



STAFF REPORT

Planning Commission Meeting: October 13, 2025

Application:	FP25-0028: Final Plat of Hilltop Farms, Second Plat
Location:	Northwest of 175 th Street and Mur-Len Road
Owner/Applicant:	Raynard Brown, Inspired Homes LLC
Engineer:	Timothy J. Tucker, P.E.; Phelps Engineering, Inc.
Staff Contact:	Bradley Hocevar; Planner I

Site Area:	<u>13.38 ± acres</u>	Proposed Use:	<u>Single Family Residential</u>
Lots:	<u>37</u>	Existing Zoning:	<u>R-1 (Single-Family Residential)</u>
Tracts:	<u>1</u>	Plat:	<u>Unplatted</u>

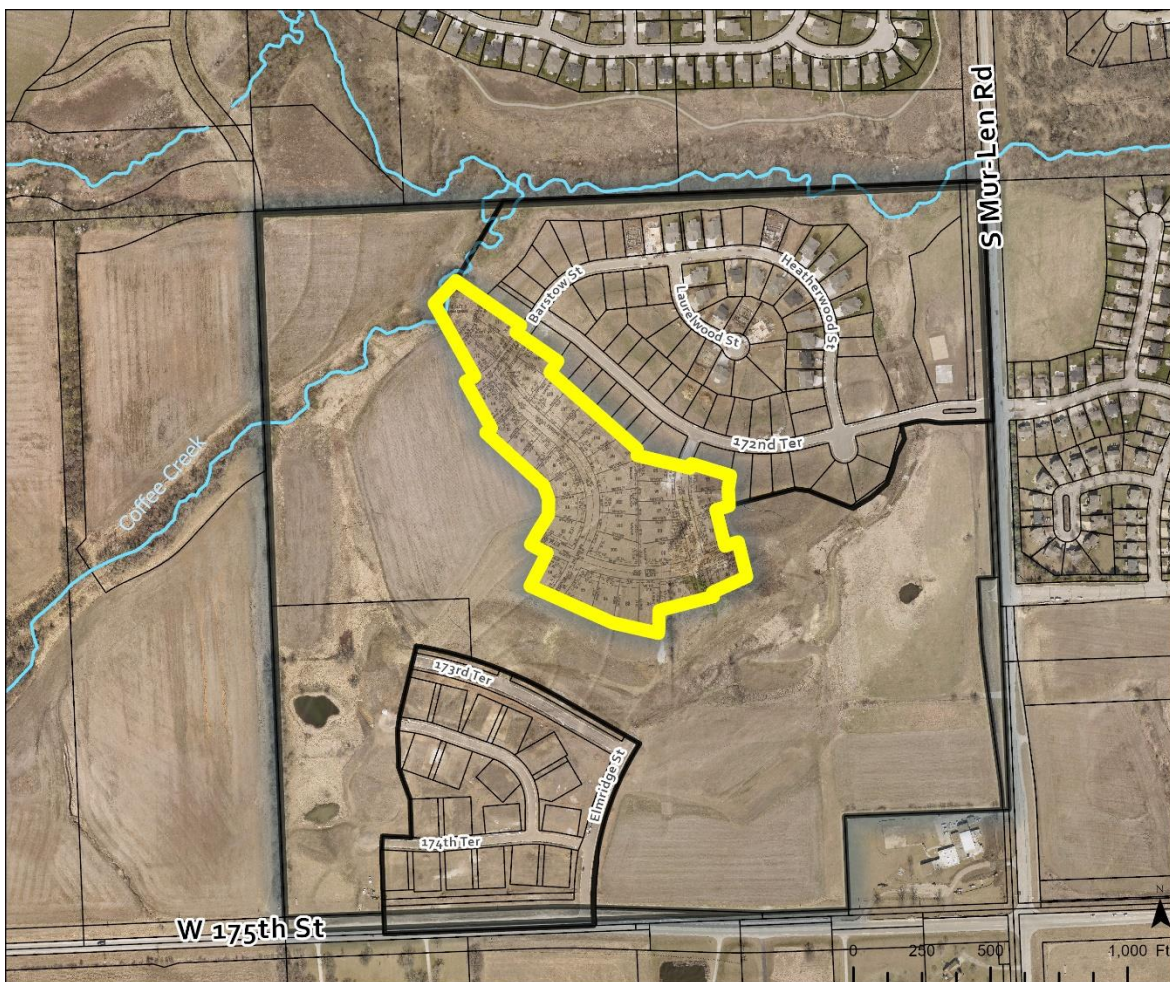
1. Introduction

The following item is a request for approval of a final plat for Hilltop Farms, Second Plat, a subdivision located at 173rd Street and west of Mur-Len Road. The plat will establish lot lines and dedicate public easements and street right-of-way for thirty-seven (37) single-family residential lots and one (1) tract on approximately 13.38 acres. The property was annexed and rezoned to the R-1 (Residential Single-Family) District with a preliminary plat in 2022 (RZ22-0003). This is Phase 2A for the Hilltop Farms single-family subdivision and the final plat is consistent with the approved preliminary plat and the R-1 District standards.

2. Plat Review

- a. **Lots/Tracts** – The final plat includes thirty-seven (37) lots intended for single-family development. Lot sizes range from 9,593 to 16,797 square feet, each exceeding the R-1 District's minimum requirements of 7,200 square feet for lot area and 60 feet for lot width. Tract I will be owned and maintained by the Hilltop Farms Homes Association and will serve as an area for stormwater treatment, open space, homeowner amenities, landscaping, trails and private open space.
- b. **Streets/Right-of-Way** – Public street right-of-way is dedicated with this plat for the extension of Barstow and Briton Streets, which will provide primary access to the site via 172nd Terrace and Mur-Len Road. Additional right-of-way is also dedicated for the construction of 172nd Place and Penrose Street, which are planned to be extended with future phases of development. Penrose Street is incorrectly labeled on the plat and the applicant will update to Norton Street prior to recording.

- c. **Public Utilities** – The property lies within the WaterOne and Johnson County Wastewater service areas. Utility (U/E) and sanitary sewer (S/E) easements, as depicted on the final plat, will be dedicated upon approval.
- d. **Stormwater** – The entire Hilltop Farms site drains northward to Coffee Creek, which subsequently flows into the downstream Regional Detention basins located east of the site. Stormwater detention for the development is provided by these existing downstream regional detention basins, and no on-site detention is required.
- e. **Landscaping/Tree Preservation** – A landscape plan has been provided that is consistent with the preliminary development plan and complies with the standards and requirements of the UDO. The required street trees will be installed as each lot is developed. All of Tract I is designated as a tree preservation easement, which will be maintained by the homeowners association and is consistent with the preliminary plat.



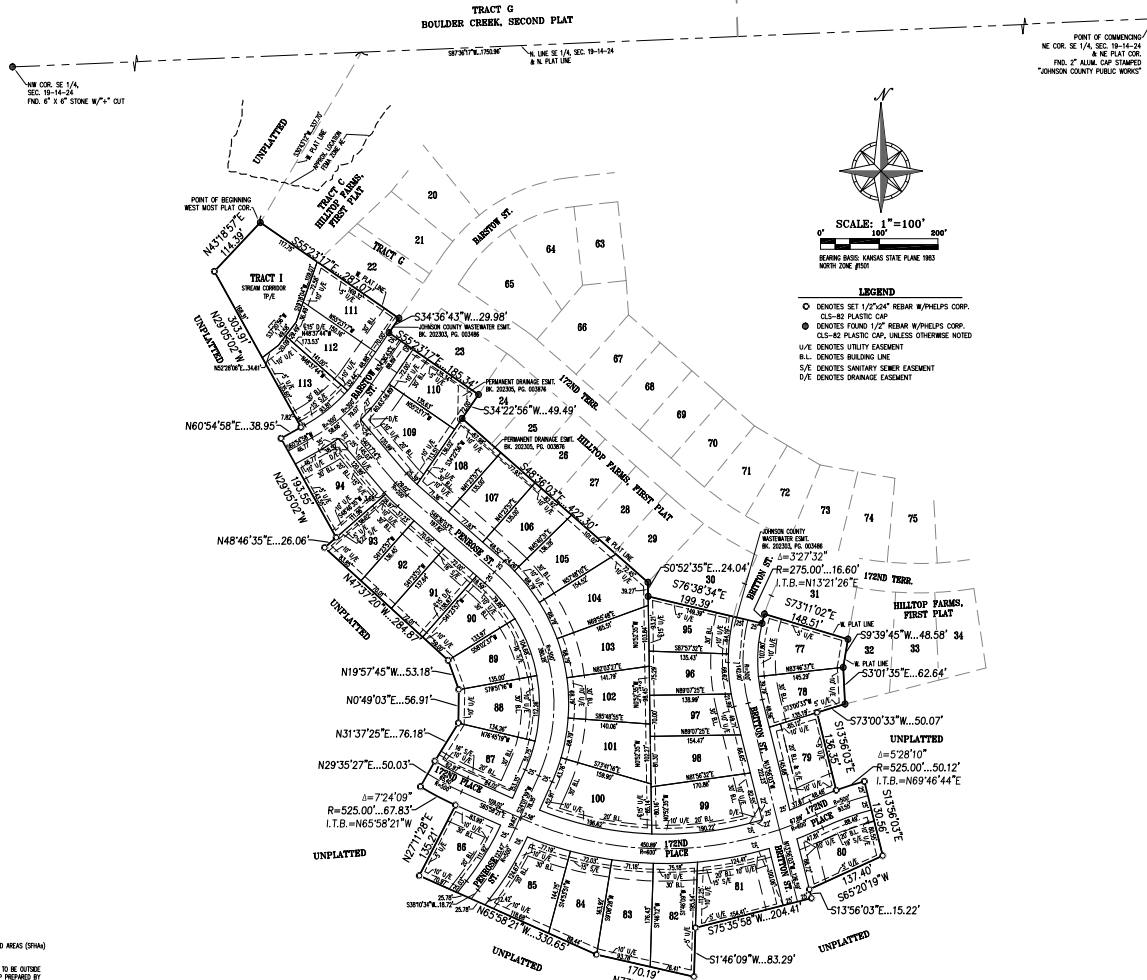
Aerial view of subject property outlined in yellow.

3. Staff Recommendation

- A. Staff recommends approval of FP25-0028, the final plat of Hilltop Farms, Second Plat, with no stipulations.

FINAL PLAT OF
HILLTOP FARMS, SECOND PLAT
A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 14
SOUTH, RANGE 24 EAST, IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS

PARCEL	AREA (S.F.)	AREA (AC.)
77	1972.26	0.0457
78	1972.37	0.0458
79	1983.77	0.0457
80	1948.63	0.0457
81	1427.80	0.0329
82	1389.37	0.0319
83	1386.35	0.0318
84	1232.15	0.0280
85	1348.24	0.0308
86	1096.65	0.0249
87	1200.20	0.0267
88	11520.23	0.2646
89	10728.29	0.2462
90	10826.34	0.2485
91	9954.54	0.2285
92	9931.11	0.2202
93	10217.43	0.2346
94	13023.47	0.2990
95	10993.13	0.2529
96	9761.69	0.2241
97	10249.63	0.2353
98	12327.58	0.2830
99	15546.99	0.3570
100	16797.04	0.3852
101	12509.73	0.2872
102	11624.97	0.2669
103	10973.00	0.2500
104	14081.27	0.3247
105	12056.43	0.2768
106	10519.97	0.2415
107	10521.07	0.2415
108	10755.25	0.2469
109	13283.34	0.3040
110	9754.92	0.2239
111	11861.77	0.2697
112	10471.80	0.2398
113	10795.04	0.2478
PLAT 2	580209.08	13.3806
ROW	121092.72	2.7799
TRACT 1	22318.35	0.5124



LEGAL DESCRIPTION
This description was prepared by Phelps Engineering, Inc., KS CLS-82 on July 25, 2025, for Project No. 240442. All that part of the Southeast Quarter of Section 19, Township 14 South, Range 24 East, in the City of Olathe, Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northeast corner of the Southeast Quarter of said Section 19, said point also being the Northeast plat corner of HILLTOP FARMS, FIRST PLAT; a plat subdivision of land in the City of Olathe, Johnson County, Kansas, then S 87°30'17\"/>

DEDICATION
The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereafter be known as "HILLTOP FARMS, SECOND PLAT".

The undersigned proprietors of said property shown on this plat hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on this plat as streets, terraces, places, roads, drives, lanes, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any poles, lines, pipes and wires, conduits, ducts or cables heretofore installed thereon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietors hereby dissolve and agree to indemnify the City of Olathe, Johnson County, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easements.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, poles, wires, surface drainage facilities, ducts, cables, etc., upon, over and under those areas outlined herein and designated on this plat as "Drainage Easement" or "D/E" is hereby granted to the City of Olathe, Kansas.

An easement to lay, construct, maintain, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "S/S" on this plat, together with the right of ingress and egress over and through adjoining land as may be reasonably necessary to access said easement and is hereby dedicated to Johnson County, Kansas or their assigns. Alteration of land contours will be permitted only with the express written approval of JCW. Any piling of improvements or planting of trees on said permanent right-of-way will be done at the risk of subsequent damage thereto without compensation therefor.

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, pipes, poles, wires, surface drainage facilities, ducts, cables, etc., upon, over and under those areas outlined herein and designated on this plat as "D/E" or "Utility Easement".

An easement or license is hereby dedicated to the City of Olathe to enter upon, over and across those areas outlined and designated on this plat as "Tree Preservation Easement" or "T/P/E". Trees shall not be removed from a tree preservation easement without the City of Olathe's permission, unless such trees are dead, diseased or pose a threat to the public or adjacent property. The developer and/or the homes association shall be responsible for the maintenance of the tree preservation easement, including but not limited to the removal of dead or diseased trees or trees posing a threat to the public or adjacent property. No structure will encroach within/over a tree preservation easement.

Notice: This site includes Stormwater Treatment Facilities, as defined and regulated in the Olathe Municipal Code. Restrictions on the use or alteration of the said Facilities may apply. This property is also subject to the obligations and requirements of the Stormwater Treatment Facility Maintenance Agreement approved by the City.

Stream Corridor Notice: This property is located within or contains a Stream Corridor, as defined and regulated in the City of Olathe, Kansas, Municipal Code. Restrictions on the use or alteration of land within the Stream Corridor may apply. This property is also subject to the obligations and requirements of the Stream Corridor Maintenance Agreement (Bk. 202305, Pg. 003875) approved by the City.

TRACT "1" shall be owned and maintained by Hilltop Farms Homes Association. Said tract is intended to be used for stormwater treatment, open space, homeowner amenities, landscaping, monuments, trails and private open space.

CONSENT TO LEVY
The undersigned proprietors of the above described land hereby agree and consent that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release said land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessment, and that the amount of unpaid special assessments on such land so dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public way or thoroughfare.

EXECUTION
IN TESTIMONY WHEREOF, Inspired Homes, LLC, has caused this instrument to be executed on this _____ day of _____, 20____.

By: _____
Raynard Brown, President

ACKNOWLEDGEMENT
STATE OF KANSAS)
COUNTY OF JOHNSON) SS
COUNTY OF JOHNSON)

BE IT REMEMBERED that on this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for said County and State, came Raynard Brown, President of Inspired Homes, LLC, who is personally known to me to be such person who executed, as such officer, the within instrument on behalf of said partnership, and such person duly acknowledged the execution of the same to be the act and deed of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

Notary Public: _____ My Appointment Expires: _____

Print Name: _____

APPROVALS
Approved by the Planning Commission of the City of Olathe, Johnson County, Kansas, this _____ day of _____, 2022.

Chairman: Wayne Janner

Approved by the Governing Body of the City of Olathe, Kansas, this _____ day of _____, 2022.

Mayor: John W. Bacon

Attest: _____
City Clerk: Dianne Swearingin

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

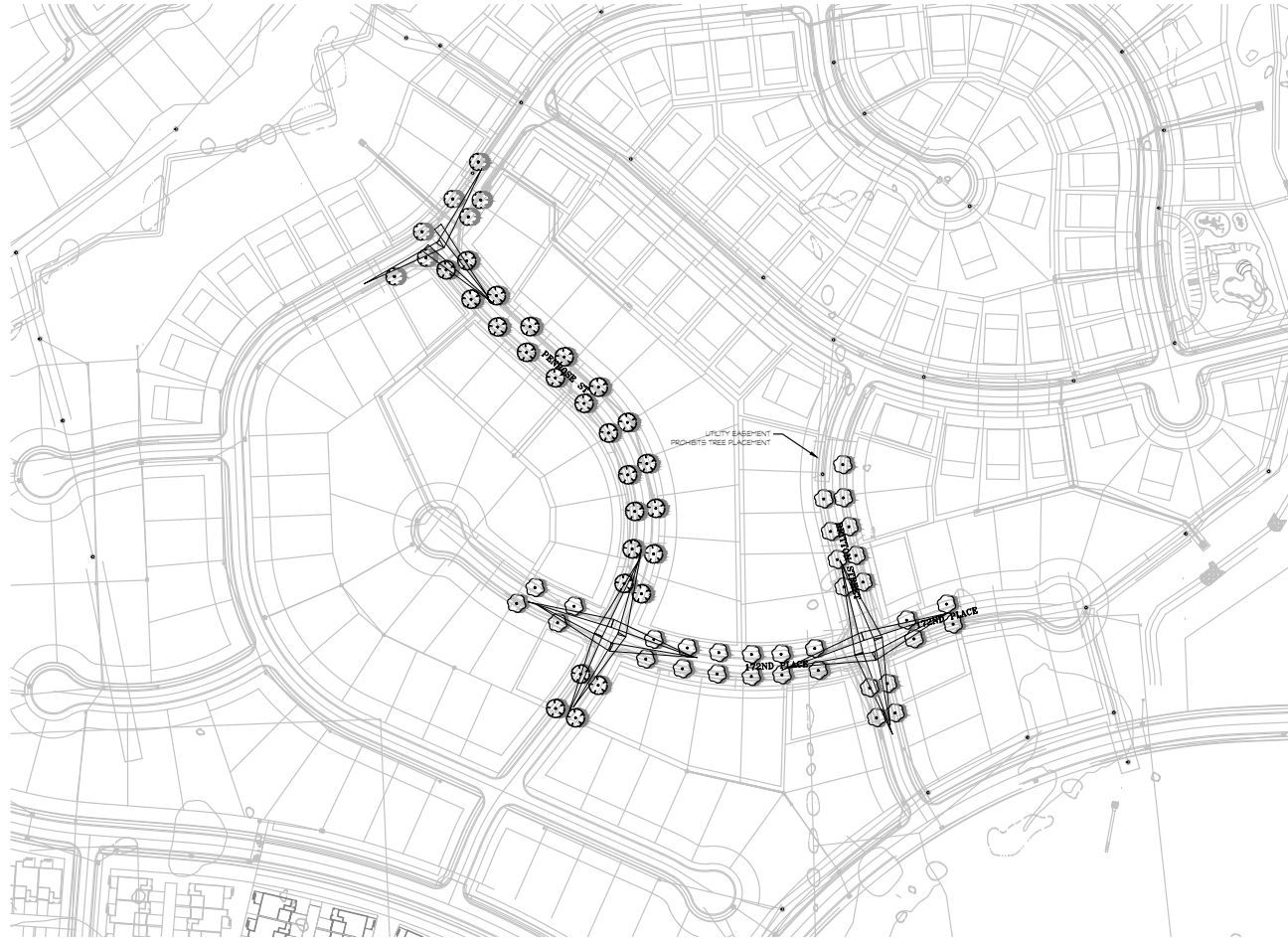
Notary Public: _____

Notary Public: _____

Notary Public: _____

Notary Public: _____

18.30.130.G Street Tree Calculations				
One Tree Per 40 lined feet of street (average spacing)				
Type	Quantity	Measurement	Tree Counts	
Borstow Street	273	LF	7	Street Trees Required
Penrose Street	992	LF	25	Street Trees Required
W. 172nd Place	789	LF	20	Street Trees Required
Laurelwood Street	491	LF	13	Street Trees Required
Total Street Trees Required			65	total
Total Street Trees Provided			65	total
Residential Lots	37	lots	min. 1 street tree per lot	
of which	10	corners	min. 2 street trees per lot	



PLANT SYMBOL	SCHEDULE CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
STREET TREES					
	CLA12N	Citrus aurantium / American Yellowwood	25 Cal.	25	Onsite Approval
	QUE12B	Quercus rubra / Northern Red Oak	25 Cal.	7	Onsite Approval
	ULM12N	Ulmus parvifolius / Dwarf Elm	25 Cal.	33	Onsite Approval

 Right Triangle
REFER TO SHEET L200 FOR ADDITIONAL NOTES AND DETAILS

Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY
THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE
VERIFIED IN THE FIELD AT THE TIME OF
CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF
UNDERGROUND UTILITIES CALL 811.



SCALE: 1"=100'

0' 100' 200'

A horizontal scale bar with alternating black and white segments. It is marked with '0' at the left end, '100' in the middle, and '200' at the right end.

100% Satisfaction Guarantee
 24/7 Customer Support
 Free Shipping
 100% Satisfaction Guarantee

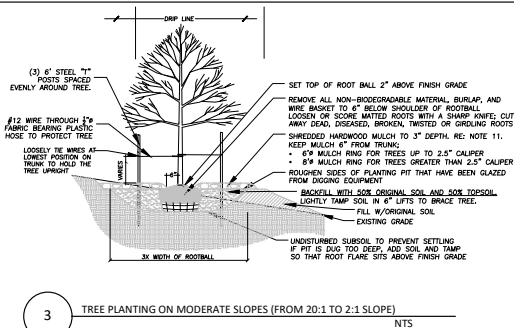
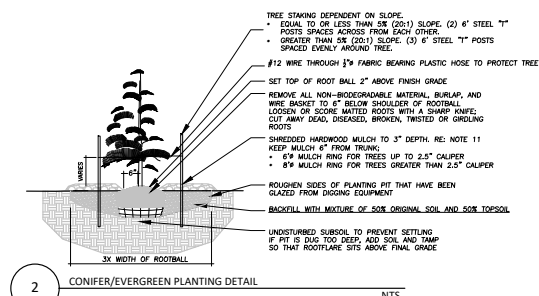
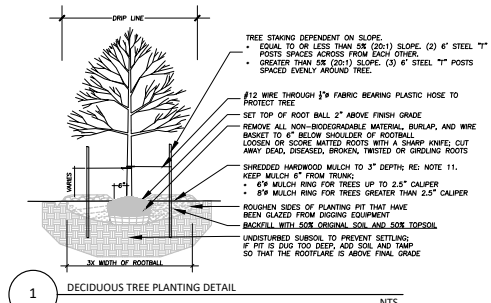


LANDSCAPE PLAN

LANDSCAPE ARCHITECT
FINAL PLAT OF HILLTOP FARMS, SECOND PLAT
S OF S. HEATHERWOOD ST. & W 172ND TERR.
OLATHE, JOHNSON COUNTY, MISSOURI

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SHEET
L100



- LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRADICTORY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES REFERENCE TO THE AREA.
2. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
3. ALL SHRUBS SHALL BE LOCATED OUTSIDE OF 8' DISTANCE TRIANGLES. DECIDUOUS STREET TREES IN 8' DISTANCE TRIANGLES SHALL BE LIMITED TO ONE TREE TO PROTECT THE VIEW OF THE STREET. THE LANDSCAPE ARCHITECT IF EVERGREEN TREES ARE LOCATED IN 8' DISTANCE TRIANGLES PRIOR TO INSTALLATION.
4. PROVIDE AND INSTALL PERENNIAL TURFGRASS SO IN ALL DISTURBED SOIL AREAS. THE SITE SHALL BE COVERED WITH TURFGRASS OR LAWN. THE INCLUDES AREAS CLEARLY IDENTIFIED AS PLANTING BEDS, MULCH RINGS, OR WHERE SPECIFIC INSTRUCTIONS TO THE CONTRARY ARE EXPLICITLY STATED ON CONSTRUCTION DOCUMENTS.
5. ALL LANDSCAPE MATERIALS QUANTITIES SHOWN SHALL BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN WRITTEN/DRAWN CALLOUTS PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR WILL BE HELD FINANCIALLY LIABLE FOR ANY CHANGES DUE TO NEW PLANTING, CURBING, OR OTHER COMPLETED CONSTRUCTION ITEMS INCURRED DURING THE LANDSCAPE INSTALLATION.
6. NO PLANT MATERIAL SUBSTITUTIONS ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIAL DELIVERED ON SITE SHALL COMPLY WITH THE GENERAL SPECIFICATIONS FOR PLANT MATERIALS DETERMINED BY THE MOST RECENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY "AMERICAN-COTTON, INCLUDING (BUT NOT EXCLUSIVELY INCLUDING) FORM, HABIT, VIGOR, HEALTH, AND MEASURE.
8. ALL PLANTS REMOVED FROM SITE AND FOUND TO BE UNACCEPTABLE DUE TO EVIDENCE OF DISEASE, INSECTS, OR FUNGAL GROWTH SHALL BE REMOVED FROM THE SITE ON THE DAY OF THE INSPECTION.
9. ALL SIZES INDICATED ON THE PLANT SCHEDULE ARE THE MINIMUM ACCEPTABLE SIZE. REFER TO SHEET 1000 FOR PLANT SPECIFICATIONS. ALL MATERIAL SHALL MEET THE MINIMUM PLANTING DEPTHS, AND CUBIC VOLUMES PER THE "AMERICAN STANDARD FOR NURSERY STOCK". MATERIAL SMALLER THAN THE MINIMUM ACCEPTED SIZE SHALL NOT BE ACCEPTED. ANY MATERIAL, INSTALLED THAT DOES NOT MEET THESE MINIMUM SIZE REQUIREMENTS SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.
11. BEFORE INSTALLATION OF MULCH, A PRE-EMERGENT HERBICIDE SHOULD BE APPLIED TO ALL PLANT BEDS & TREE MULCH RINGS.
12. CONTRACTOR SHALL MAINTAIN ACCESSIBILITY OF THE PLANTS UNTIL THE DATE OF FINAL ACCEPTANCE OF THE LANDSCAPE WORK BY THE OWNER.
13. CONTRACTOR SHALL INCLUDE A ONE YEAR GUARANTEE PERIOD FOR ALL PLANT MATERIAL, AND LANDSCAPE WORK IN COMPLIANCE WITH OLAHE MUNICIPAL CODE 18.30.130.10. IF THE PLANT SHOWS SIGNS FROM THE DATE OF FINAL ACCEPTANCE OF THE LANDSCAPE WORK BY THE OWNER AND CONTINUE FOR 365 DAYS FROM THIS DATE, PLANT MATERIAL WHICH IS NOT IN GOOD LIVING CONDITION (E.G. DEAD, SIGNIFICANT EVIDENCE OF DECLINE OR DISEASE, SIGNIFICANT DAMAGE TO THE PLANT) SHALL BE REPLACED DURING THE ONE YEAR GUARANTEE PERIOD. SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR AND OWNER SHALL AGREE ON THE INSTALLATION TIMEFRAME FOR REPLACEMENT MATERIAL SO AS TO AVOID DURING NORMAL GROWING SEASONS.
14. THE LANDSCAPE CONTRACTOR IS TO PERFORM A THOROUGH CLEANUP AND QUALITY CONTROL INSPECTION.
15. CONTRACTOR SHALL REFER TO THE GENERAL CONTRACTOR AWARDED THIS SCOPE OF WORK TO COMPLETION, AND ANY SUBCONTRACTOR AWARDED THIS SCOPE OF WORK BY THE AWARDING CONTRACTOR. LANDSCAPE ARCHITECT SHALL REFER TO THE LICENSED LANDSCAPE ARCHITECT WHO HAS SEALED THESE CONSTRUCTION DOCUMENTS. OWNER SHALL REFER TO THE FINAL OWNER OF THE PROPERTY AT ANY TIME DURING THE BIDDING, AWARD, CONSTRUCTION, AND COMPLETION OF THE PROJECT. THE CONTRACTOR'S REPRESENTATIVE, IF THERE IS A DISCREPANCY IN THE DEFINITION OR TERMINOLOGY OF SAID TERMS PROVIDED IN THE GENERAL CONDITIONS OF THE AWARDED CONTRACT, THE DEFINITION OR TERMINOLOGY STATED IN THE GENERAL CONDITIONS SHALL TAKE PRECEDENCE OVER THE DEFINED TERMINOLOGY IN THIS NOTE.
16. ALL REQUIRED LANDSCAPING MATERIALS, BOTH LIVING AND NONLIVING, MUST BE IN PLACE PRIOR TO THE TIME OF ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, REFER TO OLAHE MUNICIPAL CODE 18.30.130.11 FOR MORE INFORMATION.
17. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER MEASURED DIMENSIONS.
18. ALL WORK DESCRIBED IN THE LANDSCAPE PLAN SHALL COMPLY WITH APPLICABLE ORDINANCES, ORDINANCES, AND PLAN REPORT REQUIREMENTS BY THE CITY OF OLAHE.



LANDSCAPE DETAILS

LANDSCAPE DETAILS
FINAL PLAT OF HILLTOP FARMS, SECOND PLAT
S OF S. HEATHERWOOD ST. & W 172ND TERR.
OLATHE, JOHNSON COUNTY, MISSOURI

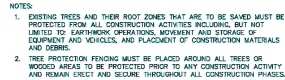
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SHEET
L200



Know what's below.
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UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY
THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE
VERIFIED IN THE FIELD AT THE TIME OF
CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF
UNDERGROUND UTILITIES CALL 811.



APPROVED: JAN 2024	DATE	UPDATE		TREE PRESERVATION	STANDARD DETAIL TF-2



1. FENCING MUST BE FOUR (4) FEET IN HEIGHT, BE SUPPORTED BY METAL CHANNEL POSTS SPACED AT A MINIMUM OF TEN (10) FEET ON CENTER, AND REMAIN ERECT AND SECURE THROUGHOUT ALL CONSTRUCTION PHASES.
2. THE REQUIRED TREE PROTECTION FENCING MUST BE INSTALLED AND PASS CITY INSPECTION PRIOR TO ALL CONSTRUCTION ACTIVITIES, SUCH AS EXCAVATING, GRADING, CONSTRUCTION, OR TREE REMOVAL.

 Orange Construction Fence
 Tree Preservation Area



TREE PRESERVATION PLAN
HILLTOP FARMS, SECOND PLAT
OLATHE, KS

[illegible]

OF 1