the following ~~options~~ methods:

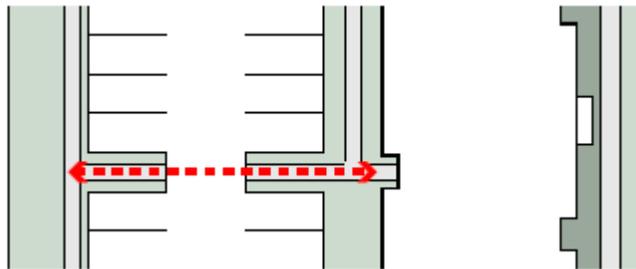
a. ~~1.~~ Pedestrian Gateway

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.



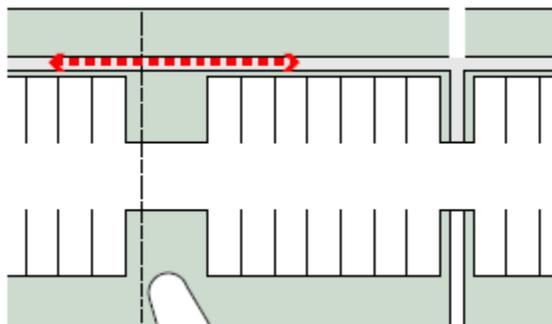
b. 2. Cross Property Connection

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



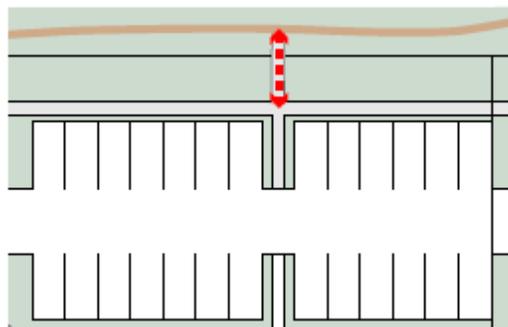
c. 3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



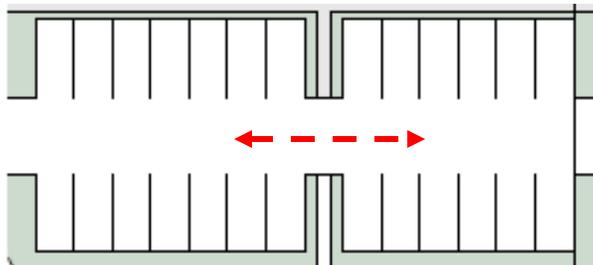
d. 4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.



H. Connectivity to Adjacent Driveways ~~for Site Design Category 3~~

~~See Table 15-12. Development in Site Design Category 3 requires connections to driveways on adjacent properties where possible.~~

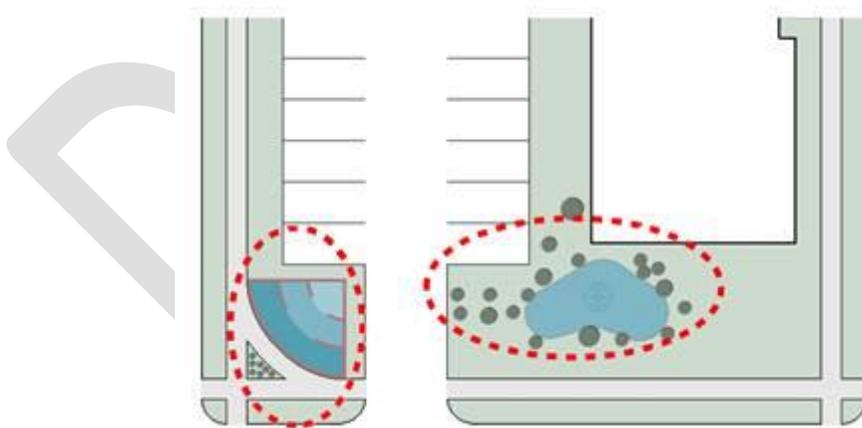


I. Drainage Features ~~for Site Design Category 3~~

Open drainage and detention areas visible to the public ~~shall~~ **must** be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following ~~tools~~ **methods**:

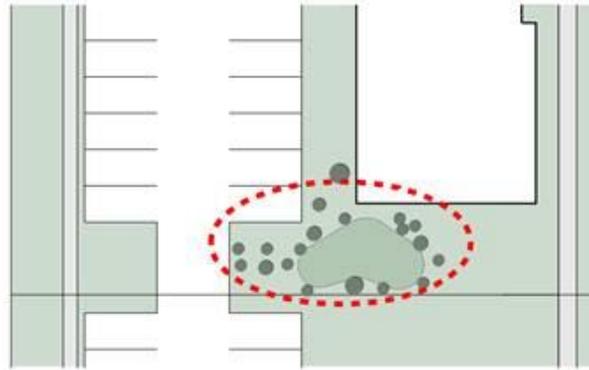
1. Pond or ~~f~~Fountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



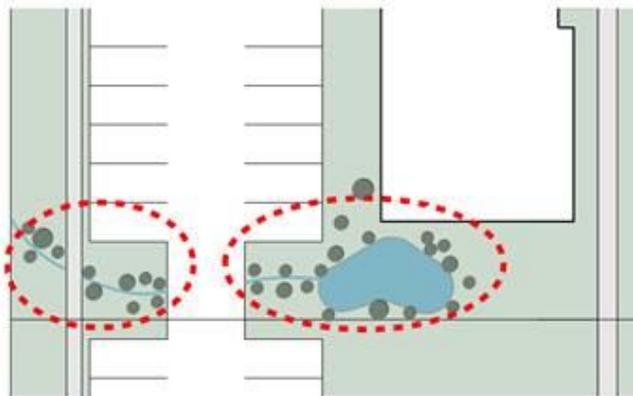
2. Landscaped **b**Basin or **c**Channel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



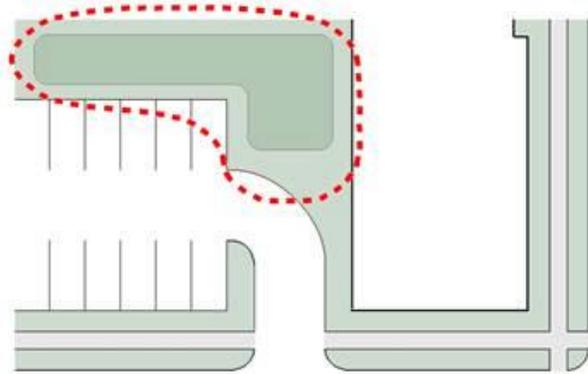
3. Natural **d**Drainage **f**Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



4. Geometric Basin

Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.



(Ord. 15-16 §3, 2015)

18.15.120 Site Design Category 4

~~Composite~~ Site Design Category 4 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Commercial Corridors, Community Commercial Centers and Regional Commercial Centers. The following ~~general~~ site design standards apply to all projects in Site Design Category 4. [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 4

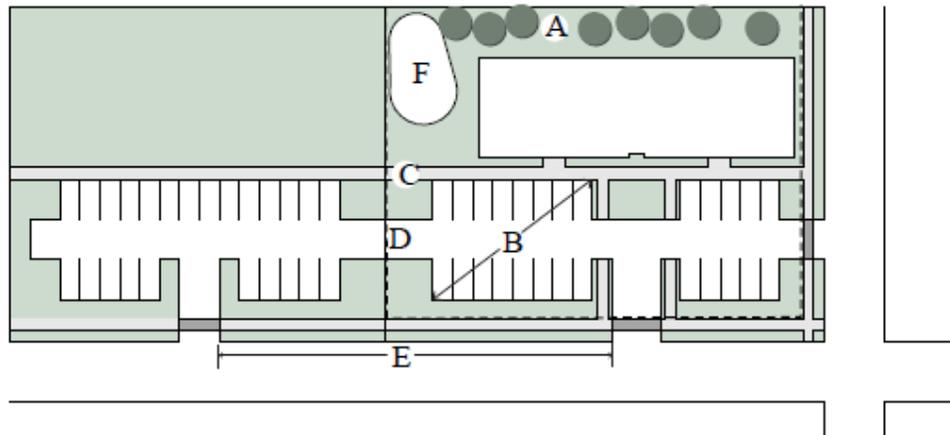


Table 15-13. General Design Standards for Site Design Category 4

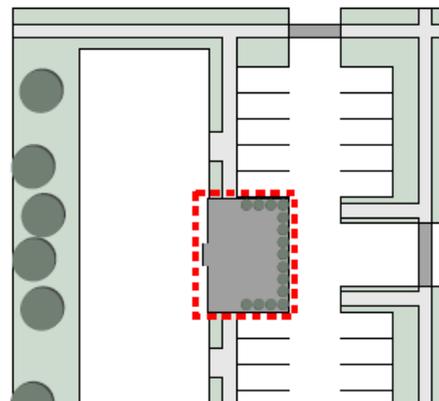
Open Space		
A	Outdoor Amenity Space	Required for development with more than 65% open space or larger than 4 acres—See menu options
Parking Placement		
B	Parking Pod Size (max. spaces)	80
Connectivity		
C	Pedestrian Connections	Required—See menu options
D	Connections to Driveways on Adjacent Properties	Required where possible
E	Distance between curb cuts (min.)	Refer to City's Access Management Plan
Drainage Features		
F	Open Drainage and Detention Areas Designed as Amenities	Required—See design options
Buffer Area Adjacent to Other Uses		
G	Buffer Area Adjacent to Residential Uses	Required—See design options

A. Menu of Outdoor Amenity Space Options for Site Design Category 4

Development in Site Design Category 4 that is greater than 4 acres in size or includes more than 65% open space must include outdoor amenity space to enhance the public realm and promote pedestrian activity. Select one or more of the following ~~options~~ [methods](#) to cover at least 10% of the site area:

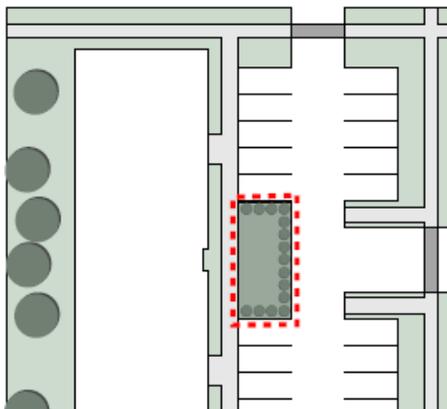
1. Plaza or Courtyard

A common use area directly accessible from adjoining buildings that includes decorative paving, street furniture, planters and/or pergolas.



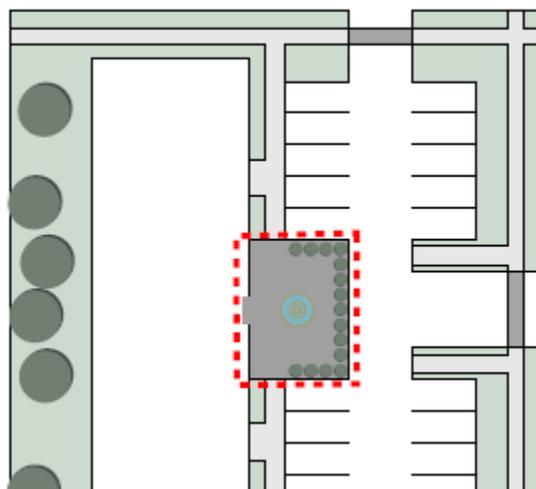
2. Common Green Area

A common green space shared by users of the development that may include a lawn, a stand of trees, or shrubs.



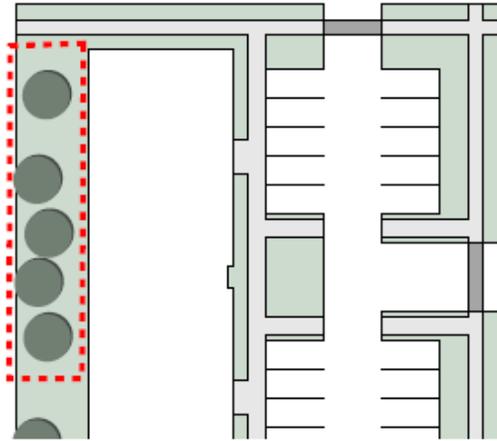
3. Water Feature

A fountain or decorative pool shared by users of the development (note that properly designed artificial drainage areas may also be used to meet common open space standards).



4. Natural Feature

Stands of mature trees or natural drainage areas retained as an amenity for users of the development.



B. ~~Maximum Parking Pod Size for Site Design Category 4~~

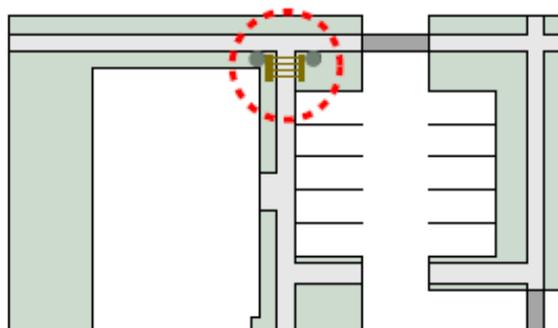
~~See Table 15-13. The maximum number of parking stalls allowed in one parking pod, as illustrated in Figure 1 of this Section, is 80.~~

C. ~~Menu of Pedestrian Connection Options for Site Design Category 4~~

Development in Site Design Category 4 must provide pedestrian connections from surrounding development, parking and adjacent transit stops. ~~Select~~ using at least one of the following ~~tools~~ methods:

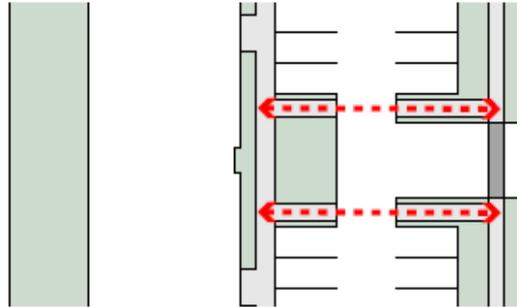
1. Pedestrian Gateway

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.



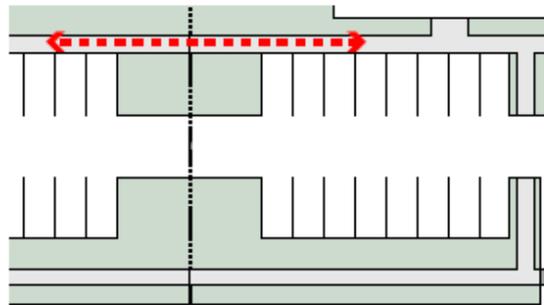
2. Cross Property Connection

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



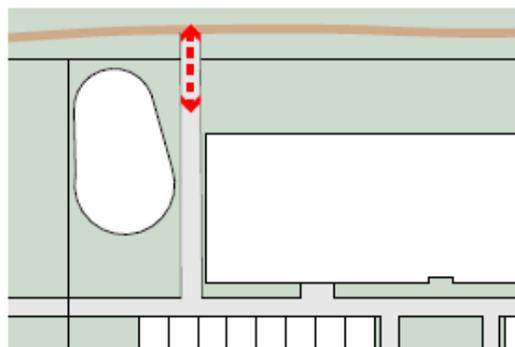
3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.



D. Connectivity to Adjacent Driveways ~~for Site Design Category 4~~

~~See Table 15-13. Connections to driveways on adjacent properties are required where possible.~~

E. Distance between Curb Cuts ~~for Site Design Category 4~~

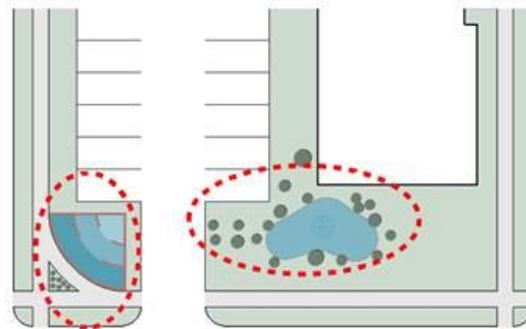
~~See Table 15-13. For the minimum distance between curb cuts, refer to the City's Access Management Plan.~~

F. Drainage Features ~~for Site Design Category 4~~

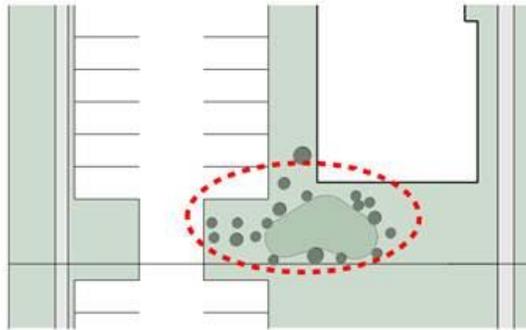
Open drainage and detention areas visible to the public ~~shall~~ **must** be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following ~~tools~~ **methods**:

1. Pond or ~~f~~Fountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.

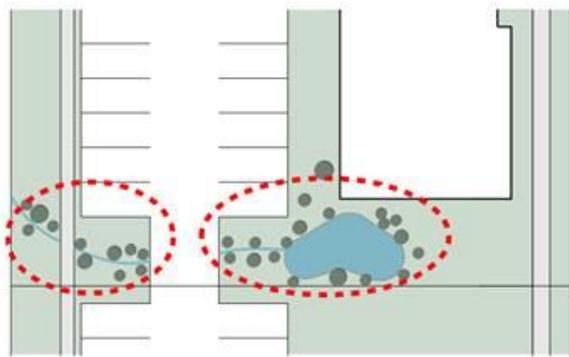
**2. Landscaped ~~b~~Basin or ~~c~~Channel**

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



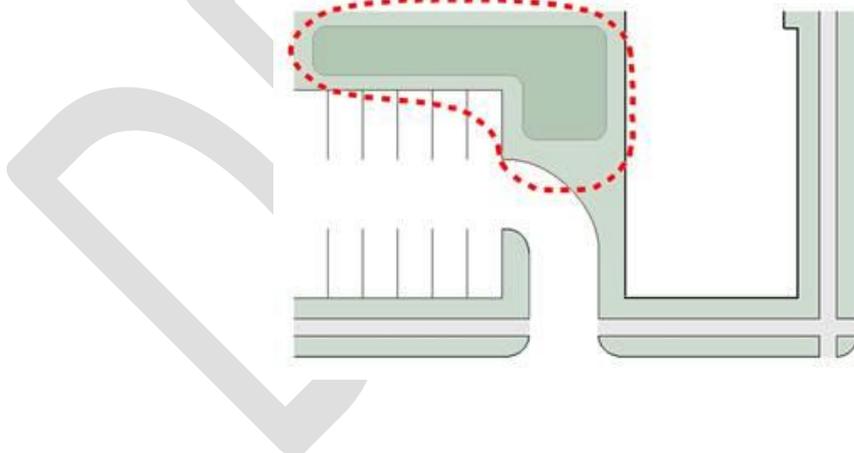
3. Natural ~~d~~Drainage ~~f~~Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



4. Geometric ~~b~~Basin

Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.

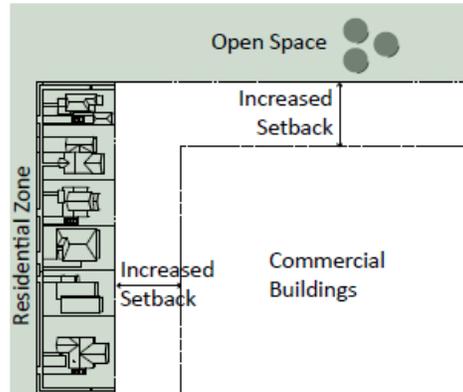


G. ~~Required Landscaped Buffer Area for Site Design Category 4~~

Buffer standards apply to development in Site Design Category 4 ~~that is~~ when located adjacent to a residential zoning district. Standards are intended to mitigate visual and noise impacts on surrounding land uses.

1. Increased Setback

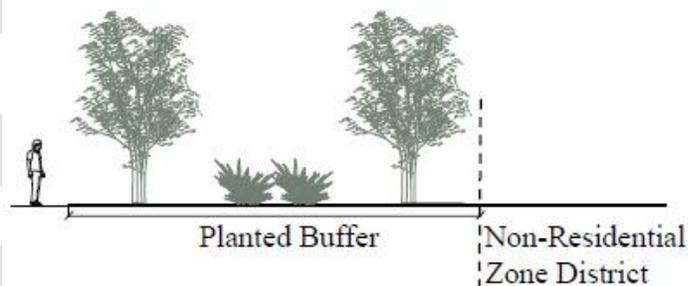
Buildings must be set back at least 40 feet from an adjoining R-1 or R-2 zoning district or designated open space.



2. Perimeter Landscaping

One of the following landscaping strategies must be used within the required minimum setback area on the edges of an ~~an industrial~~ commercial site that directly abuts an R-1 or R-2 zoning district or designated open space:

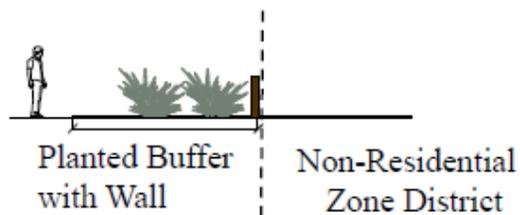
a. Planted Buffer with No Fence or Wall



A landscaped area at the sidewalk edge that is at least 40 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

b. Planted Buffer with a Fence or Wall

A landscaped area of at least 15 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall ~~shall~~ must be located within the landscape area and ~~shall~~ must include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (*Ord. 15-16 §3, 2015*)



(↔ See § [18.50.050](#) for fence height and design)

18.15.125 Site Design Category 5

~~Composite~~ Site Design Category 5 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Employment Areas. The following ~~general~~ site design standards apply to all projects in Site Design Category 5: [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 5

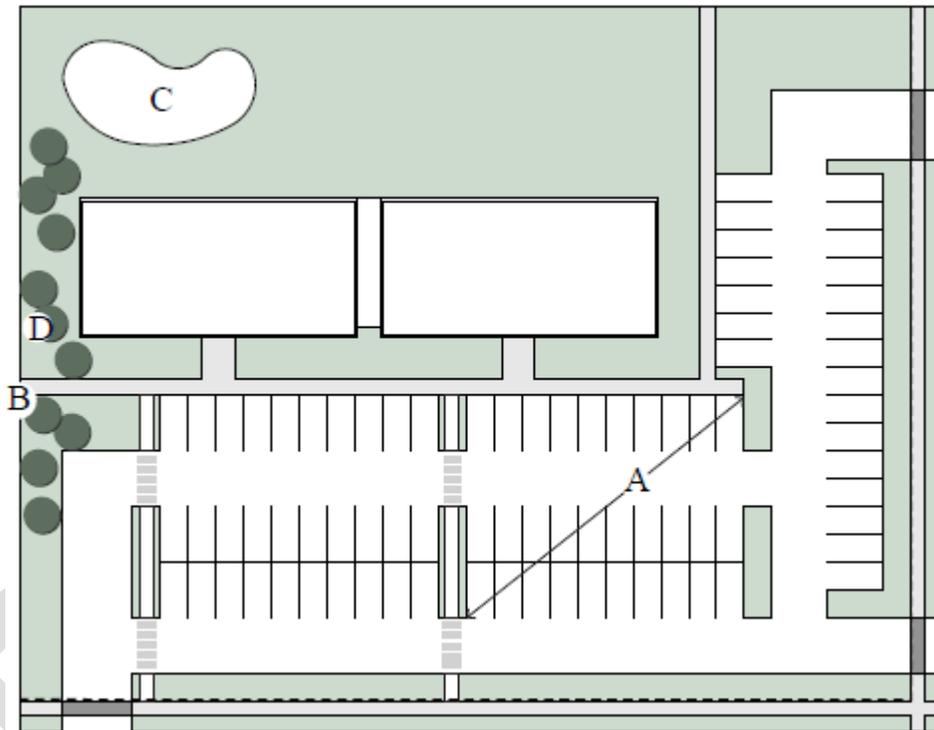


Table 15-14. General Design Standards for Site Design Category 5

Parking Placement		
A	Parking Pod Size (max. spaces)	160
Connectivity		
B	Pedestrian Connections	Required — See menu options
Drainage Features		
C	Open Drainage and Detention Areas Designed as Amenities	Required — See design options

Buffer Area Adjacent to Other Uses

D Buffer Area Adjacent to Non-Commercial and Industrial Uses Required—See design options

A. ~~Maximum Parking Pod Size for Site Design Category 5~~

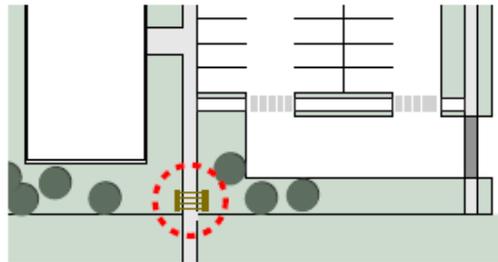
See ~~Table 15-14~~. [The maximum number of parking stalls allowed in one parking pod, as illustrated in Figure 1 of this Section, is 160.](#)

B. ~~Menu of Pedestrian Connection Options for Site Design Category 5~~

Development in Site Design Category 5 must provide pedestrian connections from surrounding development, parking and adjacent transit stops. ~~Select~~, [using](#) at least one of the following ~~tools~~ [methods](#):

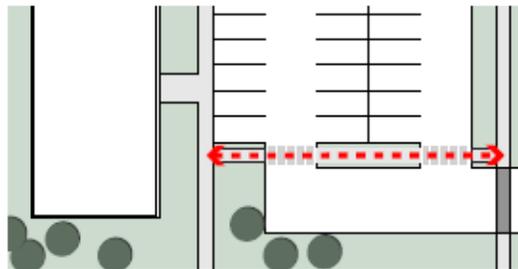
1. Pedestrian Gateway

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.



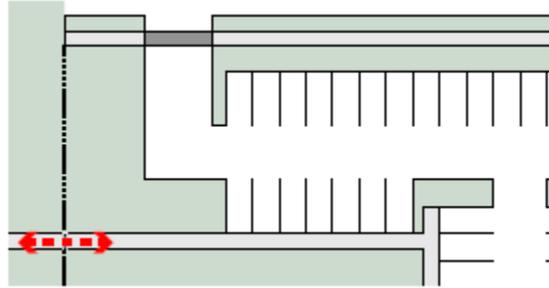
2. Cross Property Connection

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



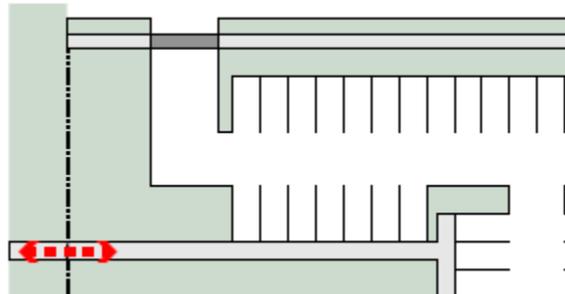
3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.

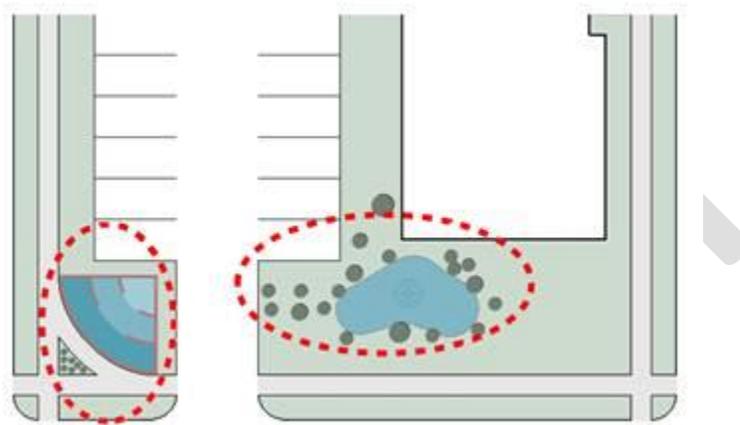


C. Drainage Features ~~for Site Design Category 5~~

Open drainage and detention areas visible to the public ~~shall~~ must be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following ~~tools~~ methods:

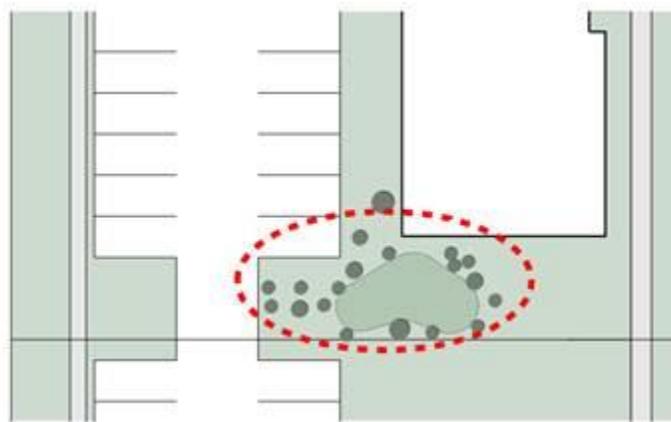
1. Pond or ~~f~~Fountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



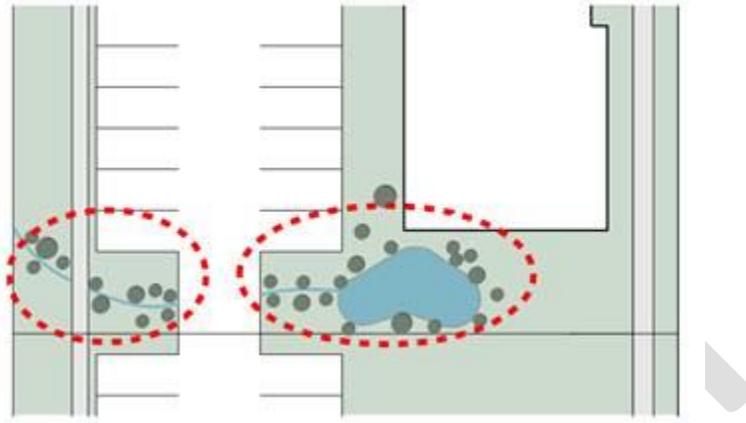
2. Landscaped ~~b~~Basin or ~~c~~Channel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



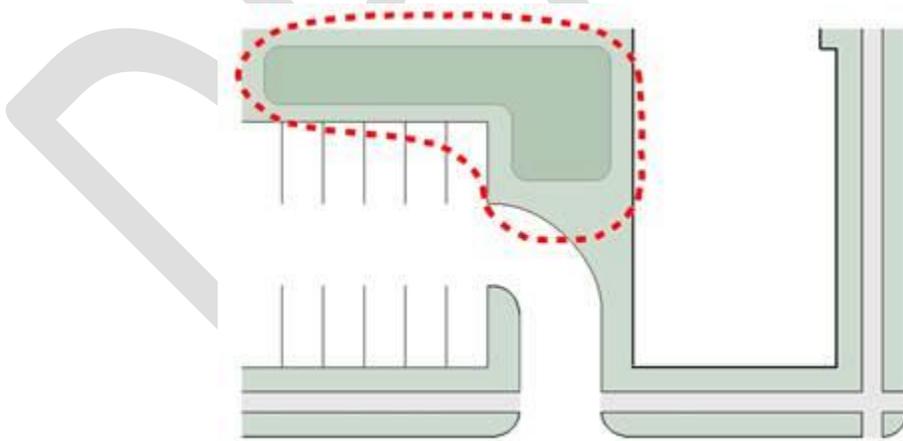
3. Natural ~~d~~Drainage ~~f~~Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



4. Geometric ~~b~~Basin

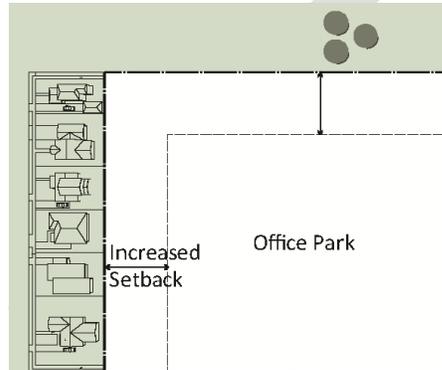
Artificial geometrically shaped basins should generally be ~~avoided, but~~ avoided but may be used in areas that are not visible to the public or from adjacent property.



D. ~~Required Landscaped Buffer Area for Site Design Category 5~~

Buffer standards apply to development in Site Design Category 5 ~~that is~~ when located adjacent to any arterial street or an agricultural, residential, or business park zoning district. ~~any non-commercial or industrial zoning district~~. Standards are intended to mitigate visual and noise impacts on surrounding land uses.

1. Increased Setback

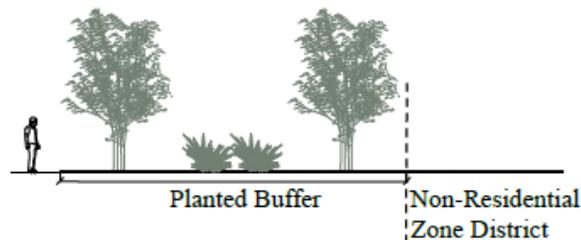


Buildings must be set back at least 40 feet from an adjoining arterial street or non-residential zoning district and 100 feet from an adjoining R-1 or R-2 zoning district or designated open space.

2. Perimeter Landscaping

One of the following landscaping strategies must be used within the required minimum setback area on the edges of an ~~industrial~~ site in the employment area that directly abuts an arterial street or any ~~non-commercial or industrial zoning district~~ agricultural, residential, or business park district:

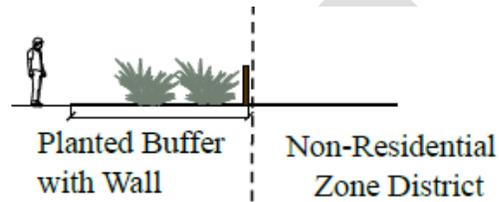
a. Planted Buffer with No Fence or Wall



A landscaped area at the sidewalk edge that is at least 40 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

b. Planted Buffer with a Fence or Wall

A landscaped area of at least 15 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall ~~shall~~ must be located within the landscape area and ~~shall~~ include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (*Ord. 15-16 §3, 2015*)



(⇒ See § [18.50.050](#) for fence height and design)

18.15.130 Site Design Category 6

Composite-Site Design Category 6 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Industrial Areas. The following **general** site design standards apply to all projects in Site Design Category 6: [The letters illustrated on Figure 1 below correspond with the site design standards provided within this Section.](#)

Figure 1: Site Design Category 6

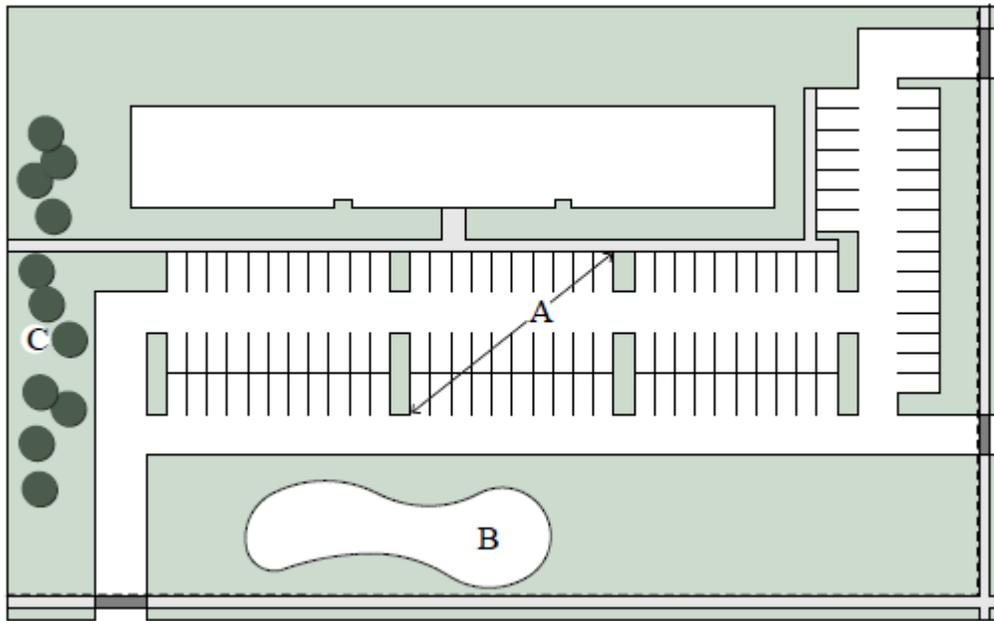


Table 15-15. General Design Standards for Site Design Category 6

Parking Placement		
A	Parking Pod Size (max. spaces)	320
Drainage Features		
B	Open storm drainage and detention areas visible to the public designed to reduce visual impacts and provide a pedestrian amenity	Required—See design options
Buffer Area Adjacent to Other Uses		
C	Landscaped buffer area adjacent to arterial streets or non-industrial uses	Required—See design options

A. ~~Maximum Parking Pod Size for Site Design Category 6~~

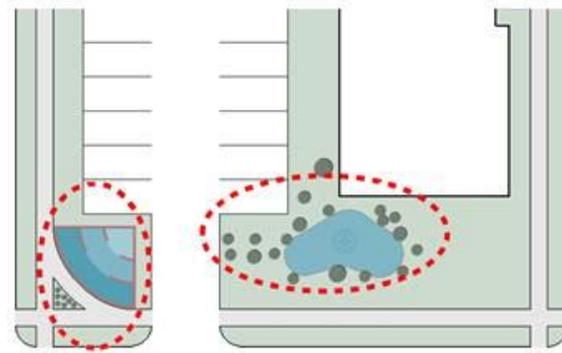
~~See Table 15-15. The maximum number of parking stalls allowed in one parking pod, as illustrated in Figure 1 of this Section, is 320.~~

B. Drainage Features ~~for Site Design Category 6~~

Open drainage and detention areas visible to the public ~~shall~~ **must** be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following ~~tools~~ **methods**:

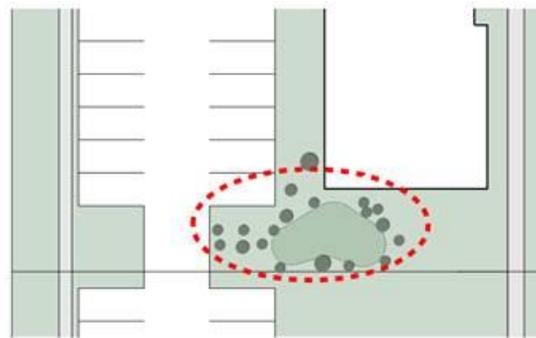
1. Pond or fountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



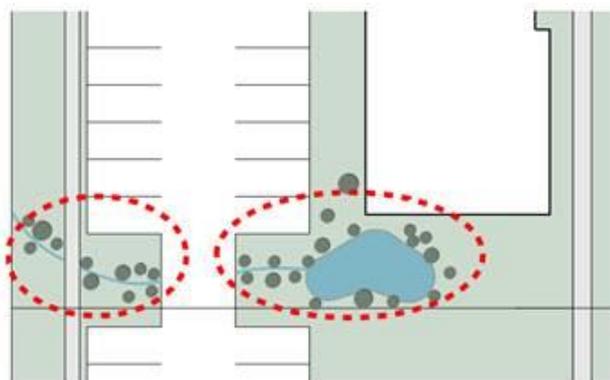
2. Landscaped ~~b~~Basin or ~~c~~Channel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



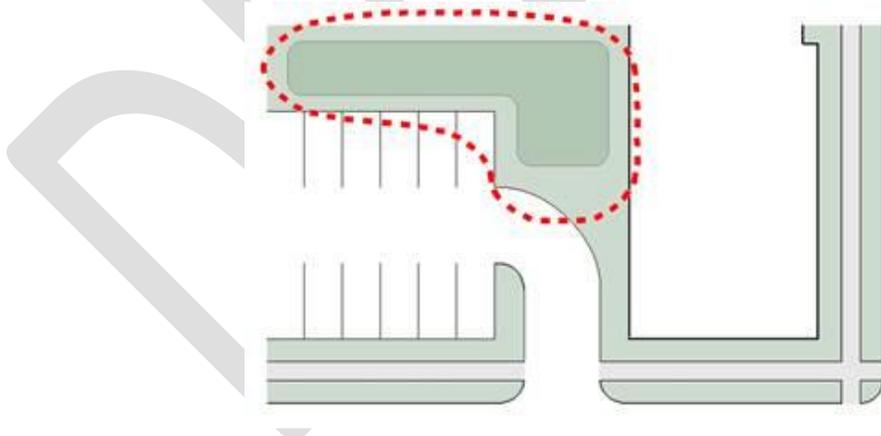
3. Natural ~~d~~Drainage ~~f~~Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



4. Geometric ~~b~~Basin

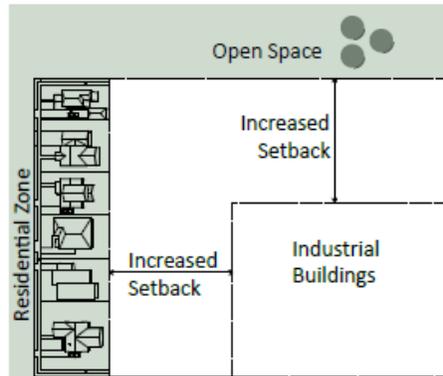
Artificial geometrically shaped basins should generally be ~~avoided, but~~ avoided but may be used in areas that are not visible to the public or from adjacent property.



C. ~~Required Landscaped Buffer Area for Site Design Category 6~~

Buffer standards apply to development in Site Design Category 6 ~~that is~~ when located adjacent to any arterial street or an agricultural, residential, or business park zoning district, any non-industrial zoning district. Standards are intended to mitigate visual and noise impacts on surrounding land uses.

1. Increased Setback

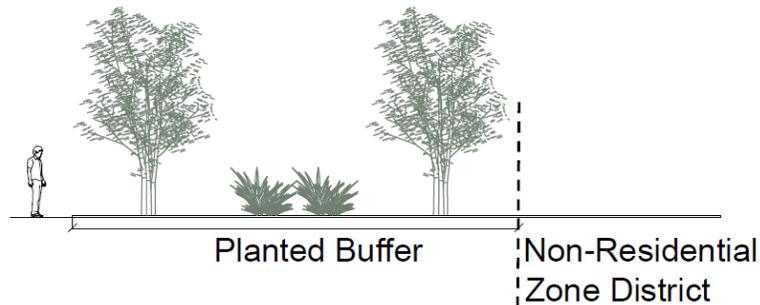


Buildings must be set back at least 50 feet from an adjoining arterial street or non-residential zoning district and 200 feet from an adjoining R-1 or R-2 zoning district or designated open space.

2. Perimeter Landscaping

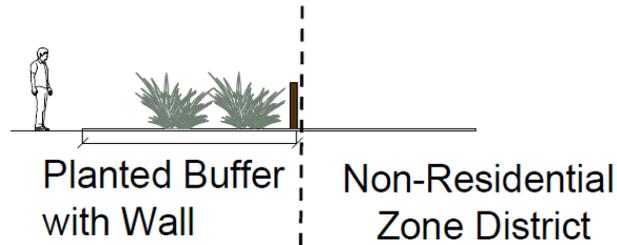
One of the following landscaping strategies must be used within the required minimum setback area on the edges of an industrial site that directly abuts an arterial street or any non-industrial zoning district:

a. Planted Buffer with No Fence or Wall



A landscaped area at the sidewalk edge that is at least 50 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

b. Planted Buffer with a Fence or Wall



A landscaped area of at least 20 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall ~~shall~~ must be located within the landscape area and ~~should~~ include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (*Ord. 15-16 §3, 2015*)