



City of Olathe

City Planning Division

**STAFF REPORT****Planning Commission Meeting: June 24, 2019**

<b>Application:</b>	<b>FP19-0011 Final Plat for Olathe Facilities Expansion</b>
<b>Location:</b>	In the vicinity of Old US-56 Highway and Robinson St.
<b>Owner/Applicant:</b>	Chad Foster, City of Olathe
<b>Engineer:</b>	Tom Smith, McClure Engineering Company
<b>Staff Contact:</b>	Dan Fernandez, Planner II

<b>Acres:</b>	<u>70.51± acres</u>	<b>Proposed Use:</b>	<u>Parks Maintenance Building/Olathe Facilities</u>
<b>Current Zoning:</b>	<u>R-1, M-2, CTY RUR</u>	<b>Lots:</b>	<u>1</u>
<b>Proposed Zoning:</b>	<u>M-2</u>	<b>Tracts:</b>	<u>0</u>

**1. Comments:**

This is a request for approval of a final plat for Olathe Facilities Expansion on 70.51± acres, located in the vicinity of Old US-56 Highway and Robinson Street.

The site is being platted for a proposed rezoning and preliminary site development plan for Olathe Facilities Expansion. The related application for rezoning to the M-2 District (RZ19-0007) is also on the agenda and the proposed development consists of a Park Maintenance Building and future uses for Public Works and training areas for the Fire and Police Departments.

**2. Final Plat Review**

- a. **Lots/Tracts** – The final plat includes 1 lot which meets the area and setback requirements for M-2 Districts.

No tracts are being dedicated with this plat, however, the limits of the flood zone on the property is being shown and a tree preservation easement along Old US-56 is being dedicated to preserve existing trees along the highway and within the stream corridor.

- b. **Utilities/Municipal Services** –The property is located in the City of Olathe water and sewer service areas.

As much of the site is conceptual, utility and stormwater easements will be dedicated by separate instrument once it is known how the site will develop.

- c. **Access/Streets** – The subject site will have one access drive onto Old US-56 Highway. The access point will connect to an internal driveway and will not be a public street.

Additional right-of-way is being dedicated along Old US-56 Highway to meet UDO requirements.



*Aerial Map of Subject Property*



*View of site looking southwest from Old US-56*

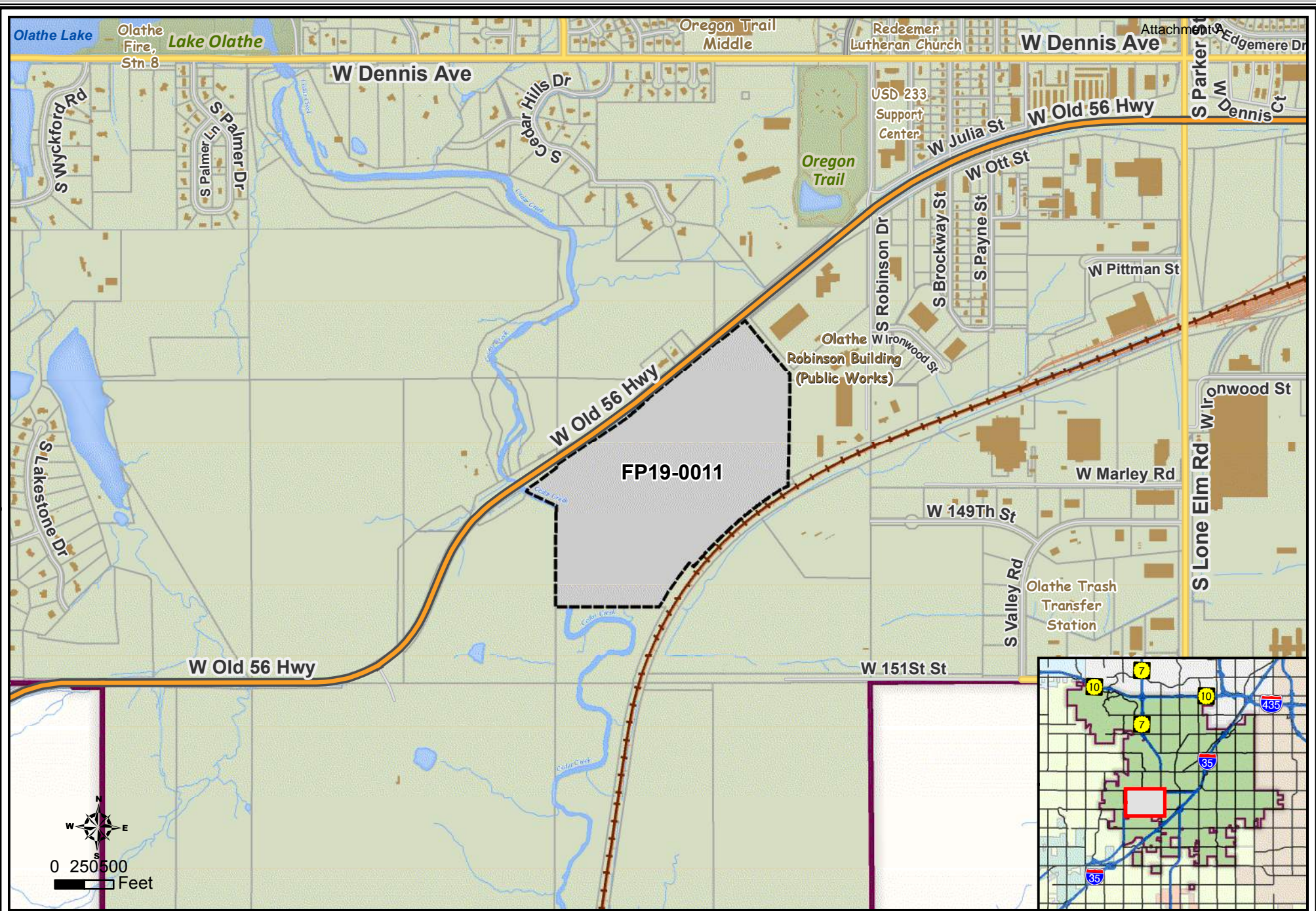
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**3. Staff Recommendation:**

Staff recommends approval of FP19-0011 with the following stipulations:

- a. Prior to recording the plat, a digital file of the final plat (pdf format) shall be submitted to the City Planning Division.
- b. Tree preservation fencing shall be placed on site in accordance with Section 18.30.240 of the UDO.





# OLATHE FACILITIES EXPANSION FP19-0011



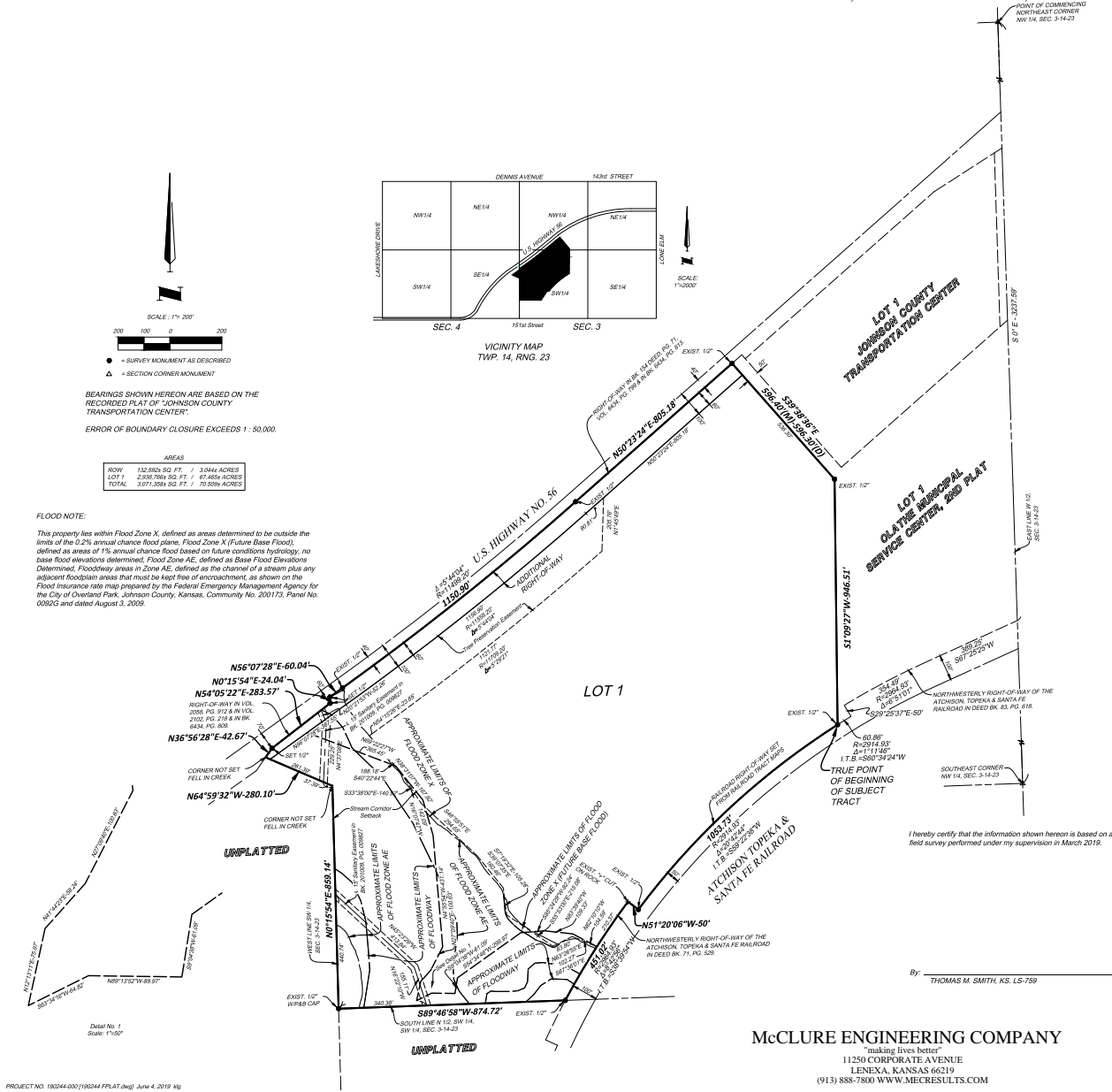
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Date: 06/18/2019





FINAL PLAT OF  
**OLATHE FACILITIES EXPANSION**  
PART OF THE SECTION 3 & 4, TOWNSHIP 14, RANGE 23  
CITY OF OLATHE, JOHNSON COUNTY, KANSAS

Attachment A



Description:

All that part of the W 1/2 of Section 3, Township 14, Range 23 and all that part of the e 1/2 of section 4, township 14, range 23, now in the City of Olathe, Johnson County, Kansas, more particularly described as follows: commencing at the Northeast corner of the NW 1/4 of said section 3; thence S 0° E, along the east line of the W 1/2 of said Section 3, a distance of 327.59 feet, to a point on the North right-of-way line of the Atchison, Topeka & Santa Fe railroad, as now established; thence S 67° 20' 25" W, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, a distance of 389.25 feet, to a point of curvature; thence Southwesterly, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, said line being on a curve to the left, having a radius of 2964.93 feet and a central angle of 6° 51' 01", a distance of 354.45 feet; thence S 29° 23' 27" E, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, a distance of 50 feet; thence Southwesterly, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, said line being on a curve to the left, having a radius of 2914.93 feet, a central angle of 11° 11' 48", and whose initial tangent bearing is S 60° 34' 24" W, a distance of 60.86 feet, to the True Point of Beginning of subject tract; thence continuing Southwesterly along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, said line being on a curve to the left, having a radius of 2914.93 feet, a central angle of 20° 42' 44", and whose initial tangent bearing is S 59° 22' 38" W, a distance of 1053.73 feet; thence N 51° 20' 06" W, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, a distance of 50 feet, thence Southwesterly, along the North right-of-way line of said Atchison, Topeka & Santa Fe railroad, said line being on a curve to the left, having a radius of 2964.93 feet, a central angle of 6° 42' 56", and whose initial tangent bearing is S 38° 39' 54" W, a distance of 451.02 feet, to a point on the South line of the N 1/2 of the SW 1/4 of said section 3; thence S 89° 46' 58" W, along the south line of the N 1/2 of the SW 1/4 of the SW 1/4 of said section 3, a distance of 874.72 feet, to the Southwest corner thereof; thence N 0° 15' 54" E, along the west line of the SW 1/4 of said Section 3, a distance of 859.14 feet; thence N 64° 59' 32" W, a distance of 280.10 feet, to a point on the South right-of-way line of U.S. Highway No. 56, as now established; thence N 36° 56' 28" E, along the South right-of-way line of said U.S. Highway No. 56, a distance of 42.67 feet; thence N 54° 05' 22" E, along the South right-of-way line of said U.S. Highway No. 56, a distance of 263.57 feet, to a point on the West line of the SW 1/4 of said section 2; thence N 0° 15' 54" E, along the west line of the SW 1/4 of said section 2 and along the South right-of-way line of said U.S. Highway No. 56, a distance of 24.04 feet; thence N 56° 07' 28" E, along the South right-of-way line of said U.S. Highway No. 56, a distance of 60.04 feet, to a point of curvature; thence Northerly, along the South right-of-way line of said U.S. Highway No. 56, said line being on a curve to the left, having a radius of 11499.20 feet and a central angle of 5° 44' 04", a distance of 1150.90 feet, to a point of tangency; thence N 40° 23' 24" E, along the South right-of-way line of said U.S. Highway No. 56, a distance of 805.18 feet, to a point 50 feet Southwesterly of the Northerly extension of the Southwesterly line of lot 1, Johnson County transportation center, a subdivision of land now in the City of Olathe, Johnson County, Kansas; thence S 39° 38' 36" E, along a line 50 feet Southwesterly and parallel with the Southwesterly line of said lot 1, a distance of 588.40 feet; thence S 1° 09' 27" W, a distance of 846.51 feet, to the True Point of Beginning, except that part in road and highway.

DEDICATION:

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "OLATHE FACILITIES EXPANSION".

The undersigned proprietor of said property shown on this plat does hereby dedicate those portions of the streets and roadways shown as U.S. Highway 56, together with all other parcels and parts of land indicated on this plat, and not heretofore dedicated, as streets, terraces, roads, drives, avenues, courts, places, etc., for public use as public ways or thoroughfares, subject to the right hereby reserved to the present owner and its successors and assigns for the location, construction and maintenance of conduits, water, gas and sewer lines, poles and wires under, over and along said roadways.

An easement of license is hereby dedicated to the City of Olathe, Johnson County, Kansas, to enter upon, over and across those areas outlined and designated on this plat as "Tree Preservation Easement". Trees shall not be removed from a tree preservation easement without the city of Olathe's permission, unless such trees are dead, diseased or pose a threat to the public or adjacent property. Johnson County, Kansas or their designees, shall be responsible for the maintenance of the tree preservation easement, including but not limited to the removal of dead, diseased trees or trees posing a threat to the public or adjacent property. Additionally there shall be no structures placed in the easement without the City of Olathe's consent.

Notice: This site includes Stormwater Treatment Facilities, as defined and regulated in the Olathe Municipal Code. Restrictions on the use or alteration of the said Facilities may apply. This property is also subject to the obligations and requirements of the Stormwater Treatment Facility Maintenance Agreement approved by the City.

Notice: This site lies within a protected Stream Corridor, as defined and regulated in the City of Olathe, Kansas, Municipal Code. Restrictions on the use or alteration of the Stream Corridor may apply. This property is also subject to the obligations and requirements of the Stream Corridor Maintenance Agreement approved by the City.

STREAM CORRIDOR NOTICE

This property is located within or contains a Stream Corridor, as defined and regulated in the City of Olathe, Kansas, Municipal Code. Restrictions on the use or alteration of land within the Stream Corridor may apply. This property is also subject to the obligations and requirements of the Stream Corridor Maintenance Agreement (BK: \_\_\_\_\_) approved by the City.

The undersigned proprietor of the above tract of land hereby agrees and consents that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessment, and that the amount of unpaid special assessments on such land so dedicated shall become and remain a lien on the remainder of the land fronting or abutting on such dedicated public way or thoroughfare.

IN TESTIMONY WHEREOF, the undersigned proprietor has hereunto subscribed his hand.

OWNER \_\_\_\_\_

By: \_\_\_\_\_

STATE OF \_\_\_\_\_ )

COUNTY OF \_\_\_\_\_ ) J.S.S.

\_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, by \_\_\_\_\_ of \_\_\_\_\_

APPROVED by the Planning Commission of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_

C.S. Vahan, Chair

APPROVED by the Governing Body of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Mayor: Michael Copeland

Attest: \_\_\_\_\_ Deputy City Clerk: David F. Bryant III, MMC

By: \_\_\_\_\_ THOMAS M. SMITH, KS. LS-759

I hereby certify that the information shown hereon is based on a field survey performed under my supervision in March 2019.

**McCLURE ENGINEERING COMPANY**  
"making lives better"  
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