

- DEMOLITION KEY NOTES:**
- (A)** ALL UTILITIES SERVING STRUCTURES IMMEDIATELY SURROUNDING THE DEMOLITION BOUNDARY SHALL REMAIN IN SERVICE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO SUCH UTILITIES. TYPICAL LOCATION.
 - (B)** THE CONTRACTOR SHALL REMOVE ALL GROUND VEGETATION, TREES, SHRUBS, BRUSH AND DEBRIS SPECIFICALLY SHOWN TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF CLEARED ITEMS.
 - (C)** REMOVE EXISTING CURB AND GUTTER.

LEGEND

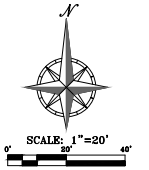
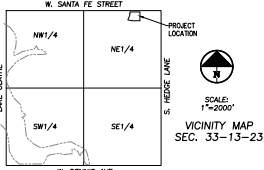
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- --- REMOVE EXISTING CURB & GUTTER
- ◉ --- EXISTING TREE TO REMAIN
- ✘ --- REMOVE TREE
- BT --- EXISTING BURIED TELEPHONE
- CV --- EXISTING CABLE TELEVISION LINE
- FO --- EXISTING FIBER OPTIC LINE
- --- EXISTING WATER LINE
- --- EXISTING GAS LINE
- --- EXISTING BURIED ELECTRIC
- --- EXISTING OVERHEAD POWER LINE
- --- EXISTING SANITARY SEWER
- --- EXISTING FIRE HYDRANT
- --- EXISTING STORM SEWER
- --- EXISTING LIGHT POLE
- --- EXISTING CHAIN LINK FENCE

- DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.

811

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

Know what's below.
Call before you dig.



DEMOLITION PLAN
HYPER ENERGY BAR
OLATHE, JOHNSON COUNTY, KANSAS
ADDRESS: 2250 W. DARTMOUTH STREET

PROJECT NO.	ZONING	DATE	NO.	DATE	REVISION
13-0001		11-21-2014	1	11-21-2014	REVISED PER SHEET COMMENTS

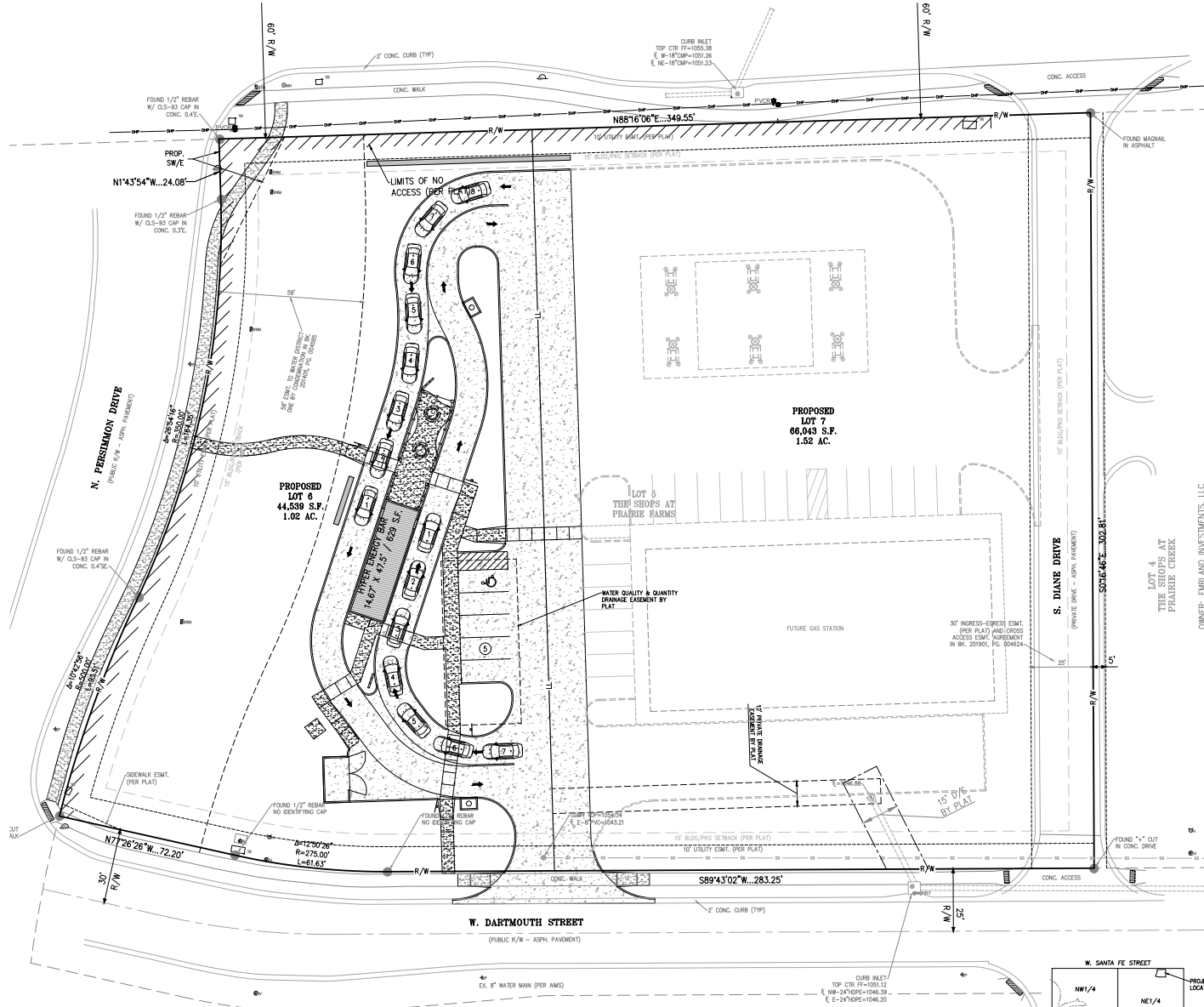
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LEGEND

- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- ==== 2" CURB & GUTTER
- ==== 4" CURB
- B/A - BUILDING SETBACK LINE
- P/S - PARKING SETBACK LINE
- L/S - LANDSCAPE SETBACK LINE
- [Pattern] PROPOSED BUILDING
- [Pattern] CONCRETE PAVEMENT
- [Pattern] CONCRETE SIDEWALK

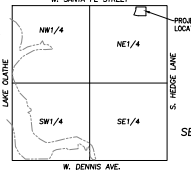
SITE DATA

PROPOSED LOT 6	44,539.35 S.F. / 1.02 AC.
ZONING	C-2
EXISTING	C-2
PROPOSED	C-2
PROPOSED BUILDING (1-STORY)	629 S.F.

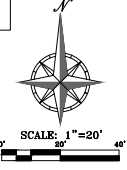
PARKING SUMMARY

PROPOSED PARKING	
STANDARD STALLS (9'-0" X 18'-0")	4
ACCESSIBLE STALLS	1
TOTAL STALLS	5
REQUIRED ACCESSIBLE STALLS	1-25
TOTAL STALLS	1
REQUIRED ACCESSIBLE STALLS	1

LEGAL DESCRIPTION:
LOT 5, THE SHOPS AT PRAIRIE FARMS, A SUBDIVISION IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS.
GROSS AREA = 22.54 ACRES / 2110,563 SQ.FT.



SCALE: 1"=200'
VICINITY MAP
SEC. 33-13-23



OVERALL SITE PLAN
HYPER ENERGY BAR
OLATHE, JOHNSON COUNTY, KANSAS
ADDRESS: 2250 W. DARTMOUTH STREET

PROJECT NO.	24081	DATE	NOV 25, 2024	REVISION	
DATE OF APPROVAL		NO.	1	REVISION	REVISED PER STAFF COMMENTS
DATE OF APPROVAL		NO.		REVISION	
DATE OF APPROVAL		NO.		REVISION	

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UTILITY NOTES:
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TRACT A RANCH VILLAGES AT PRAIRIE FARMS

**PROPOSED LOT 7
 66,043 S.F.
 1.52 AC.**

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
 - City Ordinance 6-5.5.A, Regulations.
 - The City of Olathe Technical Specifications and Municipal Code.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Olathe, Kansas, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal/relocation of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by authority. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unknown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for the safety of the site. Including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include release of the obligation of the contractor's safety measures, to, on or near the construction site.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole boxes, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING LINES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDING.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12" 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES S-2020 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RAINING. THIS SIGNS SHALL BE APPLIED.
- SIGNAGE IS APPROVED ADMINISTRATIVELY THROUGH A SEPARATE APPLICATION AND MUST MEET THE REQUIREMENTS OF I-90 (8.5.0).

LEGEND

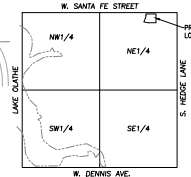
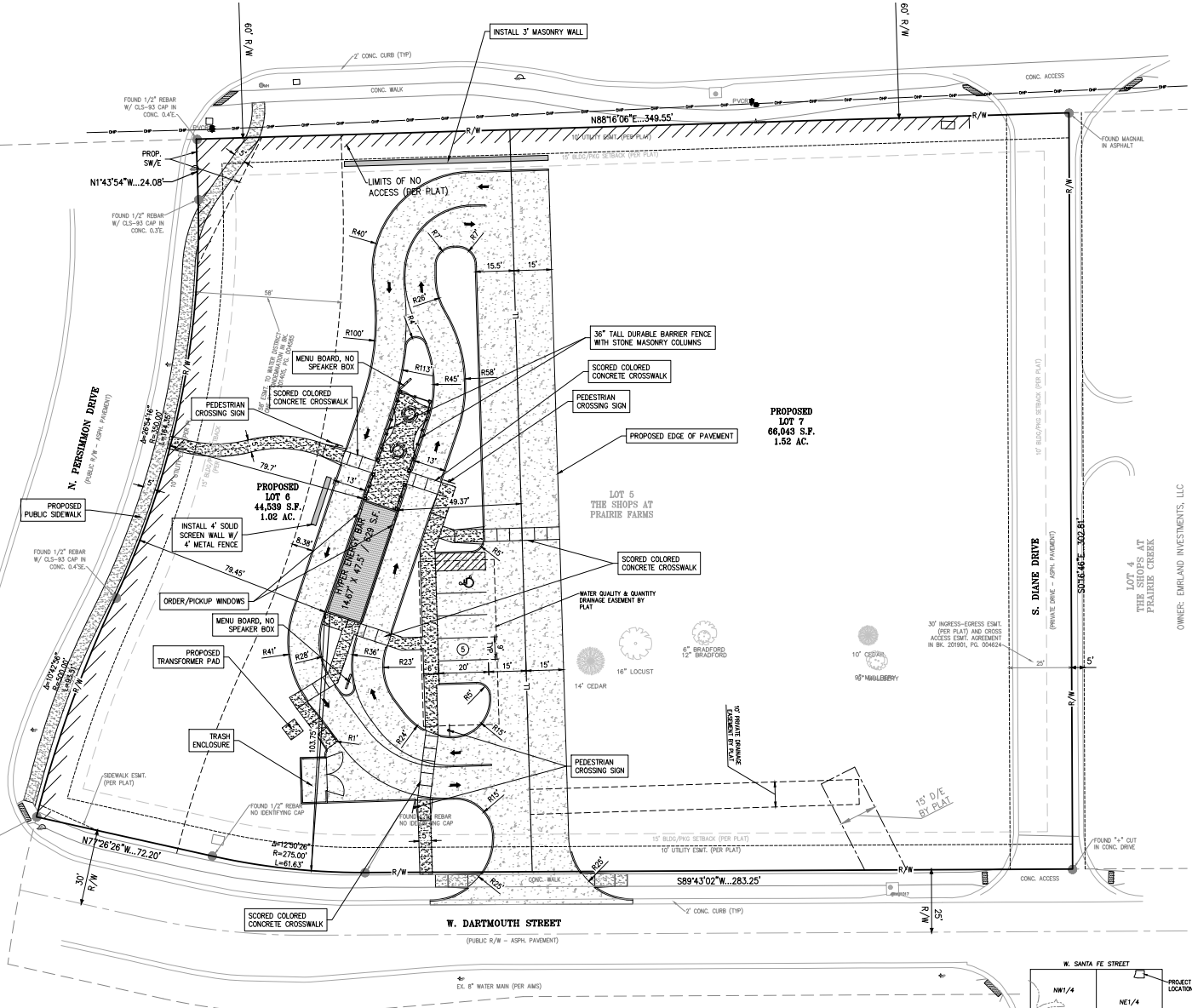
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- ==== P/S — PARKING SETBACK LINE
- ==== L/S — LANDSCAPE SETBACK LINE
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

Preparing for the construction site, including site preparation, utility relocation, and foundation work.

SITE PLAN
HYPER ENERGY BAR
 OLATHE, JOHNSON COUNTY, KANSAS
 ADDRESS: 2250 W. DARTMOUTH STREET

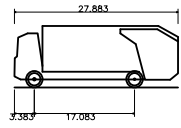
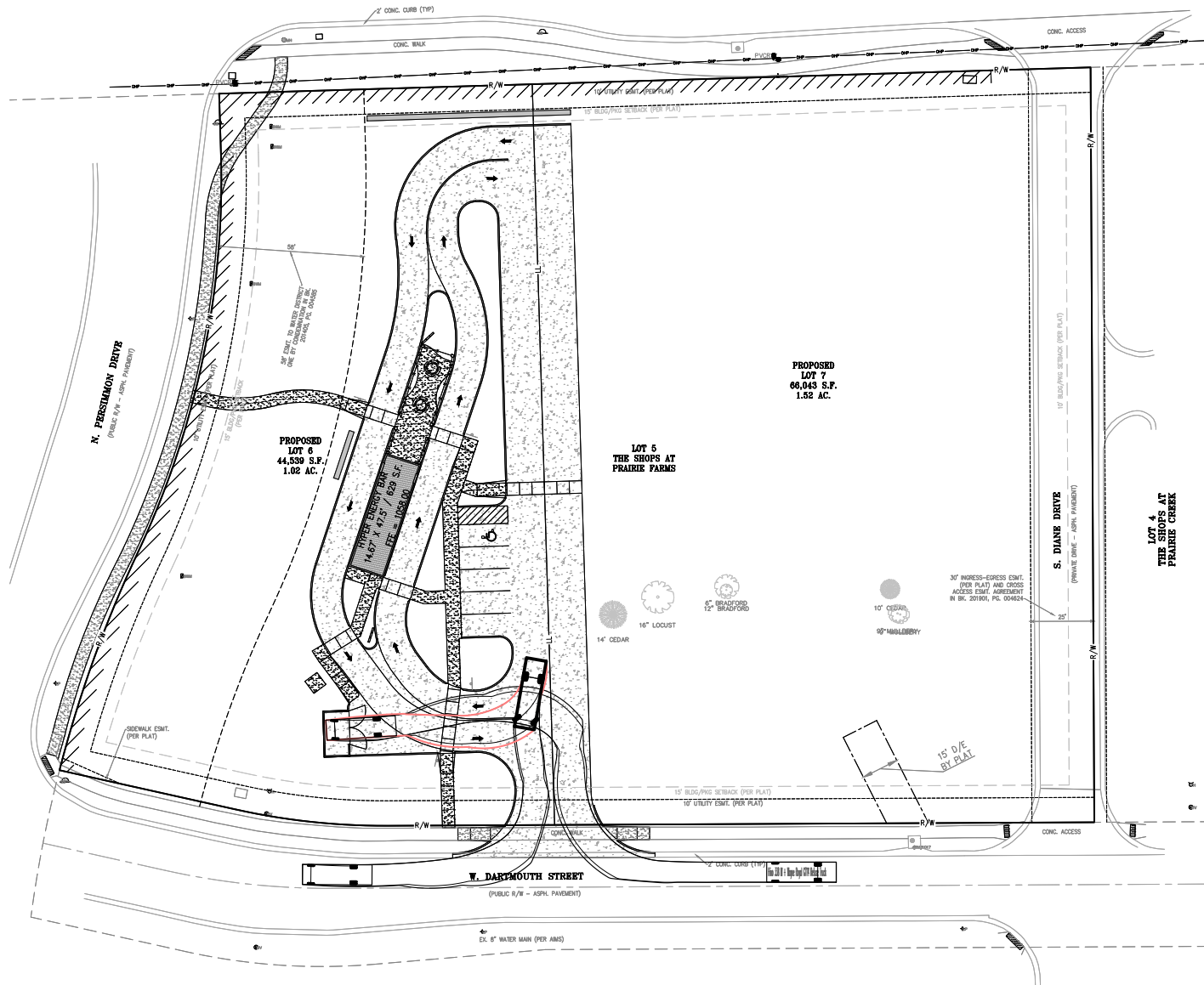
PROJECT NO.	240851	DRAWN	NS	11-25-2024	REVISION	REVISION
DATE OF APPROVAL		CHECKED	DLB		REVISION 1	
CITY OF APPROVAL		DATE OF APPROVAL			REVISION 2	
COUNTY OF APPROVAL		DATE OF APPROVAL			REVISION 3	
STATE OF APPROVAL		DATE OF APPROVAL			REVISION 4	

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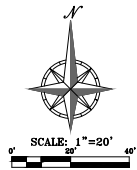


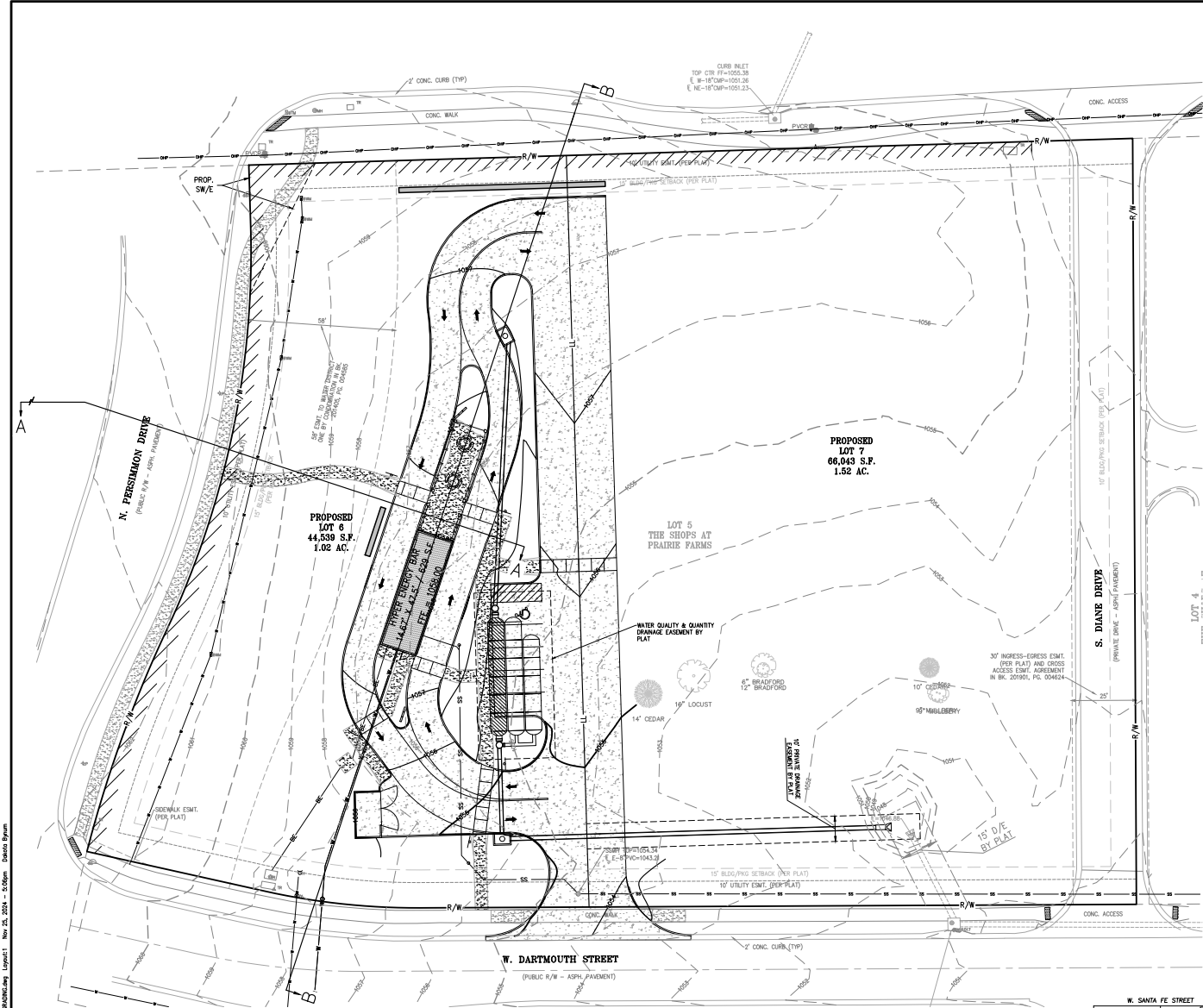
Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 27.863ft
 Overall Width 17.085ft
 Overall Body Height 7.353ft
 Min. Body Ground Clearance 1.918ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft



TRUCK TURN PLAN
 HYPER ENERGY BAR
 OLATHE, JOHNSON COUNTY, KANSAS
 ADDRESS: 2250 W. DARTMOUTH STREET

PROJECT NO.	DATE	NO.	NO.	NO.	NO.
248881	11-25-2024	1	2	3	4
REVISIONS / COMMENTS					





SITE GRADING NOTES:

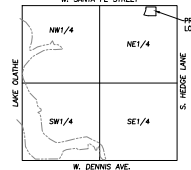
- CONTOURS AND ELEVATIONS:** Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate final grade. Contractor shall hold down subgrade to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING:** Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of geotechnical operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fill.
- TOPSOIL STRIPPING:** Prior to the start of site grading, the contractor shall strip a topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ILL.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall ensure positive drainage away from building for all areas.
- SUBGRADE PREPARATION:** Prior to placement of new fill material, the existing subgrade shall be prepared and approved under the direction of the Geotechnical Engineer or his representative.
- PROFILING:** Subsequent to completion of stripping and over-excavation, of building and pavement areas to receive engineered fill should be systematically profiled using a tandem axle spring truck loaded to approximately 25,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be profiled within 48 hours of paving. Unsettled soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:**
 - GEOTECHNICAL:** All earthwork shall conform to the recommendations of the Geotechnical report. Soil report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Items specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER:** Surface water shall be intercepted and diverted during the placement of fill.
 - FILL:** All fill shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris, in areas where the thickness of the engineered fill is greater than 18". The building and pavement construction shall not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - DRAINING SUBGRADE:** As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of low Volume Change (LC) material unless an approved contractor grade fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES:** Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be bench cut providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the construction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (layer thickness measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS:** The upper 5 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (Standard proctor compaction). The moisture content of the fill at placement shall be controlled to be within one (1) percent (1%) above to 4% below optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of each lift. Where compaction earth fill is a large lift or impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall meet 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" to 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this requirement.
- TESTING AND INSPECTION:** Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fill and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION:** At excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- PERMANENT RESTORATION:** All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES:** The contractor is specifically cautioned that the location and/or elevation of existing utilities are shown on these plans in based on records of the various utility companies, and where possible, measurements taken in the field. This information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field locations of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE:** The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.S. permit for storm water discharge associated with construction activities. Refer to project S&P/P.P. requirements.

Earthwork Summary
Hyper Energy Bar
11/27/2024

Raw Excavation	182 Cu. Yds.
In Place Compaction (+15%)	-697 Cu. Yds.
Building Adjustment	47 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	645 Cu. Yds. (assume 12" of additional excavation)
On Site Net	176 Cu. Yds.

LEGEND

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- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- — — — — EXISTING CONTOURS
- — — — — PROPOSED CONTOURS
- — — — — PROPOSED SPOT ELEVATION
- — — — — TOP OF CURB
- — — — — SIDEWALK
- — — — — MATCH EXISTING
- — — — — HIGH POINT
- — — — — LOW POINT
- — — — — TOP OF PAVEMENT
- — — — — TOP OF STRUCTURE
- — — — — GRASS ELEVATION
- — — — — BOTTOM OF STEPS
- — — — — TOP OF WALL
- — — — — BOTTOM OF WALL
- — — — — TOP OF HALL
- — — — — EXISTING STORM SEWER
- — — — — PROPOSED STORM PIPE
- — — — — PROPOSED NET CURB & GUTTER
- — — — — PROPOSED NET CURB & GUTTER
- — — — — PROPOSED RETAINING WALL

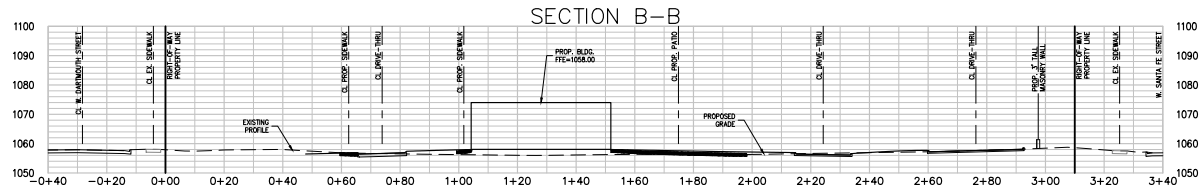
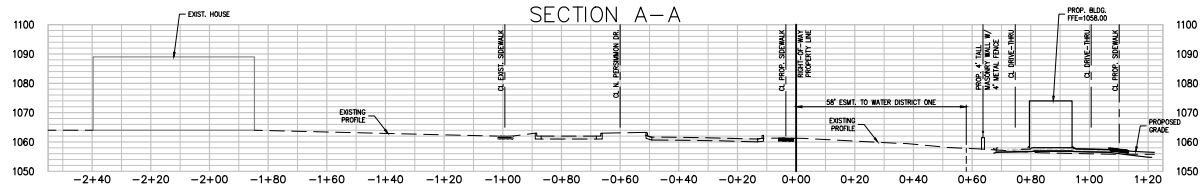


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PROJECT NO. Z46861
 SHEET NO. 11 OF 22 (2024)
 DATE OF APPROVAL 11/27/2024
 DRAWN BY: J. B. BRYAN
 CHECKED BY: J. B. BRYAN
 PROJECT LOCATION: HYPER ENERGY BAR
 ADDRESS: 2250 W. DARTMOUTH STREET
 OLAATHE, JOHNSON COUNTY, KANSAS
 GRADING PLAN
 Hyper Energy Bar
 11/27/2024

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SCALE: 1"=20' HORIZ.
1"=20' VERT.



CROSS SECTIONS
 HYPER ENERGY BAR
 OLATHE, JOHNSON COUNTY, KANSAS
 ADDRESS: 2250 W. DARTMOUTH STREET

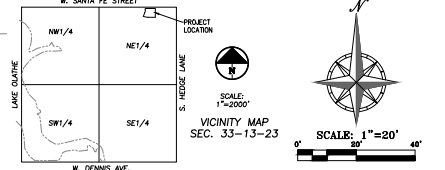
PROJECT NO.	DATE	BY	CHKD	REVISED FOR	COMMENTS
24581	11-22-2004	DR	DR	REVISED PER	COMMENTS

UTILITY NOTES:

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor shall verify the approximate utility companies at least 48 hours before any excavation to avoid exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- The contractor shall verify the location and elevation of the existing storm sewer lines and the existing elevation of locations where the proposed storm sewer connects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No plans shall be field corrected if involved from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent open. Top of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevation in non-paved areas. No separate or additional compensation will be made to the contractor for making field adjustments to the manholes and boxes.
- Underground gas information and vertical pipe information is shown in the center of the structure. Deflection notes shown for storm sewer pipes are measured from the center of curb side and manholes. The contractor shall adjust the horizontal location of the pipes to go to the front of the structure. All other utilities shall be measured from the centerline of the building structure. Provide clearance on open drain lines at 100 mm. Spacing and at all levels points. Do not correct roof drains directly to storm sewer pipes.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, plugs, valves and all other hardware required for a complete operating and protective fire and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work and all other hardware required for a complete operating and protective sanitary sewer system shall be the responsibility of the contractor. All work shall conform to the requirements of the City and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the contractor workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other hardware required for a complete and operational system as required by the owner and the public utility. Refer to building plans for exact field location of all utilities. Contractor shall verify connection points prior to installation of utility lines.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
 - Pipe sizes less than 3-inches that are installed inside grade and outside building shall comply with the following:
 - Sanitary Copper tubing: Type "K" and "L" copper, ASTM B88.
 - Flitings: wrought copper (99.5% tin antimony solder joint), ASTM B 162Z.
 - Pipe size 3-inches through 48-inches that are installed below grade and outside building shall comply with one of the following:
 - City Code for Water Pipe: ANSI A21.8, minimum class 50.
 - Flitings: Either mechanical joint or push-on joint, ANSA C110 or ANSA C111.
 - Electromechanical gaskets and locknuts: ASTM F477.
 - Convent Motor Lining: ANSA C104.
 - Sanitary Iron Water Pipe: ANSA C155, minimum class 50.
 - Flitings: Either mechanical joint or push-on joint, ANSA C110 or ANSA C111.
 - Electromechanical gaskets and locknuts: ASTM F477.
 - Convent Motor Lining: ANSA C104.
 - Polyethylene (PE) Water Pipe: ANSA C905, rated DR 18 (Class 100), certified marked as required.
 - Flitings: Either mechanical joint or push-on joint, ANSA C110 or ANSA C111.
 - Electromechanical gaskets and locknuts: ASTM F477 for smaller pipes.
 - Pipe joints: factory molded bell ends, ASTM D2155.
 - Three wire braided stainless steel coverings (B3 Cover) lightly coated plastic covering impregnated with "Water Sealant" in large laterals.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all utilities. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to customer's specifications for commercial services.
- All waterlines shall be laid min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- In the event of a vertical conflict between underlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile from pipe with mechanical joints at least 10' on both sides of crossing or around it to provide a minimum 6" clearance. The waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 24" clearance. Working requirements of ANSA A21.8 or ANSA 2111 (ANSA C-151) (CLASS 50).
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approved prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to unexcavated building and the first connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated control requirements. Coordinate with Owner that all pressure controls are in place at building prior to pouring.
- When a building utility connection from the utilities building up to the building control is made immediately, temporarily mark all such utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pipe boxes, pull boxes, etc.

LEGEND

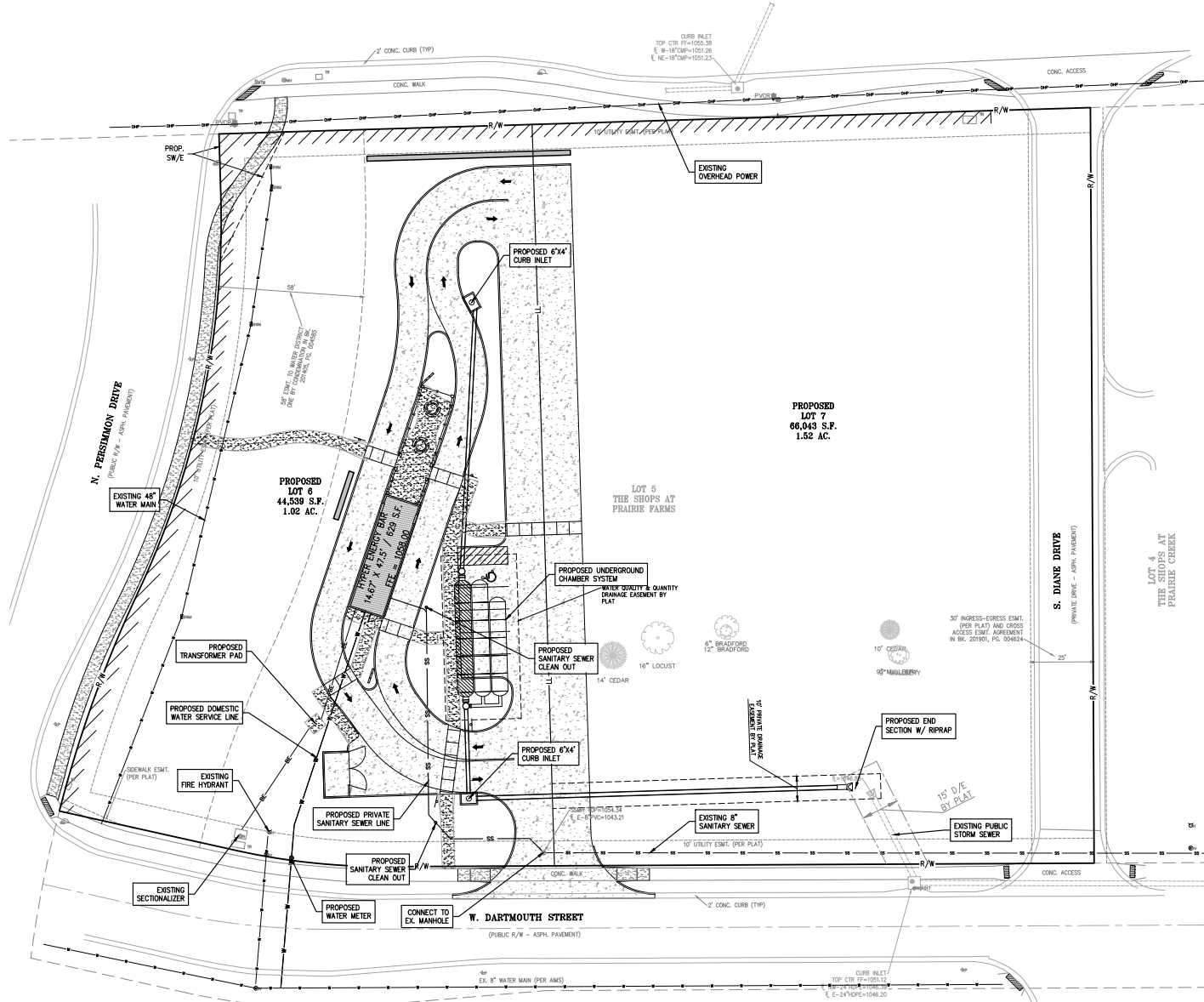
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- ow — EXISTING CABLE TELEVISION LINE
- ov — EXISTING FIBER OPTIC LINE
- G — EXISTING GAS LINE
- ee — EXISTING BURIED ELECTRIC LINE
- ep — EXISTING OVERHEAD POWER LINE
- et — EXISTING OVERHEAD TELEPHONE LINE
- es — EXISTING SANITARY SEWER LINE
- 24"PE — EXISTING STORM SEWER LINE (A SIZE)
- FO — EXISTING BURIED TELEPHONE LINE
- FO — EXISTING WATER LINE (B SIZE)
- CATV — PROPOSED CABLE TELEVISION LINE
- FO — PROPOSED FIBER OPTIC LINE
- G — PROPOSED GAS LINE
- ee — PROPOSED BURIED ELECTRIC LINE
- ss — PROPOSED SANITARY SEWER LINE
- omp — PROPOSED OVERHEAD POWER LINE
- ot — PROPOSED STORM SEWER LINE (A SIZE)
- BT — PROPOSED BURIED TELEPHONE LINE
- W-6" — PROPOSED WATER LINE (A SIZE)
- F-6" — PROPOSED FIBER OPTIC LINE (A SIZE)
- ST-6" — PROPOSED ROOF DRAIN (A SIZE)



UTILITY PLAN
HYPER ENERGY BAR
OLATHE, JOHNSON COUNTY, KANSAS
ADDRESS: 2250 W. DARTMOUTH STREET

PROJECT NO.	DATE	NO.	BY	APPR.	REVISIONS
Z46561	11-27-2024	1	DL	DL	
Z46561	11-27-2024	2	DL	DL	REVISED PER CITY COMMENTS

SHEET
C300



UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

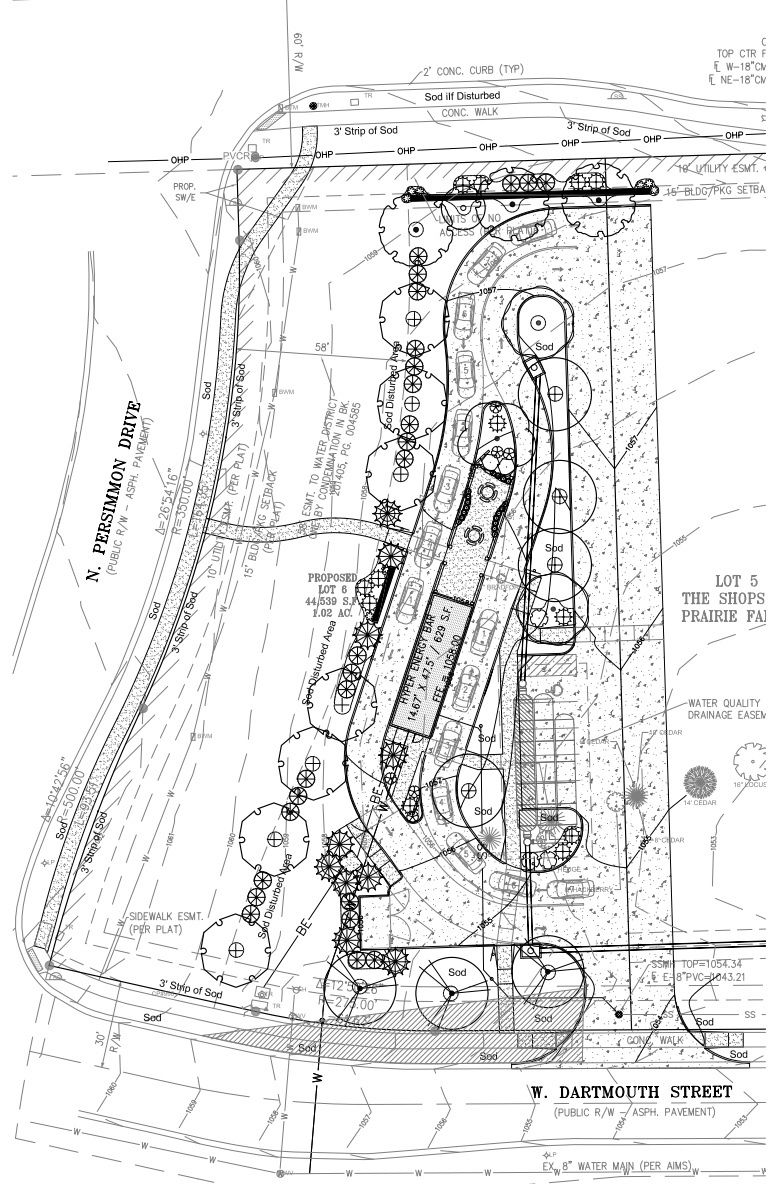


Know what's below.
Call before you dig.

TRACT A RANCH VILLAS AT PRAIRIE FARMS

W. SANTA FE STREET

(PUBLIC R/W - ASPH. PAVEMENT)



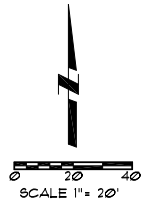
CITY REQUIRED NOTES:

- The developer, its successor and/or subsequent owners and their agents will maintain landscaping on the property on a continuing basis for the life of the development.
- Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.
- All landscaping is subject to periodic inspection by the Planning Official or designee.
- The property owner will maintain landscape areas in good condition and in a way that presents a healthy, neat and orderly appearance. This maintenance must include weeding, watering, fertilizing, pruning, mowing, edging, mulching or other maintenance, in accordance with acceptable horticultural practices.
- The City may cause removal of any dead or diseased trees, plants and shrubs on private property within the City, when those trees, plants and shrubs constitute a hazard to life and/or property or harbor insects or disease which constitutes a potential threat to other trees, plants or shrubs within the City.
- No tree, shrub or woody vegetation will be planted within a distance of 10 feet from any fire hydrant or fire department connection (FDC) to the sprinkler system.
- No trees will be planted within 15 feet of a streetlight.
- All exterior mounted and rooftop building HVAC and mechanical equipment, vents, piping, roof access ladders, and utility meters must be located out of view or otherwise screened from public view from all adjacent street and residentially developed or zoned properties.
- Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities' meter banks and coolers must be screened from public view with three (3) sided landscaping or with an architectural treatment compatible with the building architecture.
- All new on-site wiring and cables must be placed underground.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
TREES					
	7	Acer campestre / Hedge Maple	B & B		2" Cal
	3	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B		2" Cal
	1	Cercis canadensis / Oklahoma Redbud	B & B		1.5" Cal
	4	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B		2.5" Cal
	2	Gymnocladus dioica 'Epresso' / Kentucky Coffee Tree Seedless/Male Only	B & B		2.5" cal.
	10	Juniperus virginiana 'CanaertII' / CanaertII Juniper	B & B		6' hgt.
	1	Nyssa sylvatica / Black Gum	B & B		2.5" Cal
	3	Quercus bicolor / Swamp White Oak	B & B		2" Cal
SHRUBS					
	25	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal		
	12	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24" sp.	3 gal		
	3	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal		
	2	Rhus typhina 'Tiger Eyes' / Tiger Eyes Sumac 24"-30" hgt. & sp.	5 gal		
	6	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 18"-24" hgt.	3 gal		
GRASSES					
	8	Miscanthus sinensis 'Morning Light' / Eulalia Grass	3 gal		
	13	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass 15"-18" hgt.	1 gal		
	5	Pennisetum alopecuroides 'HamelII' / HamelII Dwarf Fountain Grass 15"-18" hgt. & sp.	1 gal		

NOTE:
Details and specifications to be provided in construction documents.



Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.



**Preliminary Landscape Plan
Hyper Energy Bar**

2250 West Dartmouth
Olathe, Kansas LS-1



11/25/2024