

BUSINESS GARAGE AUTHORITY OLATHE

PRELIMINARY DEVELOPMENT PLAN

MUNICIPAL CONTACT LIST

CITY PLANNING

TAYLOR VANDE VELDE
501 E OLD 56 HWY
OLATHE, KS 66061
TVANDELDE@OLATHEKS.ORG

TRAFFIC ENGINEERING

CHERYL LAMBRECHT
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CALAMBRECHT@OLATHEKS.ORG

15571 SOUTH MAHAFFIE ST.
OLATHE, KS 66062
1/13/2025

SHEET LIST

	TITLE
	SURVEY
C1.0	SITE PLAN
C2.0	GRADING PLAN
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
L-10	LANDSCAPE PLAN

FIRE

JEREMY BRAITHWAITE
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JABRAITHWAITE@OLATHEKS.ORG

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CHRIS FARNEY
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OLATHE, KS 66061
CJFARNEY@OLATHEKS.ORG

UTILITY CONTACT LIST

ELECTRIC

EVERGY
16215 W 108TH ST
LENEXA, KS 66219
(888) 471-5275

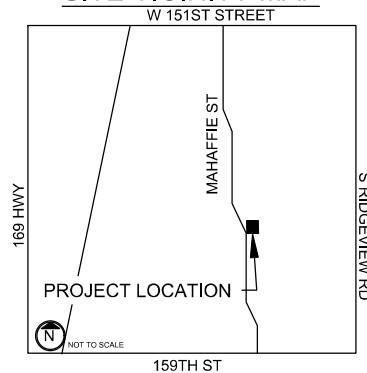
WATER

WATERONE
1047 RENNER BLVD
LENEXAS, KS 66219
(913) 895-1800

NATURAL GAS

SPIRE INC.
7500 E 35TH TER
KANSAS CITY, MO 64129
(800) 582-1234

SITE VICINITY MAP



KS SECTION 12
T14S-R23E

PROJECT CONTACTS

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OLATHE, KS 66061
DAVID ESKOV
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ENGINEER OF RECORD

AUBRY ENTERPRISES
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JAY.ODELL@AUBRYENTERPRISES.COM

DEVELOPER

BUSINESS GARAGE AUTHORITY, INC
13003 WALMER STREET
OVERLAND PARK, KS 66209
(913) 915-9885

SURVEYOR OF RECORD

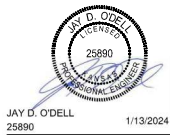
ALLENBRAND-DREWS & ASSOCIATES
122 N WATER STREET
OLATHE, KS 66061
(913) 764-1076



APPROVED BY

NAME

DATE



CLIENT
DAVID ESKOV

21466 W 120TH ST
OLATHE, KS 66061



ENGINEERING FIRM OF RECORD

REV	DESCRIPTION	DATE

BUSINESS GARAGE
AUTHORITY
OLATHE

1/13/2025

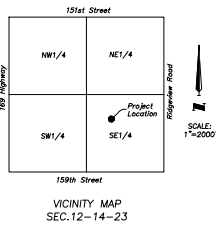
PRELIMINARY
DEVELOPMENT
PLAN

15571 SOUTH
MAHAFFIE ST.
OLATHE, KS 66062

TITLE

WORK PERFORMED:
Partial topographic survey of Lot 1, MAHAFFIE BUSINESS PARK VI.

GENERAL NOTES:
This survey is topographic only, any boundary information shown graphic use only, and does not constitute a boundary survey.
Elevations shown hereon take from the First Plat of MAHAFFIE BUSINESS PARK VI, no title search was completed for this survey.
The subject property address is to 15587 S Mahaffie Street.
Elevations shown hereon are based on NAVD83, contours are in 1 foot intervals.



I hereby certify that this topographic survey was completed by me or under my direct supervision. Date of field work 11/25/2024.



Robert Craig Sandlin KS LS 1602

Job No. 2024-0089
Johnson County, Kansas
2024-0089 SUR.DWG



Note:

1. Visual Indications of utilities are as shown. Underground locations shown, as furnished by the respective utility companies, are approximate and shall be verified in the field at the time of construction. For actual field locations of underground utilities, call 1-800-344-7233.

2. The contractor shall be responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation and for the coordination and scheduling with utility owners of all work required to resolve conflicts with installations, constructions, excavations, removals, placements, relocation and other miscellaneous work.

TOPOGRAPHIC SURVEY

15587 S MAHAFFIE

CLIENT
Aubrey Enterprises
5912 Maple Street
Wixom, KS 66082

29390 W 119th Street, Olathe, KS 66061
Office: 913-717-8538
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www.beyondsurveying.com

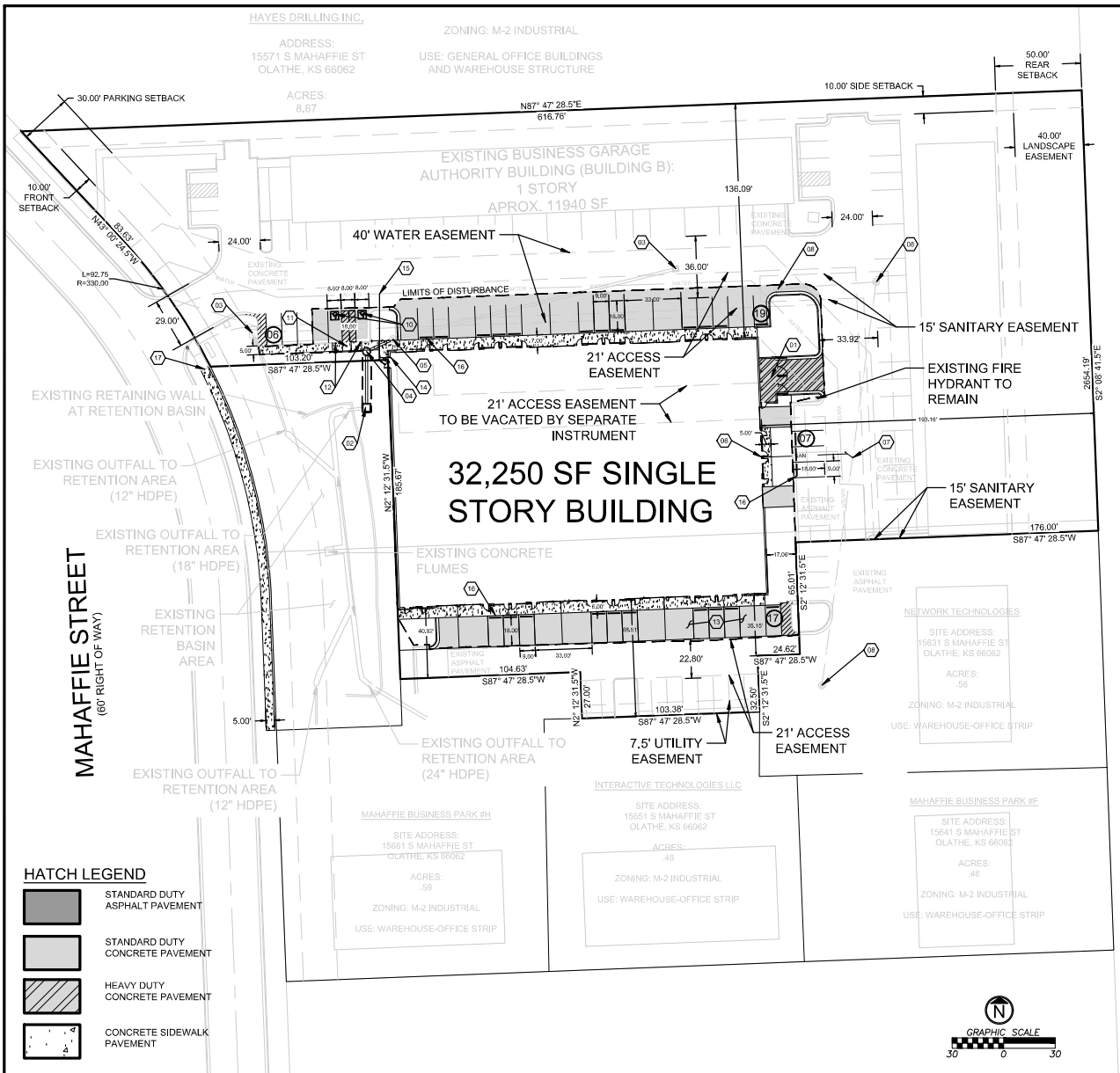


- LEGEND
- FH = FIRE HYDRANT
 - MB = MAILBOX
 - ▽ MS = METAL SIGN
 - TEP = TELEPHONE PEDESTAL
 - TM = TEMP BENCHMARK
 - UAH = UNKNOWN MH
 - WV = WATER VALVE

SCALE: 1"=20'

20 10 0 10 20

SITE PLAN



SITE DATA

ZONING	M-2 (INDUSTRIAL)
TOTAL PROPERTY AREA	3.35 ACRES (145,926 SQ. FT.)
DISTURBED AREA	1.15 ACRES (50,094 SQ. FT.)
FRONT SETBACK	10 FT.
REAR SETBACK	50 FT.
SIDE SETBACK	10 FT.
PARKING SETBACK	30 FT.
PROPOSED PARKING COUNT	49 (2 ADA)
PROPOSED BUILDING AREA	32,250 SQ. FT.

BUILDING DATA

BUILDING GROSS SF	32,250 SQ FEET
EXISTING FLOOR AREA RATIO	(24,110)/(145,926) .165
PROPOSED AREA RATIO	(56,360)/(145,926) .386

PARKING DATA

CITY REQUIREMENT - 1 PARKING STALL PER 800 SQ FT

REQUIRED PARKING	41
PROVIDED PARKING	49
ADA ACCESSIBLE REQUIRED	2
ADA ACCESSIBLE PROVIDED	2

CONSTRUCTION NOTES

- 01 TRASH ENCLOSURE
02 PROPOSED STORMWATER INLET
03 EXISTING STORM WATER INLET
04 PROPOSED STORMWATER MANHOLE
05 EXISTING STORMWATER MANHOLE
06 SANITARY BUILDING CONNECTION
07 SANITARY SERVICE CONNECTION TO MAIN
08 EXISTING SANITARY MANHOLE
09 PROPOSED SANITARY MANHOLE
10 ADA PARKING MARKINGS
11 ADA RAMP
12 ADA PARKING SIGN
13 STANDARD PARKING MARKINGS
14 WATER SERVICE CONNECTION TO BUILDING
15 WATER SERVICE CONNECTION TO MAIN
16 CONCRETE WHEEL STOP
17 PROPOSED ADDITION TO EXISTING SIDEWALK ALONG MAHAFFIE ST

SITE NOTES

- A. ALL EXTERIOR GROUND MOUNTED AND ALL ROOFTOP BUILDING HVAC AND MECHANICAL EQUIPMENT, VENTS, PIPING, ROOF ACCESS LADDERS, AND UTILITY METERS MUST BE LOCATED OUT OF VIEW OR OTHERWISE SCREENED FROM PUBLIC VIEW. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE METHODS.
- B. ALL NEW ON-SITE WIRING AND CABLES MUST BE PLACED UNDERGROUND.
- C. ALL SIGNAGE IS APPROVED ADMINISTRATIVELY THROUGH A SEPARATE APPLICATION.



JAY D. O'DELL
25890 1/13/2024

AGENT
DAVID ESKOV
21466 W 120TH ST
OLATHE, KS 66061



KANSAS OFFICE
5912 MAPLE STREET
MISSION, KS 66202

ENGINEERING FIRM OF RECORD

[illegible]

**BUSINESS GARAGE
AUTHORITY
OLATHE**

1/13/2025

PRELIMINARY DEVELOPMENT PLAN

15571 SOUTH
MAHAFFIE ST.
OLATHE, KS 66062

SITE PLAN

C1.0

EXISTING AREA INLET
TOP=1065.65
FL (BOTTOM OF STRUCTURE)=1063.32

EXISTING STORM MH
TOP=1066.09
FL (S&NE)=1062.49

EXISTING INLET
TOP=1064.33
FL (S&N)=1060.18

EXISTING INLET (TO BE REMOVED)
TOP (W&N)=1062.24

PROPOSED STORM MH
RIM=1065.31

PROPOSED INLET
RIM=1063.69

EXISTING CONCRETE FLUME

EXISTING AREA INLET
TOP=1063.06
FL IN=1057.85
FL OUT=1057.59

END SECTION
FL=1059.68

END SECTION
FL=1059.12

END SECTION
FL=1058.39

END SECTION
FL=1061.23

FFE: 1066.60

10' HOPE

18' HOPE

24' HOPE

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1. GRADING MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH KDOT TECHNICAL SPECIFICATIONS. ANY REQUIREMENTS SET FORTH IN THE PLANS THAT ARE IN CONFLICT WITH KDOT STANDARDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD
2. FILL MATERIALS SHALL BE PLACED IN ACCORDANCE TO KDOT STANDARDS AND AS DIRECTED BY THE ONSITE GEOTECHNICAL ENGINEER
3. CONTRACTOR SHALL OPERATE UNDER THE TERMS AND PERMITS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND PERMITTED THROUGH THE STATE OF KANSAS.
4. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, TOPSOIL, AGGREGATE BASES, ETC WHEN GRADING THE SITE
5. ALL EXCAVATIONS AND EMBANKMENTS SHALL COMPLY WITH THE REQUIREMENTS OF KDOT AND JOHNSON COUNTY. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED, NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREON.
7. UNLESS OTHERWISE NOTED, ALL PAVEMENT GRADES SHALL BE ASSUMED 6" LOWER THAN TOP OF CURB ELEVATIONS.

_____	EXISTING 5' CONTOUR		TC XX	TOP OF CURB ELEVATION
- - - - -	EXISTING 1' CONTOUR		EX XX	EXISTING TOP OF CURB ELEVATION
_____	FUTURE 5' CONTOUR			
_____	FUTURE 1' CONTOUR		EX XX	EXISTING ELEVATION
=====	PROPOSED 5' CONTOUR			
=====	PROPOSED 1' CONTOUR		EX TP XX	EXISTING TOP OF PAVEMENT ELEVATION
=====	PROPOSED HIGH POINT/ RIDGE		EX TS XX	EXISTING TOP OF SIDEWALK ELEVATION

 TBM
 N: 202598.3300
 E: 2222606.9430
 ELEV: 1065.42



21466 W 120TH ST
OLATHE, KS 66061



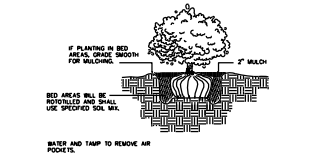
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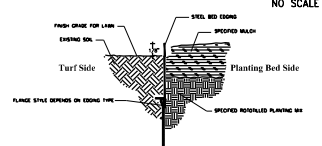
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15571 SOUTH
MAHAFFIE ST.
OLATHE, KS 66063

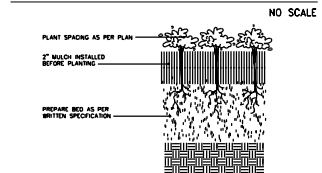
GRADING
PLAN
C2.0



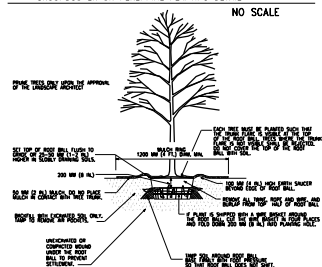
SHRUB PLANTING



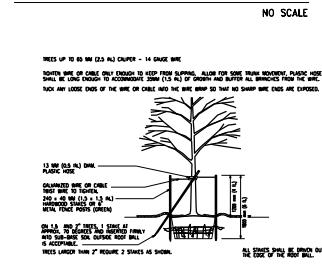
STEEL EDGING DETAIL



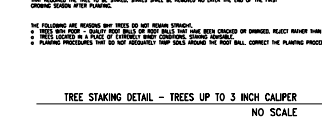
GROUNDCOVER OR PERENNIAL PLANTING DETAIL



TREE PLANTING DETAIL - 8-10 TREES



TREE STAKING DETAIL - TREES UP TO 3 INCH CALIPER



GENERAL LANDSCAPING NOTES:

1. PROVIDE NURSERY'S STANDARD ONE YEAR WARRANTY ON ALL MATERIALS.
2. ALL TREE WELLS & SHRUB BEDS TO RECEIVE AN INITIAL PRE-EMERGENT AND SHALL BE 6" OF SHREDED HARDWOOD (DARK BROWN) MULCH.
3. DRAIN BROWN MULCH TO BE 5" THICKNESS. ILLUSTRATION OF DRAIN BROWN MULCH SHALL BE 1" BROWN CONCRETE CURBS.
4. ANY TREES INSTALLED WITHIN 5' OF A DRIVEWAY OR CURB SHALL INCLUDE ROOT BARRIER MATERIALS INSTALLED AT THE TIME OF TREE PLANTING.
5. SPRINKLE TURF AND MULCH AREAS WITH STANDARD COURTESY. SITE DRAINAGE AS APPROVED BY ARCHITECT.
6. CONTRACTOR SHALL IMMEDIATELY WATER ALL PLANT MATERIALS FOLLOWING PLANTING AND CONTINUE WATERING & MAINTENANCE UNTIL OWNER ACCEPTANCE.
7. ALL PLANTING MATERIALS SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & PEST INFESTATION AND TRUE TO THE TYPE, CULTIVAR, SIZE, COLOR AS SPECIFIED. SUBSTITUTIONS SHALL BE APPROVED BY ARCHITECT. INSTALLATION SHALL FOLLOW SOUND PROFESSIONAL PLANTING PRACTICES, LAND USE, UNIFORM AND CONSISTENT PATTERN, AND TRUE TO THE LANDSCAPE PLAN.
8. ALL LAND AREA WHICH IS NOT PAVED OR COVERED BY BUILDINGS MUST BE BROUGHT TO FINISHED GRADE AND PLANTED WITH TURF OR OTHER APPROPRIATE GROUND COVER.
9. AT LEAST 1/3 OF THE PLANTINGS MUST BE INDIGENOUS SPECIES.
10. THE DEVELOPER'S SUCCESSOR AND/OR SUBSEQUENT OWNERS, AND THEIR AGENTS MAINTAIN LANDSCAPING ON THE PROPERTY ON A CONTINUING BASIS FOR THE LIFE OF THE DEVELOPMENT.
11. PLANT MATERIALS WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE, AND/OR DAMAGE MUST BE APPROPRIATELY TREATED. DEAD PLANTS MUST BE PROMPTLY REMOVED & REPLACED.
12. THE PROPERTY OWNER SHALL MAINTAIN LANDSCAPING AREAS IN GOOD CONDITION AND IN A MANNER THAT PRESERVES A HEALTHY, NEAT AND CARED-APPEARANCE. THE MAINTENANCE MUST INCLUDE WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, MULCHING, OR OTHER MAINTENANCE, IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES.
13. ALL EXTERIOR LIGHTS AND ALL EXTERIOR BUILDING MATERIALS, VENTS, PIPING, ROOT ACCESS LADDERS, AND UTILITY METERS MUST BE LOCATED OUT OF VIEW, OR OTHERWISE SCREENED FROM PUBLIC VIEW FROM ALL ADJACENT STREETS & RESIDENTIALLY DEVELOPED OR ZONED PROPERTIES. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE MEASURES.
14. ALL GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT (INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY WATER BANKS, AND COOLERS) MUST BE SCREENED FROM PUBLIC VIEW WITH 3-FOOT LANDSCAPING OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.

CITY LANDSCAPING NOTES:

- A. Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.
- B. All landscaping is subject to periodic inspection by the Planning Official or designee.
- C. The property owner will maintain landscape areas in good condition and in a way that presents a healthy, neat and orderly appearance. This maintenance must include weeding, watering, fertilizing, pruning, mowing, edging, mulching or other maintenance, in accordance with acceptable horticultural practices.
- D. The City may cause removal of any dead or diseased trees, plants and shrubs on private property within the City, when these trees, plants and shrubs constitute a potential threat to other trees, plants or shrubs within the City.
- E. No trees, shrubs, or woody vegetation will be planted within a distance of 10 feet from any fire hydrant or fire department connection (FDC).
- F. No trees will be planted within 15 feet of a streetlight.

LANDSCAPE SCHEDULE					
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	SIZE (MIN)	QTY
	A	JAPANESE YEW	TAXUS CUSPIDATA	2 GAL	18
	B	BLUE CAT GRASS	HELIOTRICHON SCOPOLIENSIS	2 GAL	20
	C	BARBERRY	BERBERIS THUNBERGII	2 GAL	25
	D	EASTERN REDBUD	CERIS CANADENSIS	4" HIGH	7
	E	EXISTING PLANTING			
	F	SUGAR MAPLE TREE	SACCHARUM VAR.	2" CAL	3
		MULCH TO MATCH EXISTING w/ STEEL EDGING, TYP.			

David Eskov
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ADA Compliance
Certification
To meet all the professional knowledge, the Architect is not responsible for compliance with the Americans with Disabilities Act, including the current ADA Title II "Design Guidelines."

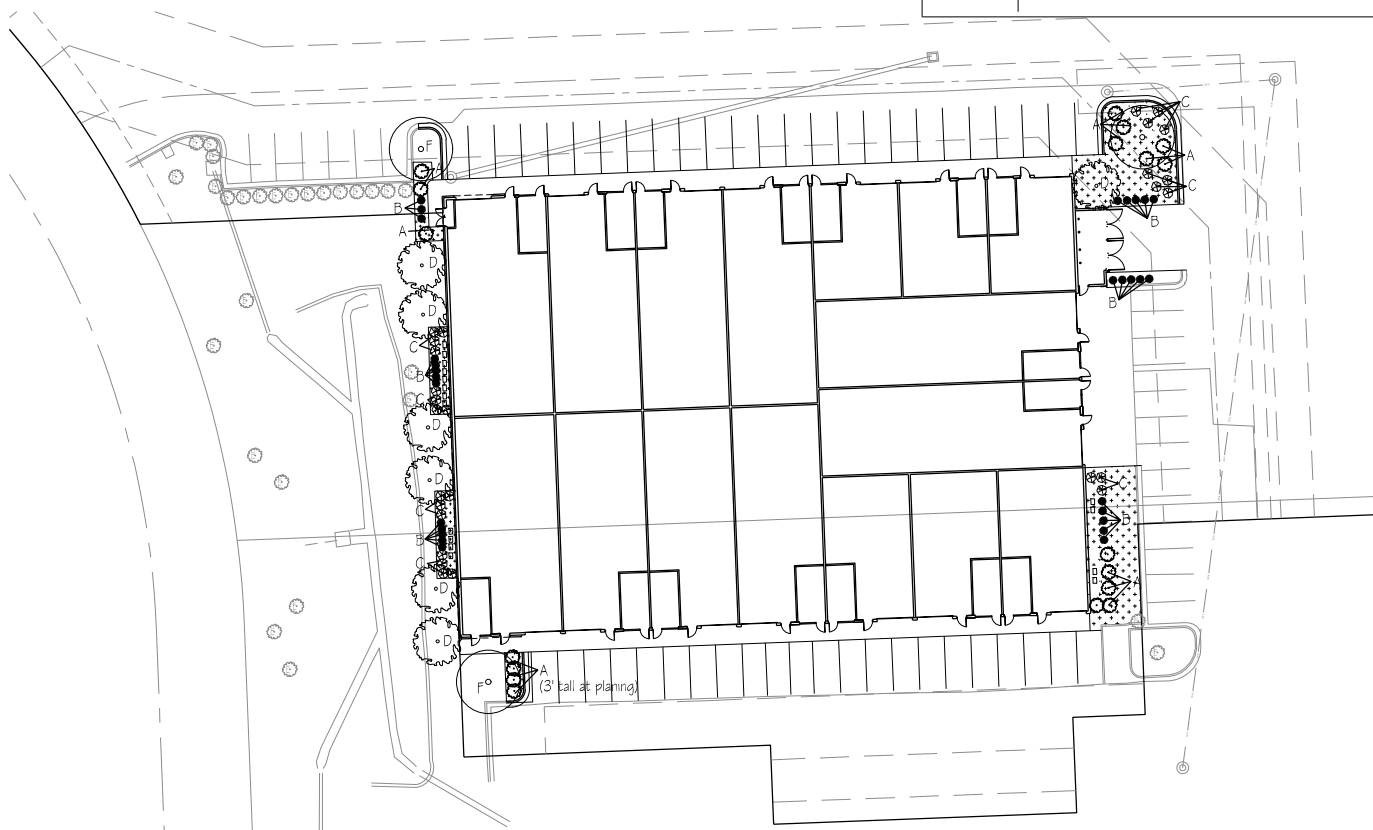
David Eskov

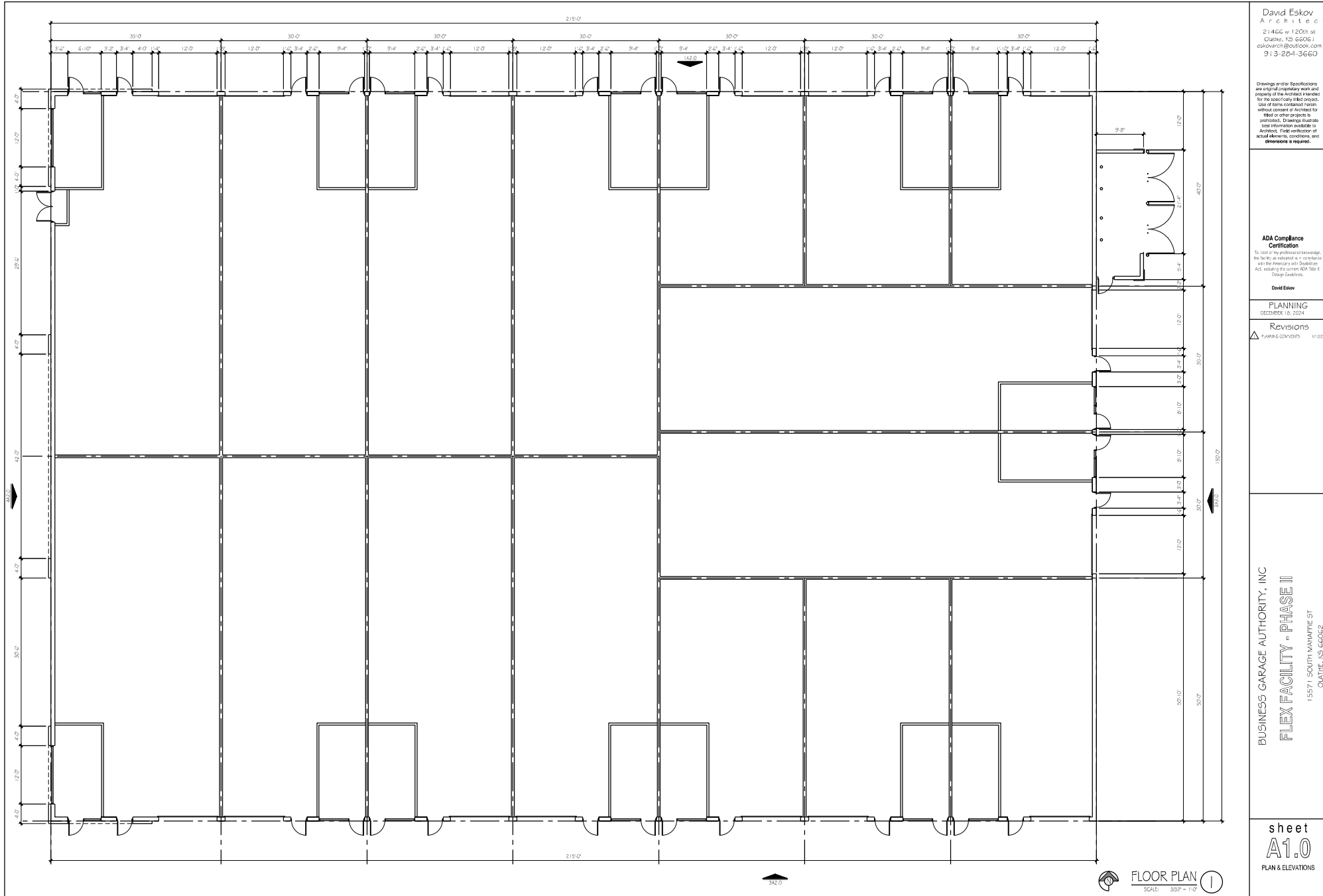
PLANNING
DECEMBER 18, 2024

Revisions
PLANNING CONCEPTS 11/2025

BUSINESS GARAGE AUTHORITY, INC
FLEX FACILITY - PHASE II
15571 SOUTH MANHATTAN ST
OLATHE, KS 66062

sheet
L1.0
LANDSCAPE PLAN





David Eskov
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Drawings and/or Specifications are original proprietary work and property of the Architect intended for the exclusive use of the project. Use of same contained herein without consent of Architect for other projects is prohibited. Drawings illustrate information available to Architect. Field verification of actual elements, conditions, and dimensions is required.

ADA Compliance Certification
To best of my professional knowledge, the facility is intended to be in compliance with the Americans with Disabilities Act, including the current ADA Title II Design Guidelines.

David Eskov

PLANNING

DECEMBER 18, 2024

Revisions

PLANNING CONCEPTS 11/2025

BUSINESS GARAGE AUTHORITY, INC
FLEX FACILITY - PHASE II
15571 SOUTH MANHATTAN ST
OLATHE, KS 66062

sheet
A1.0
PLAN & ELEVATIONS

EXTERIOR FINISH LEGEND			
MARK	MATERIAL	COLOR	NOTES
SF-1	STOREFRONT	BLACK	
PT-1	PAINT	BURNISHED SLATE	
MTL-1	METAL PANEL	MATCH PEARL ASH	
MTL-2	METAL CANOPY	BLACK	
MTL-3	PRE-FIN OVERHEAD DOOR	HEARTHROB	
MTL-4	METAL ROOF PANEL	BURNISHED SLATE	
ST-1	MANUFACTURE STONE	CANYON STONE-MOUNTAIN	
STC-1	GENUINE STUCCO	DRYVIT- PEARL ASH	
BK-1	THIN BRICK	CANYON STONE - DARK CHARCOAL	
SD-1	HARD/PLANK SIDING	MATCH PEARL ASH	



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ADA Compliance
Certification
To attest to the professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current 2010 ADA Standards for Accessible Design.

David Eskov

PLANNING
DECEMBER 18, 2024

Revisions
PLANNING COMMENTS 11/20/25

BUSINESS GARAGE AUTHORITY, INC
FLEX FACILITY - PHASE II
15571 SOUTH MANHATTAN ST
OLATHE, KS 66062

sheet
A2.0
EXTERIOR ELEVATIONS

EXTERIOR FINISH LEGEND			
MARK	MATERIAL	COLOR	NOTES
SF-1	STOREFRONT	BLACK	
PT-1	PAINT	MATCH EXISTING	
MTL-1	METAL PANEL	MATCH EXISTING	
MTL-2	METAL CANOPY	MATCH EXISTING	
ST-1	MANUFACTURE STONE	MATCH EXISTING	
STC-1	STUCCO	MATCH EXISTING	
BK-1	THIN BRICK	MATCH EXISTING	
SD-1	HARDPLANK SIDING	MATCH EXISTING	



PHASE I ELEVATION ②
SCALE: N.T.S.



PHASE I ELEVATION ①
SCALE: N.T.S.

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Drawings and/or Specifications
are original proprietary work and
property of the Architect intended
for the specific project. Use of same
without consent of the Architect
for other projects is prohibited.
Drawing illustrates
total information available to
Architect. Field verification of
actual elements, conditions, and
dimensions is required.

ADA Compliance
Certification
To the best of my professional knowledge,
the Architect certifies that the project
complies with the Americans with Disabilities
Act, including the current ADA Title II
Design Guidelines.

David Eskov

PLANNING
DECEMBER 18, 2024

Revisions

BUSINESS GARAGE AUTHORITY, INC
FLEX FACILITY - PHASE II
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sheet
A2.1
EXTERIOR ELEVATIONS