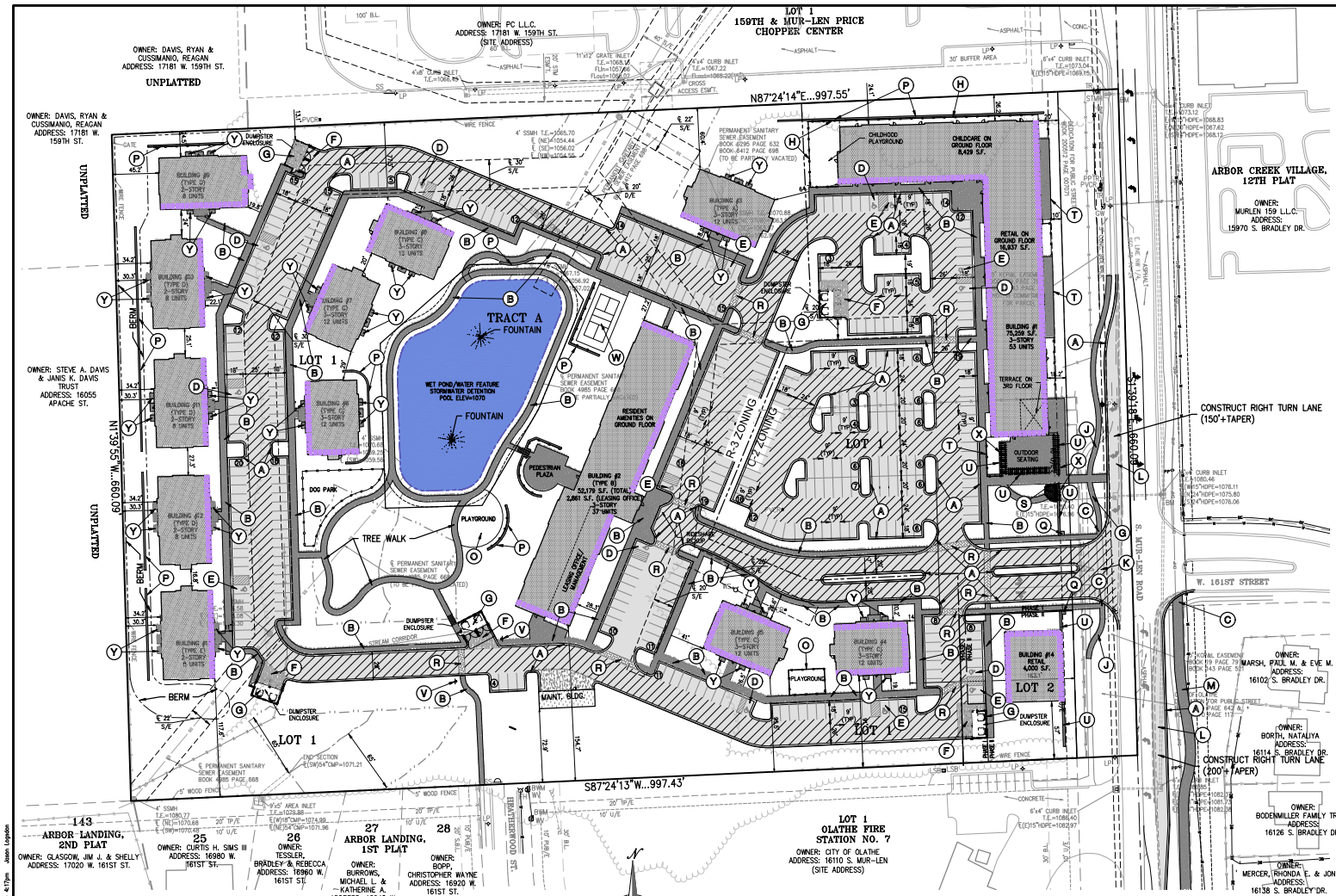



| | INDEX |
|---|---|
| C1.0 | SITE PLAN |
| C1.1 | PRELIMINARY PLAT |
| C1.2 | PHASING PLAN |
| C1.3 | OVERALL OPEN SPACE |
| C1.4 | R-3 OPEN SPACE |
| C2.0 | ZONING MAP |
| C3.0 | UTILITY PLAN |
| C4.0 | GRADING PLAN |
| C5.0 | FIRE PROTECTION PLAN |
| C6.0 | TREE PRESERVATION PLAN |
| C7.0–C7.1 | LINE OF SIGHT PLAN & SECTIONS |
| C8.0 | COVERAGE EXHIBIT |
| L1–L3 | LANDSCAPE/SCREENING PLAN |

## SITE KEY NOTES:

- (A) CONSTRUCT 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT TYPE A SIDEWALK RAMP WITH LAYDOWN CURB & GUTTER (OMIT DETECTIBLE WARNING).
- (D) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL PAVEMENT MARKINGS, LAYDOWN CURB & BUMPERS. SEE ACCESSIBLE PARKING SPACE DETAIL. INSTALL ACCESSIBLE PARKING SIGN (1).
- (E) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL PAVEMENT MARKINGS, LAYDOWN CURB & BUMPERS. SEE ACCESSIBLE PARKING SPACE DETAIL. INSTALL VAN ACCESSIBLE PARKING SIGN (1).
- (F) INSTALL CONCRETE PAVEMENT.
- (G) INSTALL TRASH ENCLOSURE (REFER TO ARCH. PLANS).
- (H) INSTALL 5' BLACK ALUMINUM PICKET FENCE (TYPICAL) AROUND PLAYGROUND.
- (I) INSTALL GATE (TYPICAL) (REFER TO ARCH. PLANS FOR SIZE & MATERIAL).
- (J) CONSTRUCT PUBLIC CONCRETE SIDEWALK (TYPICAL).
- (K) INSTALL 6" SOLID WHITE (THERMOPLASTIC) CROSS-WALK STRIPING PER CITY SPECIFICATIONS.
- (L) CONSTRUCT RIGHT TURN LANE (TYPICAL).
- (M) CONSTRUCT 10' CONCRETE TRAIL (TYPICAL).
- (N) CONSTRUCT PRIVATE CONCRETE DRIVE.
- (O) PLAYGROUND
- (P) CONSTRUCT RETAINING WALL.
- (Q) MONUMENT SIGN.
- (R) STAMPED/COLORED CONCRETE CROSSWALK.
- (S) PEDESTRIAN GATEWAY.
- (T) INSTALL 4' BLACK ALUMINUM PICKET FENCE AT OUTDOOR SEATING AREA.
- (U) 3' LANDSCAPE FEATURE WALL.
- (V) PEDESTRIAN CROSSWALK SIGN.
- (W) PICKLEBALL COURT
- (X) TRELLIS (SEE ARCHITECTURAL)
- (Y) CONCRETE PATIO

## FIRE LANE NOTE:

FIRE LANE SHALL BE ESTABLISHED AND PROPERLY MARKED WITH YELLOW STRIPPING AND SIGNAGE (NO MORE THAN 100 FEET APART) PER FIRE DEPARTMENT.

## LEGAL DESCRIPTION:

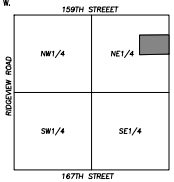
COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 18; THENCE S 1°39'18" E, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 668.68 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING S 1°39'18" E, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 660.09 FEET, TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18; THENCE S 87°24'13" W, ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 997.43 FEET, TO THE SOUTHWEST CORNER OF THE EAST ONE-HALF OF THE WEST ONE-HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18; THENCE N 1°39'55" W, ALONG THE WEST LINE OF THE EAST ONE-HALF OF THE WEST ONE-HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 660.09 FEET, TO THE NORTHWEST CORNER OF THE OF THE EAST ONE-HALF OF THE WEST ONE-HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18; THENCE N 87°24'14" E, ALONG THE NORTH LINE OF THE SOUTH 660 FEET OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 997.55 FEET, TO THE POINT OF BEGINNING.

**GROSS AREA = ±15.1136 ACRES / ±658,343 SQ.FT.**

## FLOOD NOTE:

PARCEL 1: THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, COMMUNITY NO. 200173, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0110G, AND DATED AUGUST 3, 2009.

PARCEL 2: THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR JOHNSON COUNTY, COMMUNITY NO. 200159, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0109G, AND DATED AUGUST 3, 2009.




VICINITY MAP
SEC. 18-14-24

SCALE: 1"=2000'

SCALE: 1"=50'

Know what's below. Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

## R-3 SITE DATA TABLE:

| | |
|---|---|
| GROSS/NET AREA | 10.63 ACRES |
| EXISTING ZONING | CP-O, RUR, RLD |
| PROPOSED ZONING | R-3 (COLUMN 2, SITE 3) |
| PROPOSED LAND USE | MULTI FAMILY RESIDENTIAL |
| APARTMENTS | 149 |
| MAXIMUM DENSITY | 15 UNITS PER ACRE |
| DENSITY | 14.0 UNITS PER ACRE |
| MAX HEIGHT | 3 STORIES/40 FEET |
| MAX HEIGHT (NON RESIDENTIAL) | 75 FEET |
| FRONT YARD MINIMUM SETBACK | 5 FEET |
| FRONT YARD MAXIMUM SETBACK | NA |
| SIDE YARD SETBACK | NA |
| CORNER SIDE YARD SETBACK | 20 FEET |
| REAR YARD SETBACK | 15 FEET |
| OPEN SPACE REQ'D. | 1.6 ACRES |
| OPEN SPACE PROVIDED | 6.7 ACRES (62.5%) |
| ACTIVE OPEN SPACE REQ'D (15% W/50% ACTIVE) | 0.8 ACRES |
| ACTIVE OPEN SPACE PROVIDED | 1.2 ACRES |
| REQ'D PARKING (149 Units x 1.5 Sp./Unit + 2,861 SF LEASING OFFICE x 1 Sp./300 SF) = | 224 + 10 = 234 |
| REQUIRED ACCESSIBLE STALLS | 7 |
| STANDARD STALLS PROVIDED (9' x 18'min) | 225 |
| ACCESSIBLE STALLS PROVIDED | 9 |
| TOTAL PARKING PROVIDED = | 234 |

## BUILDING TYPE

| | | | | |
|---|---|---|---|---|
| BUILDING TYPE A | 12,149 | S.F. x 1 = | 12,149 | S.F. |
| BUILDING TYPE B | 52,179 | S.F. x 1 = | 52,179 | S.F. |
| BUILDING TYPE C | 7,380 | S.F. x 5 = | 36,900 | S.F. |
| BUILDING TYPE D | 8,822 | S.F. x 4 = | 35,288 | S.F. |
| BUILDING TYPE E | 8,126 | S.F. x 1 = | 8,126 | S.F. |
| | | | 144,642 | S.F. |

## C-2 SITE DATA TABLE:

| | |
|---|---|
| GROSS/NET AREA | 4.48/3.57 ACRES |
| EXISTING ZONING | CP-O, RUR, RLD |
| PROPOSED ZONING | C-2 (COLUMN 2, SITE 3) |
| PROPOSED LAND USE | COMMERCIAL & MULTI FAMILY RESIDENTIAL |
| APARTMENTS | 53 |
| MAXIMUM DENSITY | 15 UNITS PER ACRE |
| DENSITY | 11.8 UNITS PER ACRE |
| MAX HEIGHT | 60 FEET/5 STORIES |
| FRONT YARD MINIMUM SETBACK | 10 FEET |
| FRONT YARD MAXIMUM SETBACK | 44 FEET |
| FRONTAGE BUILDOUT MINIMUM | 80% (WAIVER REQUESTED) |
| FRONTAGE BUILDOUT PROVIDED | 63.9% |
| MAXIMUM BUILDING FOOTPRINT | 150,000 S.F. |
| CHILD DAYCARE AREA | 8,429 S.F. |
| RETAIL AREA | 20,937 S.F. |
| SIDE YARD SETBACK | 5 FEET |
| REAR YARD SETBACK | NA |
| PARKING/PAVING LOCATION | 15 FEET BACK OF RIGHT-OF-WAY UNLESS BEHIND OF BUILDING |
| COMMON OPEN SPACE(25% OF NET AREA) | 0.9 ACRES |
| OPEN SPACE PROVIDED | 1.1 ACRES (31.3%) |
| REQ'D PARKING (75,259 S.F. MIXED USE x 1 Sp./500 SF + 4,000 SF FUTURE RETAIL x 1 Sp./300 SF) = | 151 + 13 = 164 |
| REQUIRED ACCESSIBLE STALLS | 6 |
| STANDARD STALLS PROVIDED (9' x 18'min) | 158 |
| ACCESSIBLE STALLS PROVIDED | 6 |
| TOTAL PARKING PROVIDED | 164 |

## OVERALL SITE DATA TABLE:

| | |
|---|---|
| GROSS/NET AREA | 15.11/14.20 ACRES |
| APARTMENTS | 202 UNITS |
| CHILD DAYCARE | 8,429 S.F. |
| RETAIL | 20,937 S.F. |
| OUTDOOR AMENITY SPACE REQ'D | (10%) 1.42 ACRES |
| OUTDOOR AMENITY SPACE PROVIDED | (14%) 1.99 ACRES |
| TOTAL BUILDING AREA | 223,901 S.F. |

## LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- PRIMARY FACADE
- 2' CURB & GUTTER
- 6" CURB
- B/L — BUILDING SETBACK LINE
- P/S — PARKING SETBACK LINE
- L/S — LANDSCAPE SETBACK LINE
- STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT.


PHILLIPS ENGINEERING, INC.
9500 N. Winchester
Olathe, Kansas 66061
(913) 829-1155
Fax (913) 829-1456
www.phillipsengineering.com
PLANNING ENGINEERING INFRASTRUCTURE


# SITE PLAN

HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| No. | Date | Revision: | By | App |
|---|---|---|---|---|
| 1 | 8-29-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 DRAWN:JMO
CHECKED: JEL APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NO. E-2010-000
CERTIFICATE OF AUTHORIZATION NO. CA-0000-0000
CERTIFICATE OF AUTHORIZATION NO. E-2010-000
CERTIFICATE OF AUTHORIZATION NO. CA-0000-0000
CERTIFICATE OF AUTHORIZATION NO. E-2010-000
CERTIFICATE OF AUTHORIZATION NO. CA-0000-0000

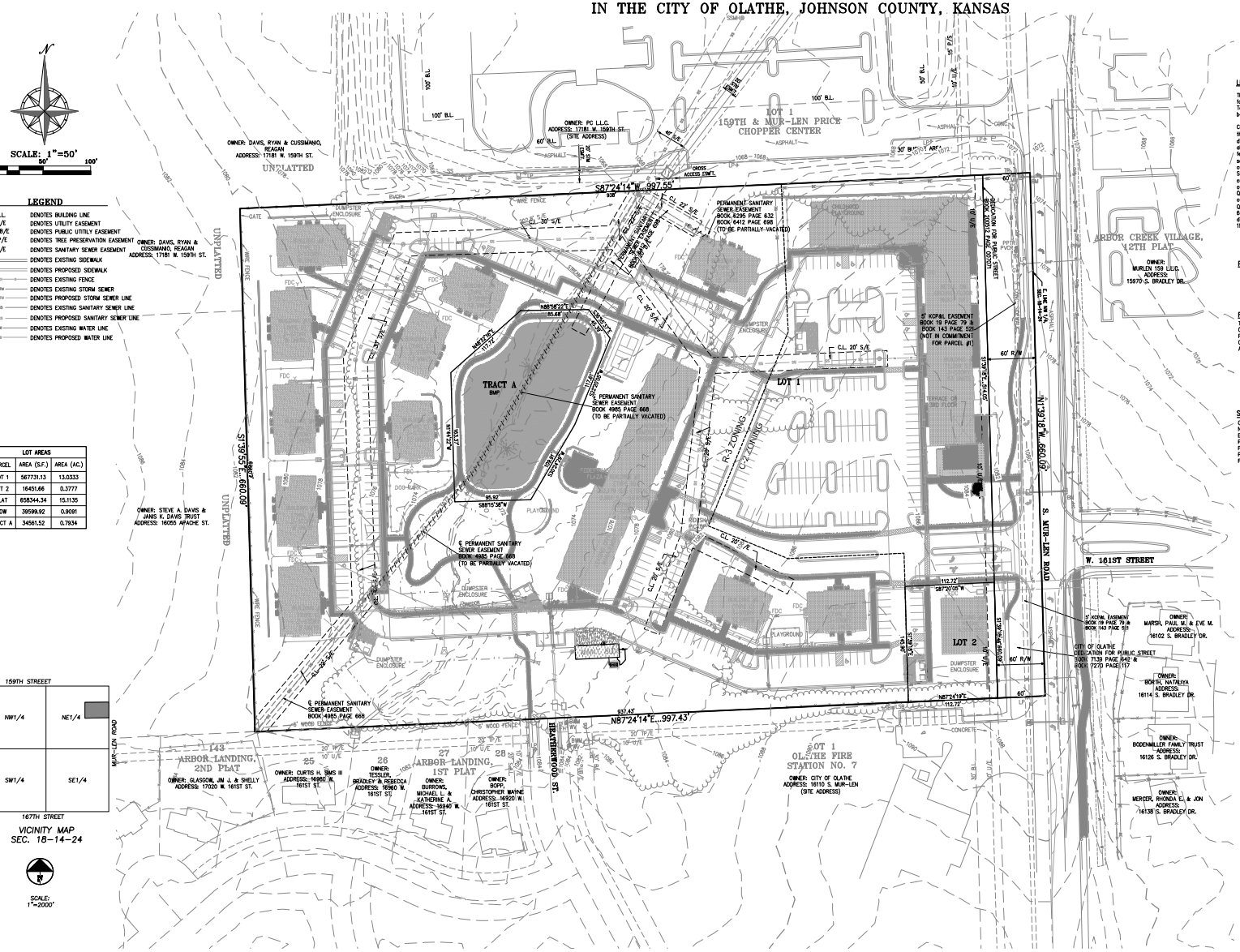
SHEET
C1.0

\\PHILEPS-SERVER\Projects\P\240398\dwg\Preliminary\SITEPLAN.dwg Layout:1 Sep 18, 2024 - 4:17pm Jason Logsdon

PRELIMINARY PLAT OF

# HōM FLATS AT MUR-LEN ROAD

A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 14, RANGE 24,
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS




## LEGAL DESCRIPTION:

This description was prepared by Phelps Engineering, Inc., KS CLS-82 on July 15, 2024, for Project No. 240398. All that part of the Northeast Quarter of Section 18, Township 14 South, Range 24 East, a portion of which is in the City of Olathe, all being in Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northeast corner of the Northeast Quarter of said Section 18; thence S 1°39'18" E, along the East line of the Northeast Quarter of said Section 18, a distance of 668.68 feet, to the Point of Beginning; thence continuing S 1°39'18" E, along the East line of the Northeast Quarter of said Section 18, a distance of 660.09 feet, to the Southeast corner of the Northeast Quarter of the Northeast Quarter of said Section 18; thence S 87°24'13" W, along the South line of the Northeast Quarter of the Northeast Quarter of said Section 18, a distance of 997.43 feet, to the Southwest corner of the East One-half of the West One-half of the Northeast Quarter of the Northeast Quarter of said Section 18; thence N 1°39'55" W, along the West line of the East One-half of the West One-half of the Northeast Quarter of the Northeast Quarter of said Section 18, a distance of 660.09 feet, to the Northwest corner of the of the East One-half of the West One-half of the Northeast Quarter of the Northeast Quarter of said Section 18; thence N 87°24'14" E, along the North line of the South 660 feet of the Northeast Quarter of the Northeast Quarter of said Section 18, a distance of 997.55 feet, to the Point of Beginning, containing 658,343 square feet or 15.1135 acres, more or less.

## PROJECT NOTE:

1. THE TOPOGRAPHY WAS SUPPLIED BY A.I.M.S. (AUTOMATED INFORMATION MAPPING SYSTEM) BASED ON NAVD88 DATUM.

## FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, COMMUNITY NO. 200173, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0110G, AND DATED AUGUST 3, 2009.

## SITE DATA TABLE:

| | |
|---|---|
| GROSS AREA | 15.11 ACRES |
| NET AREA | 14.20 ACRES |
| EXISTING ZONING | CP-O, RUR, RLD |
| PROPOSED ZONING | R-3, C-2 |
| PROPOSED NUMBER OF LOTS | 2 |
| PROPOSED NUMBER OF TRACTS | 1 |
| PROPOSED LAND USE | RESIDENTIAL & COMMERCIAL |

## DEVELOPER:

MAGNUS CAPITOL PARTNERS, INC.
NICK BURGER
220 LYON ST. NW, SUITE 500
GRAND RAPIDS, MI 49503
(952) 693-1196
nb@MagnusCapitolPartners.com

## OWNER #1 (WEST/SOUTH PARCEL):

KIM & CHERYREE ELDRED
13125 K 68 HWY
LOUISBURG, KS 66053
(913) 960-5046
kimeldred@gmail.com

## OWNER #2 (NORTHEAST PARCEL):

BROTHERHOOD BANK & TRUST
CONTACT: AARON BOWMAN
8325 LENEXA DR., SUITE 300
LENEXA, KS 66214
(913) 605-0375
abowman@bankofblsbr.com

## ENGINEER/APPLICANT:

PHELPS ENGINEERING, INC.
CONTACT: DOUG UBBEN, JR.
1270 N. WINCHESTER
OLATHE, KS 66061
(913) 393-1155
dougubben@phelpsengineering.com

PHELPS ENGINEERING, INC
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
FAX (913) 393-1281
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

# PRELIMINARY PLAT

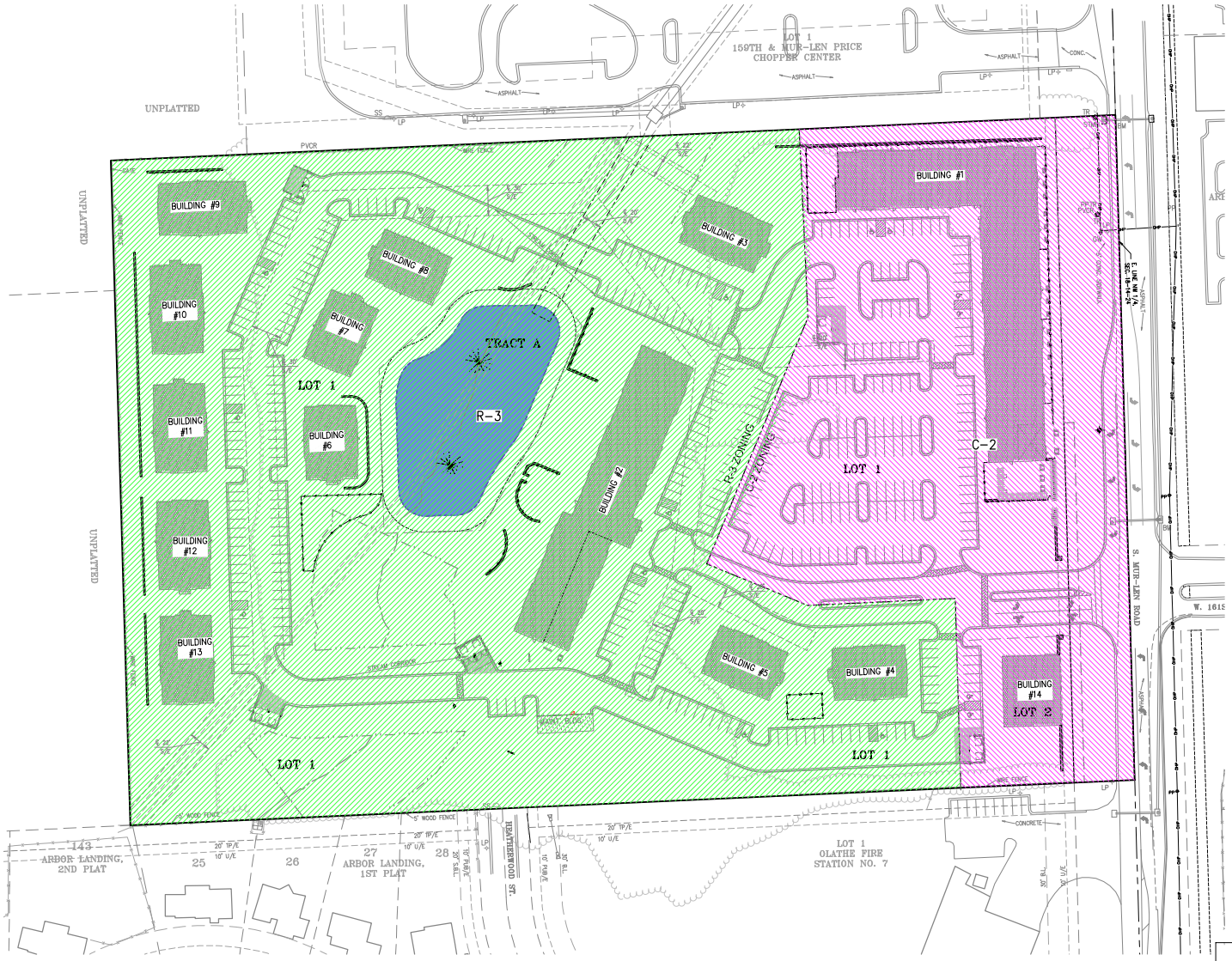
HōM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| No. | Date | Revisions: | By | App. |
|---|---|---|---|---|
| 1 | 5-28-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-19-24 | ADDED TA TABS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 DRAWN:JMO
CHECKED: JEL APPROVED:DEU
SURVEY: PHELPS ENGINEERING, INC.
BASIS OF BEARING: LS-82
BENCHMARK: "E-38"
CERTIFICATE OF AUTHORIZATION
KS CLS-82
BENCHMARK: 200-000028

SHEET
C1.1

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\Preliminary Plat.dwg Layout:1 Sep 18, 2024 - 3:12pm JEANETTE OPAT




Description C-2

This description was prepared by Phelps Engineering, Inc., KS CLS-82 on July 15, 2024, for Project No. 240398. All that part of the Northeast Quarter of Section 18, Township 14 South, Range 24 East, a portion of which is in the City of Olathe, all being in Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northeast corner of the Northeast Quarter of said Section 18; thence S 1°39'18" E, along the East line of the Northeast Quarter of said Section 18, a distance of 668.68 feet to the Point of Beginning; thence continuing S 1°39'18" E, along the East line of the Northeast Quarter of said Section 18, a distance of 660.09 feet to the Southeast corner of the Northeast Quarter of the Northeast Quarter of said Section 18; thence S 87°24'13" W, along the South line of the Northeast Quarter of the Northeast Quarter of said Section 18, a distance of 177.72 feet; thence N 1°39'18" W, a distance of 187.21 feet; thence S 87°20'05" W, a distance of 146.50 feet; thence N 67°39'55" W, a distance of 108.39 feet; thence N 22°20'05" E, a distance of 264.48 feet; thence N 2°39'55" W, a distance of 186.76 feet to a point on the North line of the South 660 feet of the Northeast Quarter of the Northeast Quarter of said Section 18; thence N 87°24'14" E, along the North line of the South 660 feet of the Northeast Quarter of the Northeast Quarter of said Section 18, a distance of 314.01 feet to the Point of Beginning, containing 4.4768 acres, more or less.

Description R-3

This description was prepared by Phelps Engineering, Inc., KS CLS-82 on July 15, 2024, for Project No. 240398. All that part of the Northeast Quarter of Section 18, Township 14 South, Range 24 East, a portion of which is in the City of Olathe, all being in Johnson County, Kansas, being more particularly described as follows:

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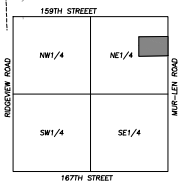


VICINITY MAP
SEC. 18-14-24

SCALE:
1"=2000'

SCALE: 1"=200'
0' 200' 400'

PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
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PLANNING
ENGINEERING
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# ZONING MAP

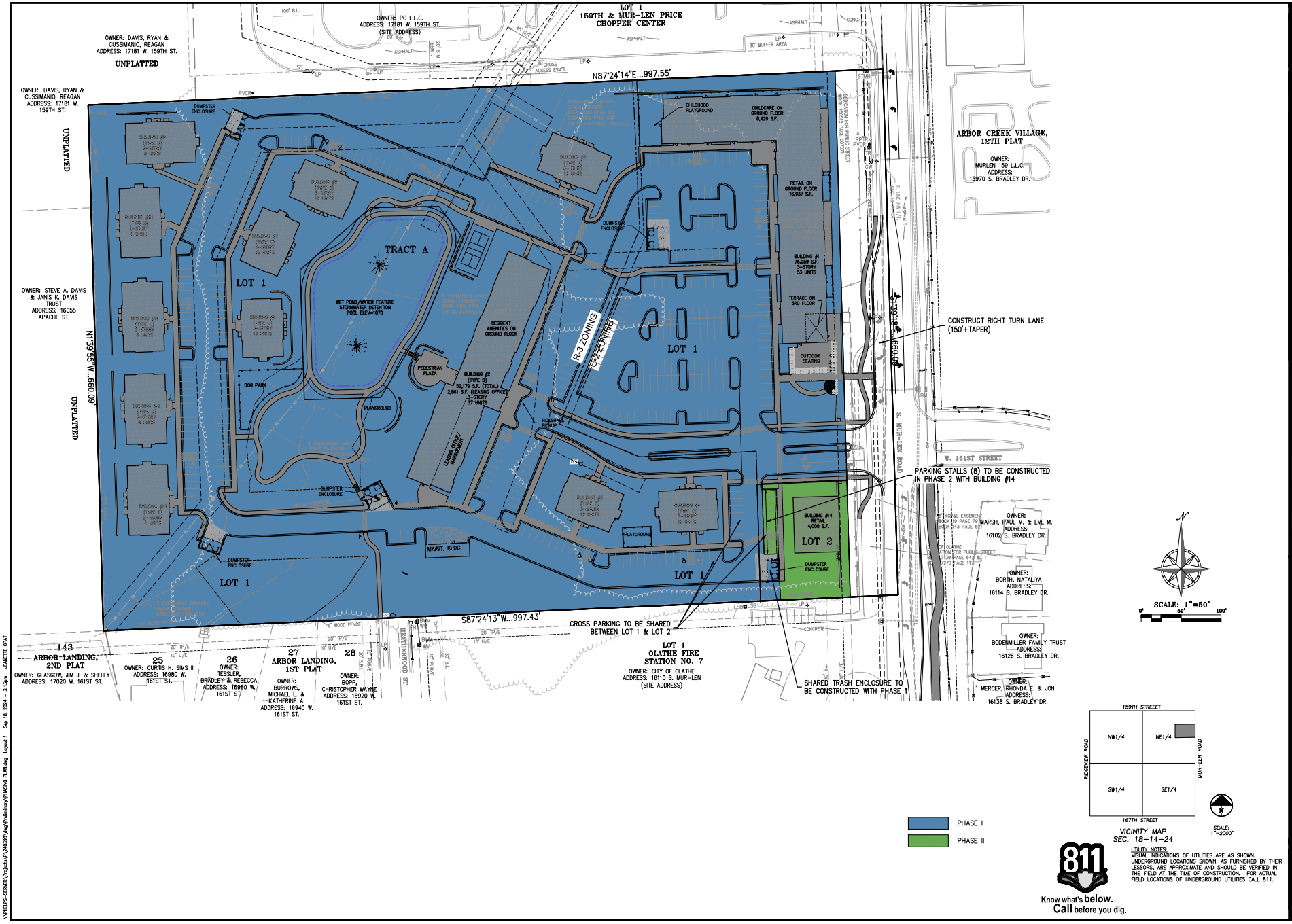
HŌM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| Revisions: | | | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NUMBER: PHENG_L_82
CERTIFICATE OF AUTHORIZATION NUMBER: CA-2012-0001
LAND SURVEYING-RDC-2012/00126
SUBDIVISION: OTHER/OSS

SHEET
C2.0

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\ZONING MAP.dwg Layout:Overall Sep 18, 2024 - 3:14pm JEANETTE DPAT




UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.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PLANNING
ENGINEERING
WWW.PHELPSENGINEERING.COM


# PHASING PLAN

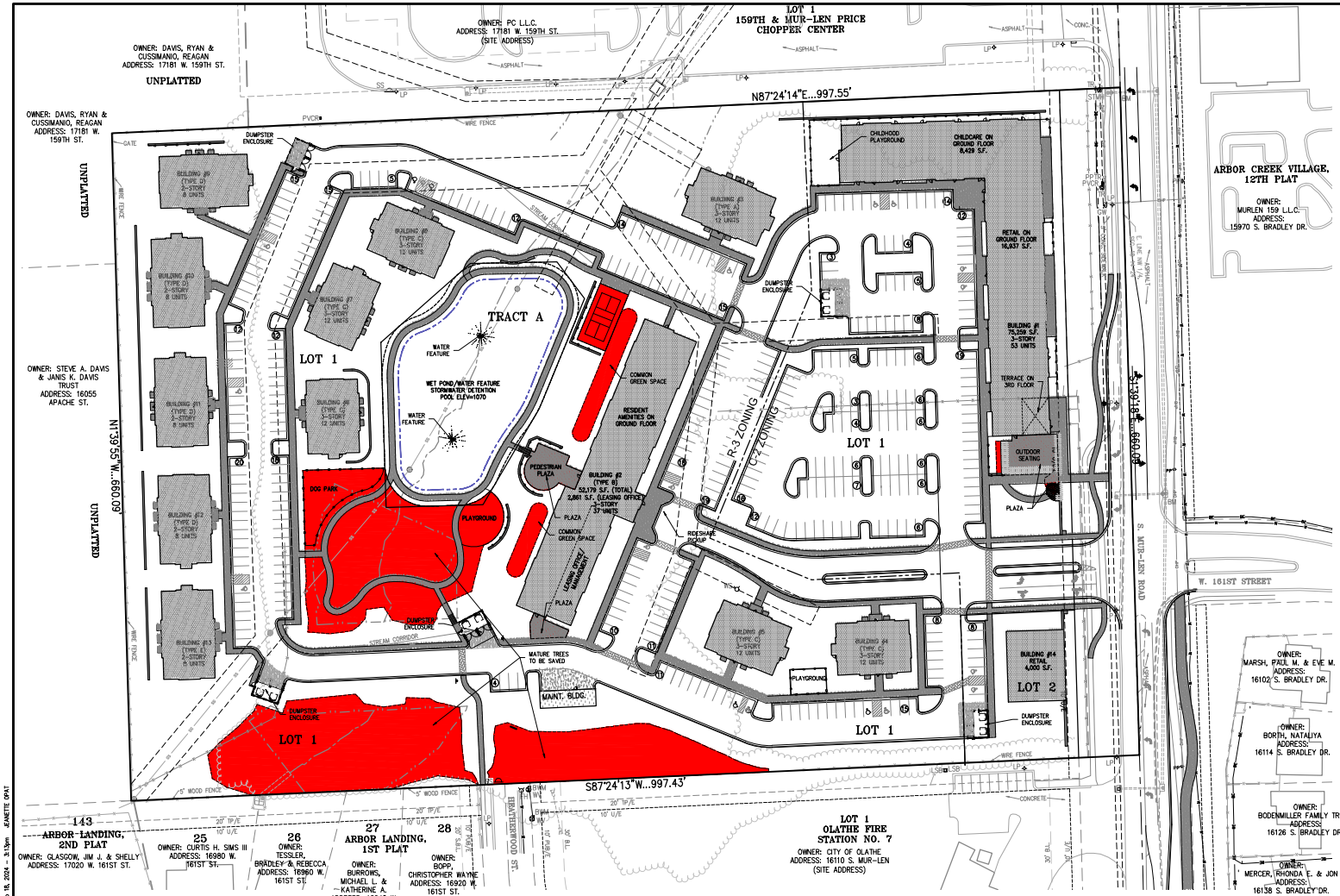
HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| Revisions: | | | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 2 | 9-3-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEJ |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEJ
CERTIFICATE OF AUTHORIZATION NUMBER: PHENG_L_2_RE
CERTIFICATE OF AUTHORIZATION NUMBER: 2000000126
AND 2000000127
EXPIRATION: 12/31/2025

SHEET
C1.2

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\PHASING PLAN.dwg Layout:1 Sep 18, 2024 - 3:13pm EANETTE OFAT




## SITE DATA

| | |
|---|---|
| OVERALL SITE AREA (NET) | 14.2 AC. |
| OUTDOOR AMENITY OPEN SPACE (REQUIRED) | 1.42 AC. |
| OUTDOOR AMENITY OPEN SPACE (PROVIDED) | 1.48 AC. |

## LEGEND

OUTDOOR AMENITY OPEN SPACE

811 Know what's below. Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax: (913) 393-1244
www.phelpsengineering.com
PLANNING
ENGINEERING
INFRASTRUCTURE

# OUTDOOR AMENITY OPEN SPACE

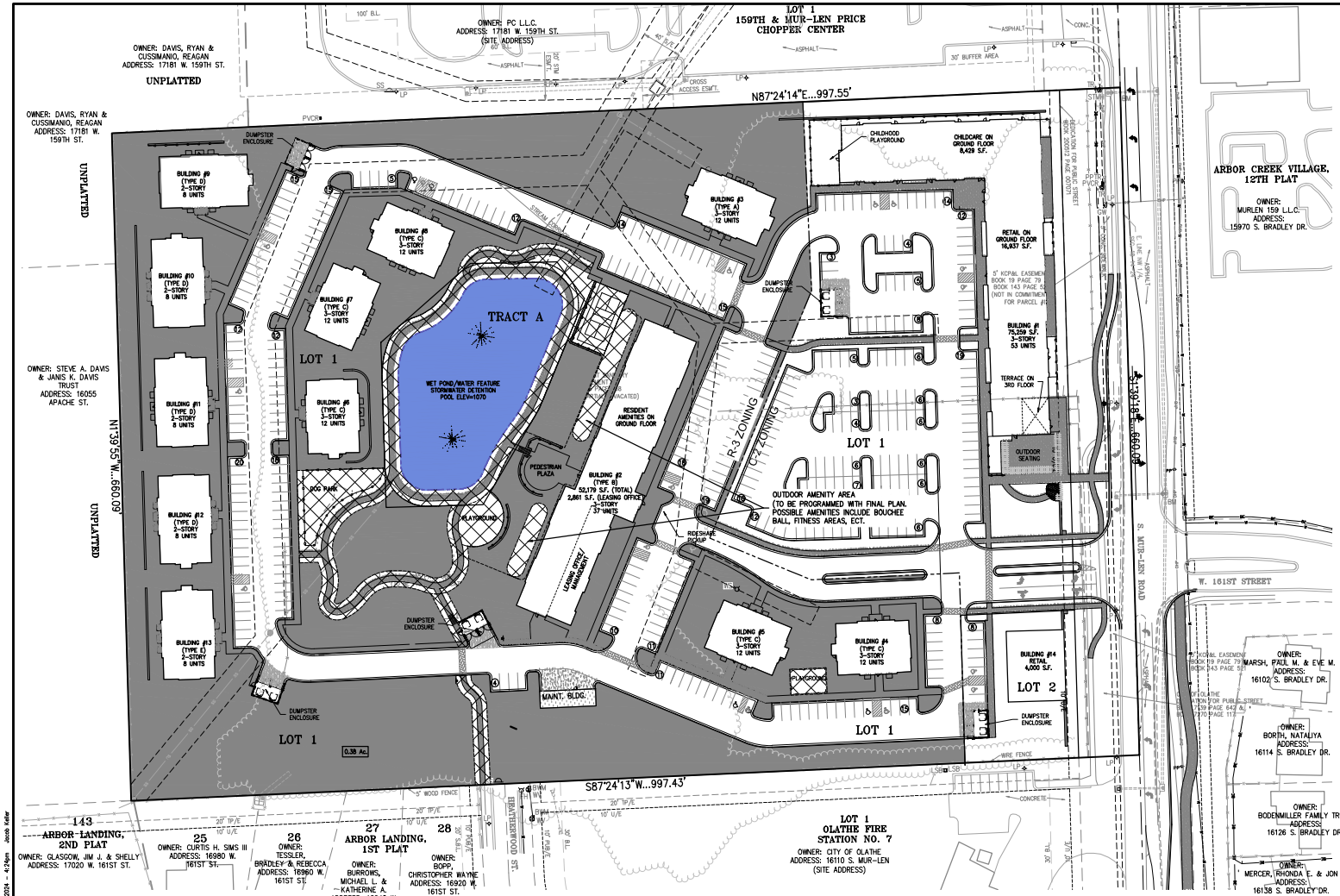
HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| No. | Date | Revisions: | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-3-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NUMBER: PHELPS ENG., INC. CA-1382
CERTIFICATE OF AUTHORIZATION NUMBER: 2007000126
ADD. CA-1382-REC-20220126
EXPIRATION: 01/31/2025

SHEET
C1.3

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\OVERALL OPEN SPACE.dwg Layout:1 Sep 18, 2024 - 3:13pm JEANETTE DPAT



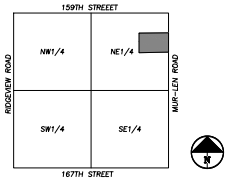

## SITE DATA

| | |
|---|---|
| R-3 SITE AREA (NET) | 10.6 AC. |
| OPEN SPACE (REQUIRED) (15%) | 1.6 AC. |
| OPEN SPACE (PROVIDED) | 6.7 AC. |
| ACTIVE OPEN SPACE (REQUIRED) (50% OF OPEN SPACE) | 0.8 AC. |
| ACTIVE OPEN SPACE (PROVIDED) | 0.8 AC. |

## LEGEND

ACTIVE OPEN SPACE

COMMON OPEN SPACE




VICINITY MAP
SEC. 18-14-24

811 Know what's below. Call before you dig.

UTILITY NOTES:
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PLANNING
ENGINEERING
INFRASTRUCTURE

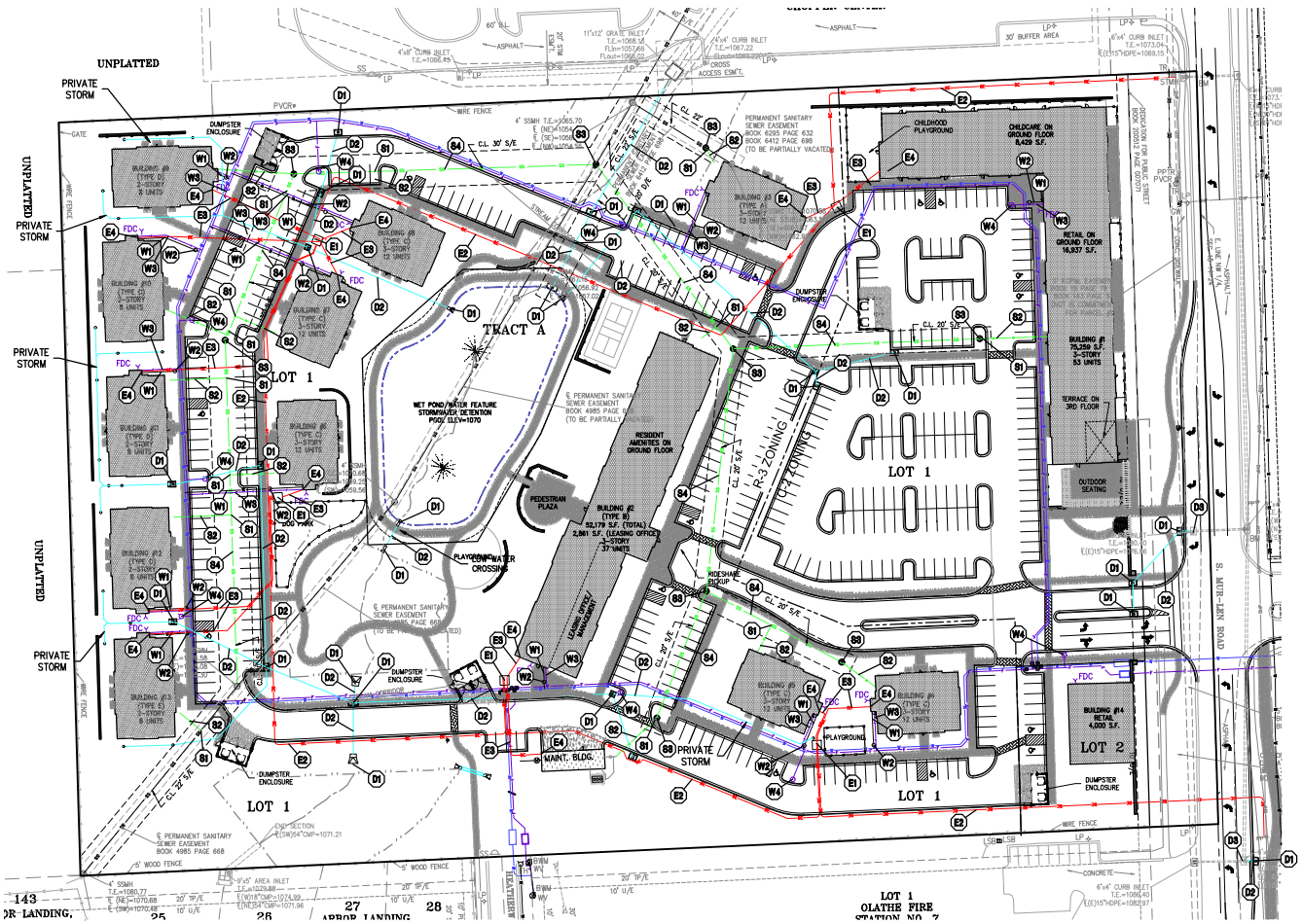
# R-3 OPEN SPACE
HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| No. | Date | Revisions: | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-3-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NUMBER: PHELPS ENG., INC. CA-82
CERTIFICATE OF AUTHORIZATION AND SEAL: 2022-2023
EXPIRATION: 12/31/2023

SHEET
C1.4

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\R3 OPEN SPACE.dwg Layout:1 Sep 18, 2024 - 4:24pm Jacob Keller




## UTILITY NOTES:

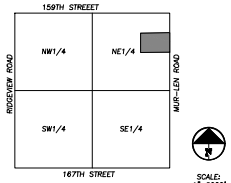
1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
2. The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
3. The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
4. It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, plts, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City and Johnson County Unified Wastewater District.
8. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
9. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
10. The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
11. All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
12. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
13. Water lines shall be as follows (unless otherwise shown on plans):

    A. Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
    1. Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
    2. Fittings: Wrought copper (95.5 Tn Antimony solder joint), ASME B 16.22.

    B. Pipe sizes 3-Inches Through 48-Inches that are installed below grade and outside building shall comply with one of the following:
    1. Gray Cast Iron Water Pipe: ANSI A21.6, thickness class 52.
       a. Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
       b. Elastomeric gaskets and lubricant: ASTM F477.
       c. Cement Mortar Lining, AWWA C104
    2. Ductile Iron Water Pipe: AWWA C151, thickness class 50.
       a. Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
       b. Elastomeric gaskets and lubricant: ASTM F477.
       c. Cement Mortar Lining, AWWA C104
    3. Polyvinyl Chloride (PVC) Water Pipe: Pipe, AWWA C900, rated DR 18 (Class 150), continually marked as required.
       a. Elastomeric gaskets and lubricant: ASTM F477 for smaller pipes.
       b. Pipe joints: Integrally molded bell ends, ASTM D3139.
       c. Trace wire: Magnetic detectable conductor, (#12 Copper) brightly colored plastic covering imprinted with 'Water Service' in large letters
14. Minimum trench width shall be 2 feet.
15. Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to waterrna's specifications for commercial services.
16. All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
17. Sanitary conflicts will be resolved prior to permit issuance.
18. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing (or encased in concrete this same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 24" clearance. Meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
19. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
20. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
21. Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
22. When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
23. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

## KEY NOTES:

- D1 INSTALL STORM STRUCTURE.
- D2 INSTALL STORM SEWER.
- D3 CONVERT EXISTING CURB INLET TO JUNCTION BOX
- S1 CONNECT TO EXISTING SANITARY SEWER
- S2 INSTALL PVC SANITARY SEWER SERVICE LINE (SDR-26)
- S3 INSTALL SANITARY SEWER MANHOLE
- S4 INSTALL PVC SANITARY SEWER MAIN LINE (SDR-26)
- W1 INSTALL DOMESTIC WATER SERVICE LINE.
- W2 INSTALL WATER METER PIT PER WATERONE REQUIREMENTS.
- W3 INSTALL 6" SPRINKLER FIRE LINE.
- W4 INSTALL FIRE HYDRANT.
- E1 INSTALL CONCRETE TRANSFORMER PAD.
- E2 INSTALL 4" PVC SCHEDULE 40 PRIMARY ELECTRICAL CONDUIT.
- E3 INSTALL 2-4" PVC SCHEDULE 40 SECONDARY ELECTRICAL CONDUIT.
- E4 METER ON WALL & ELECTRIC ENTRY INTO BUILDING.




VICINITY MAP
SEC. 18-14-24

SCALE: 1"=2000'

## LEGEND

| | |
|---|---|
| PL | PROPERTY LINE |
| LL | LOT LINE |
| R/W | RIGHT-OF-WAY |
| CATV | EXISTING CABLE TELEVISION LINE |
| FO | EXISTING FIBER OPTIC LINE |
| G | EXISTING GAS LINE |
| BE | EXISTING BURIED ELECTRIC LINE |
| OHP | EXISTING OVERHEAD POWER LINE |
| OHT | EXISTING OVERHEAD TELEPHONE LINE |
| SS | EXISTING SANITARY SEWER LINE |
| 24"HDPE | EXISTING STORM SEWER LINE (& SIZE) |
| BT | EXISTING BURIED TELEPHONE LINE |
| W 6" | EXISTING WATER LINE (& SIZE) |
| CATV | PROPOSED CABLE TELEVISION LINE |
| FO | PROPOSED FIBER OPTIC LINE |
| G | PROPOSED GAS LINE |
| BE | PROPOSED BURIED ELECTRIC LINE |
| SS | PROPOSED SANITARY SEWER LINE |
| OHP | PROPOSED OVERHEAD POWER LINE |
| | PROPOSED STORM SEWER LINE (& SIZE) |
| BT | PROPOSED BURIED TELEPHONE LINE |
| W | PROPOSED WATER LINE (& SIZE) |
| F | PROPOSED ROOF DRAIN (& SIZE) |

SCALE: 1"=50'
0' 50' 100'

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PHILIPS ENGINEERING, INC.
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Gladstone, Missouri 64119
Cell (913) 207-7172
Fax (816) 318-4484
www.philipsengineering.com
PLANNING
ENGINEERING
MANAGEMENT/DEVELOPMENT


# UTILITY PLAN

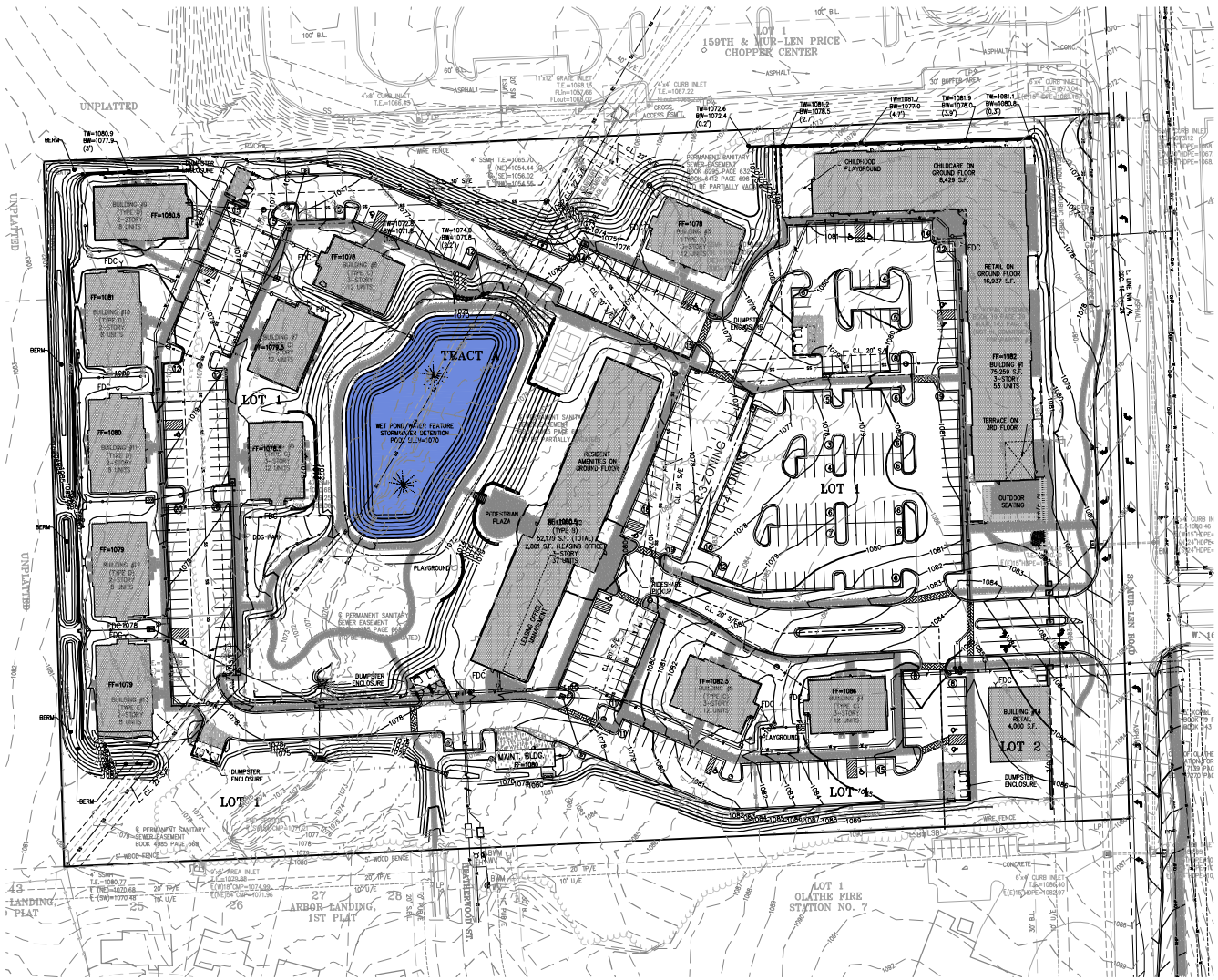
HÖM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| Revisions: | | | By | App. |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 24036B
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NO. E-2006 (MO)
CERTIFICATE OF AUTHORIZATION NO. E-2006(KS)
PHILIPS ENGINEERING-2020/2021 ALL RIGHTS RESERVED

SHEET
C3.0

\\PHILIPS-SERVER\Projects\P\24036B\dwg\Preliminary\UTILITY.dwg Layout1 Sep 18, 2024 - 3:14pm JENNETTE DRAT




## SITE GRADING NOTES:

1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
2. If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
3. CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
4. TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.
5. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
6. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
7. PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
8. EARTHWORK:

   A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.

   B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.

   C) FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until an authorized by the on-site geotechnical engineer to allow for consolidation.

   D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.

   E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.

   F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where composition of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
9. All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
10. TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
11. CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
12. PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
13. UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
14. LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.

## ADA PATH NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE THAT THE SIDEWALK/CROSSWALK SHALL NOT EXCEED 2% CROSS SLOPE OR 5% RUNNING SLOPE (IN THE DIRECTION OF TRAVEL, EXCEPT AT RAMP LOCATIONS).

## LEGEND

| | |
|---|---|
| PL | PROPERTY LINE |
| LL | LOT LINE |
| R/W | RIGHT-OF-WAY |
| | 2' CURB & GUTTER |
| 920 | EXISTING CONTOURS |
| 920 | PROPOSED CONTOURS |
| 919 | PROPOSED SPOT ELEVATION |
| 1088.00 SW | |
| LG | LIP OF GUTTER |
| TC | TOP OF CURB |
| SW | SIDEWALK |
| ME | MATCH EXISTING |
| HP | HIGH POINT |
| LP | LOW POINT |
| F | TOP OF PAVEMENT |
| TE | TOP OF STRUCTURE |
| GR | GROUND ELEVATION |
| BS | BOTTOM OF STEPS |
| TS | TOP OF STEPS |
| BW | BOTTOM OF WALL |
| TW | TOP OF WALL |
| | EXISTING STORM SEWER |
| | PROPOSED STORM PIPE |
| | PROPOSED WET CURB & GUTTER |
| | PROPOSED DRY CURB & GUTTER |
| | PROPOSED RETAINING WALL |

## FLOOD NOTE:

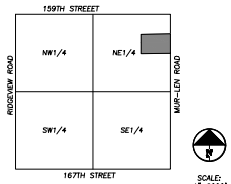
PARCEL 1: THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, COMMUNITY NO. 200173, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0110G, AND DATED AUGUST 3, 2009.

PARCEL 2: THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR JOHNSON COUNTY, COMMUNITY NO. 200158, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0109G, AND DATED AUGUST 3, 2009.

## BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION

1. SET "+" CUT IN CENTER FRONT FACE OF CURB INLET AT NORTHEAST CONNOR OF PROPERTY
   ELEVATION = 1073.04




VICINITY MAP
SEC. 18-14-24

UTILITY NOTES:
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811 Know what's below. Call before you dig.

SCALE: 1"=50'
0' 50' 100'


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Olathe, Kansas 66061
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PLANNING ENGINEERING INFRASTRUCTURE


# GRADING PLAN

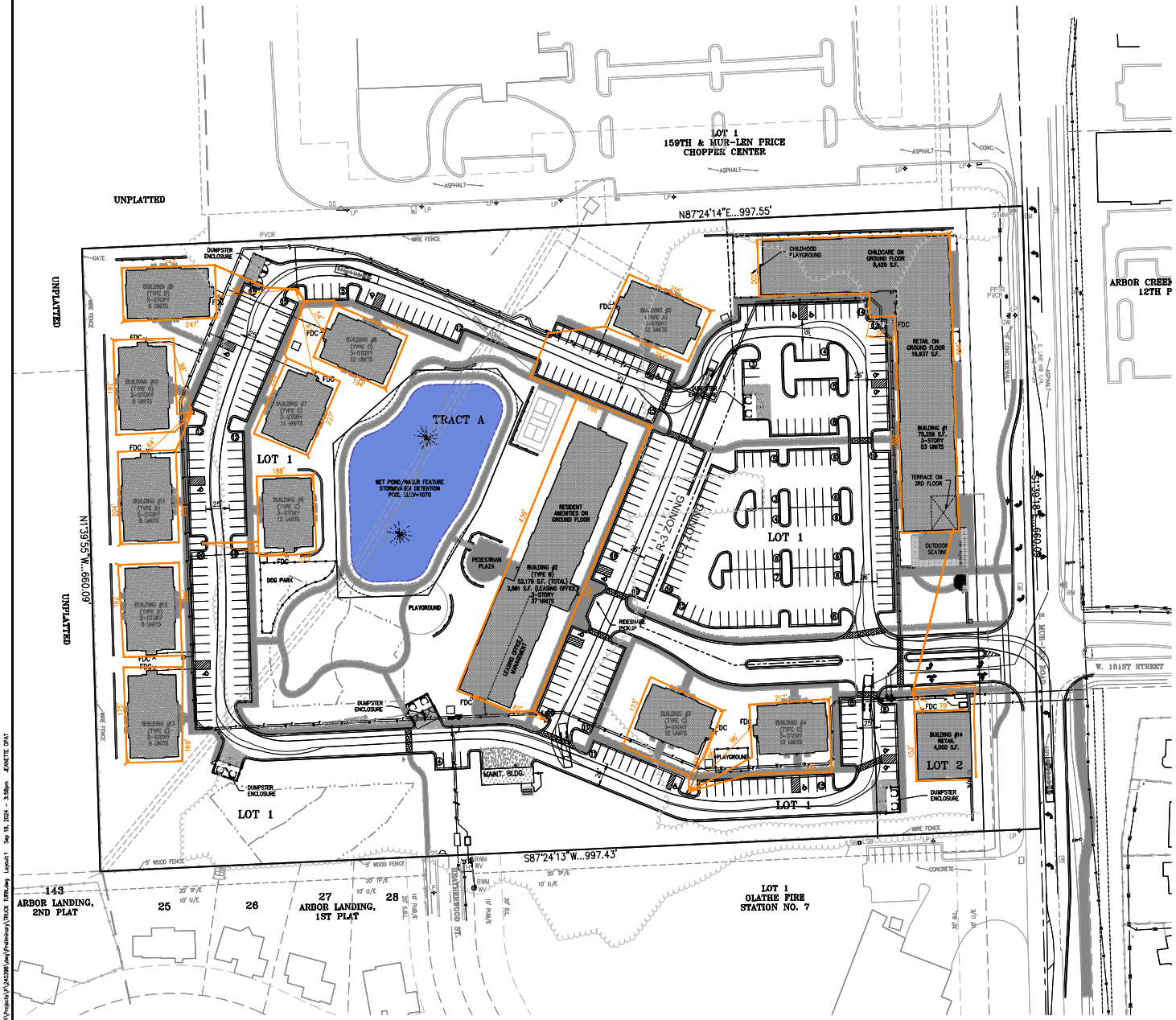
HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

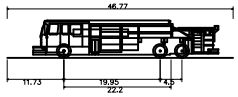
| Revisions: | | | | By | App |
|---|---|---|---|---|---|
| REVISED PER CITY COMMENTS | 1 | 8-26-24 | | JMO | DEU |
| REVISED PER CITY COMMENTS | 2 | 9-3-24 | | JMO | DEU |
| REVISED PER CITY COMMENTS | 3 | 9-12-24 | | JMO | DEU |
| ADDED PATIOS | 4 | 9-16-24 | | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NO. E-2002
LAND SURVEYING - LS-82
CERTIFICATE OF AUTHORIZATION NO. E-1084-960-20220126
LAND DEVELOPMENT - CA-1084-960-20220126
EXPIRATION: 01/31/2025

SHEET
C4.0

\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\Grading.dwg Layout1 Sep 18, 2024 - 3:14pm JEANETTE DRAFT




PEI-47-Pumper-Fire-Truck-(Dual-Axle)-Olathe

| | |
|---|---|
| Overall Length | 46.770ft |
| Overall Width | 8.167ft |
| Overall Body Height | 7.745ft |
| Min Body Ground Clearance | 0.656ft |
| Track Width | 5.167ft |
| Lock-to-lock time | 5.00s |
| Max Wheel Angle | 45.00° |

**LEGEND**

- W — PROPOSED WATER LINE (& SIZE)
- F — PROPOSED ROOF DRAIN (& SIZE)
- FDC — PROPOSED FIRE DEPARTMENT CONNECTION
- Ω — PROPOSED FIRE HYDRANT

SCALE: 1"=50'

0' 50' 100'

# FIRE PROTECTION PLAN

HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS


PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax: (913) 393-1244
www.phelpsengineering.com
PLANNING
ENGINEERING
INFRASTRUCTURE


| Revisions: | | | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NUMBER: PHELPS_ENG_INC
CERTIFICATE OF AUTHORIZATION NUMBER: 2000-0126
ARB: 0.00ac/NG=20720126
DIRECTIONS: 20720126

SHEET
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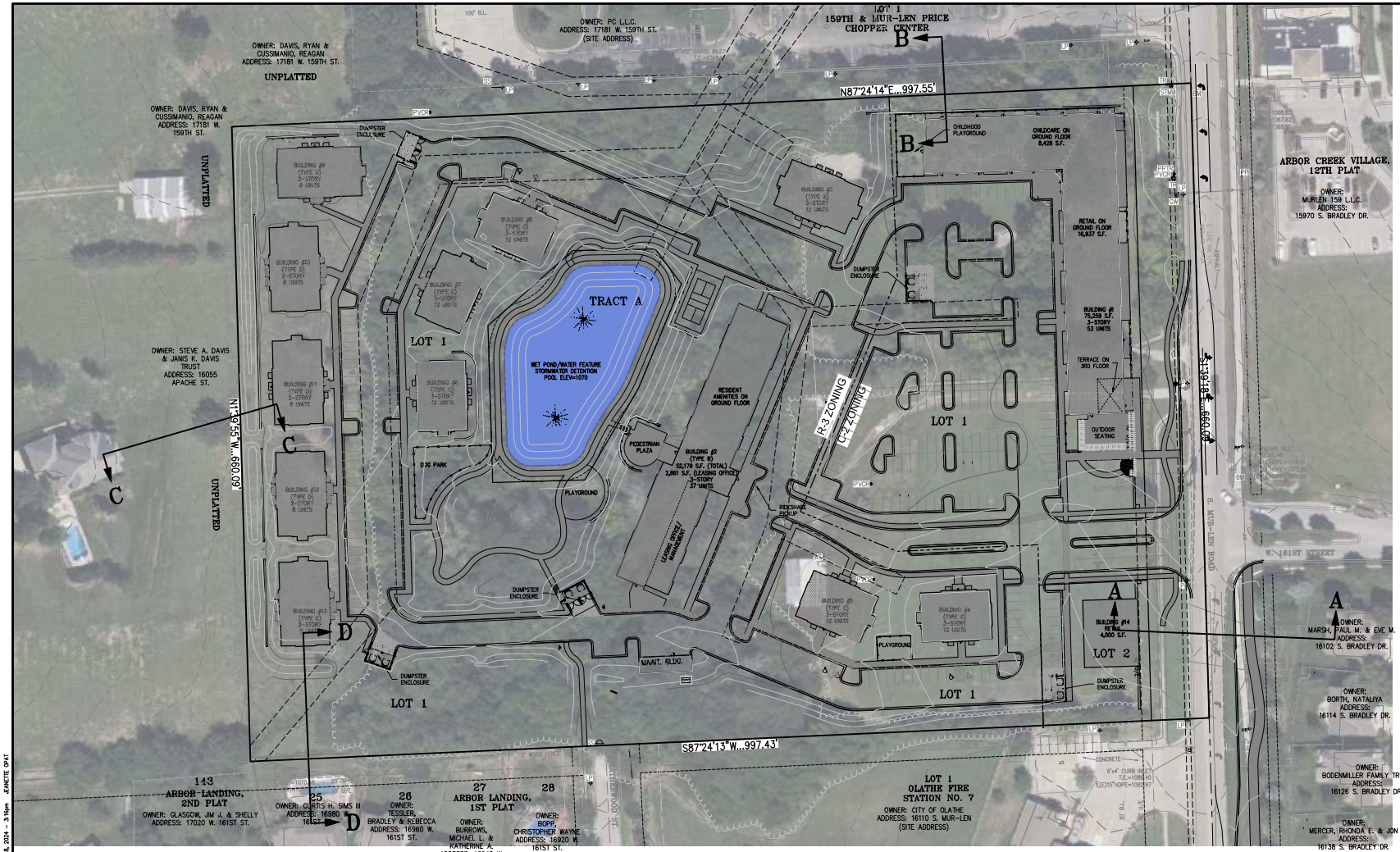
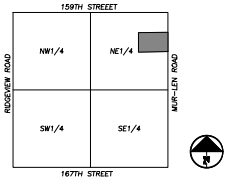
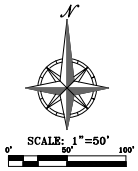



VICINITY MAP
SEC. 18-14-24

SCALE: 1"=2000'

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# LINE OF SIGHT PLAN VIEW

HoM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| Revisions: | | | By | App |
|---|---|---|---|---|
| REVISED PER CITY COMMENTS | 1 | 8-26-24 | JMO | DEJ |
| REVISED PER CITY COMMENTS | 2 | 9-3-24 | JMO | DEJ |
| REVISED PER CITY COMMENTS | 3 | 9-12-24 | JMO | DEJ |
| ADDED PATIOS | 4 | 9-16-24 | JMO | DEJ |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEJ
CERTIFICATE OF AUTHORIZATION NO. E-2000 EXP. 12-31-25
CERTIFICATE OF AUTHORIZATION ADD. 2016-0160 EXP. 12-31-25
PHELPS ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION ADD. 2016-0160-00-20220126
PHELPS ENGINEERING, INC. CERTIFICATE: 2018-0008

SHEET
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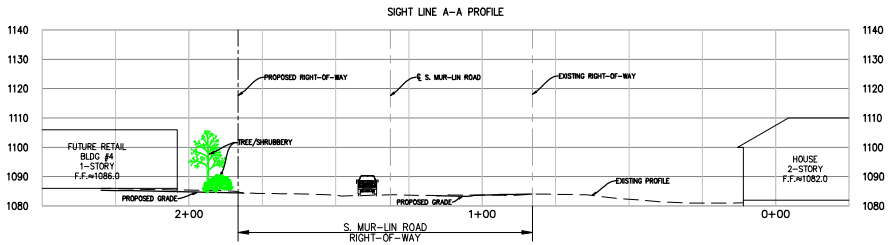
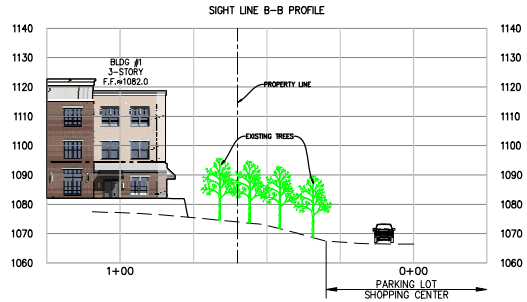
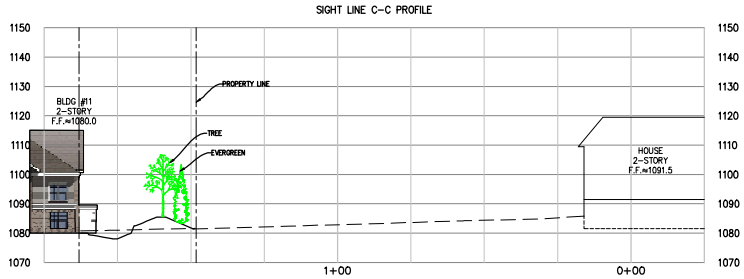
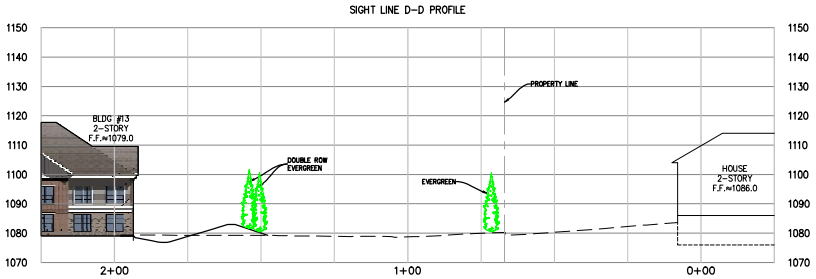
\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\LINES OF SIGHT.dwg Layout:PLAN Sep 18, 2024 - 3:16pm JANETE OPAT




SCALE: 1"=20' HORIZ.
1"=20' VERT.

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ENVIRONMENTAL

# LINE OF SIGHT SECTION VIEWS

HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS

| Revisions: | | | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEJ |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEJ |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEJ
CERTIFICATE OF AUTHORIZATION NUMBER: PHELPS ENG., INC. CA-82
CERTIFICATE OF AUTHORIZATION ADD. 0.(PHELPS)-20120218
ADD. 0.(MUELLER)-20120218
ADD. 0.(MUELLER)-20190208

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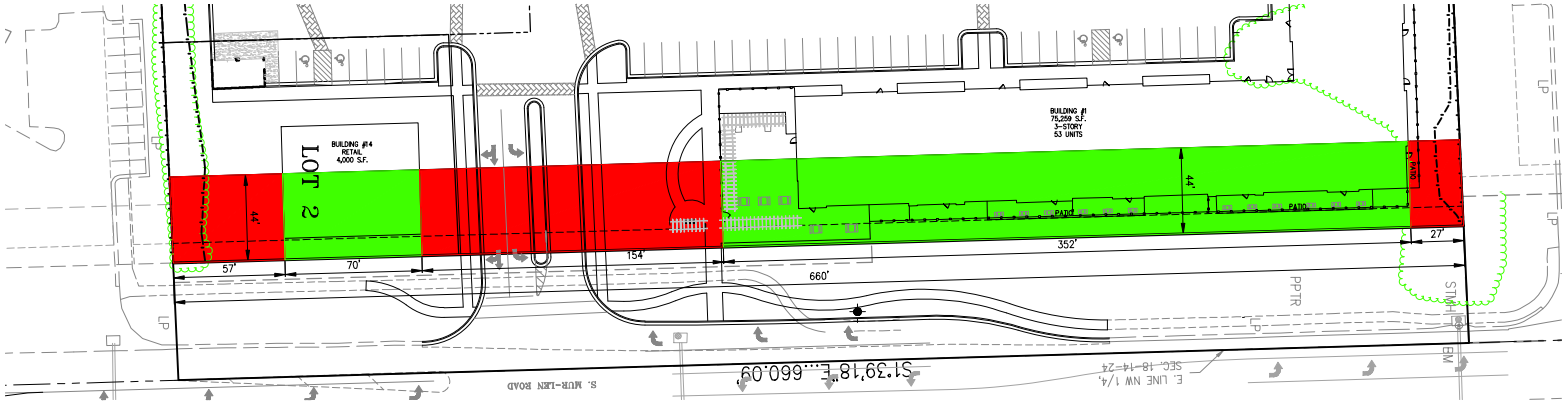
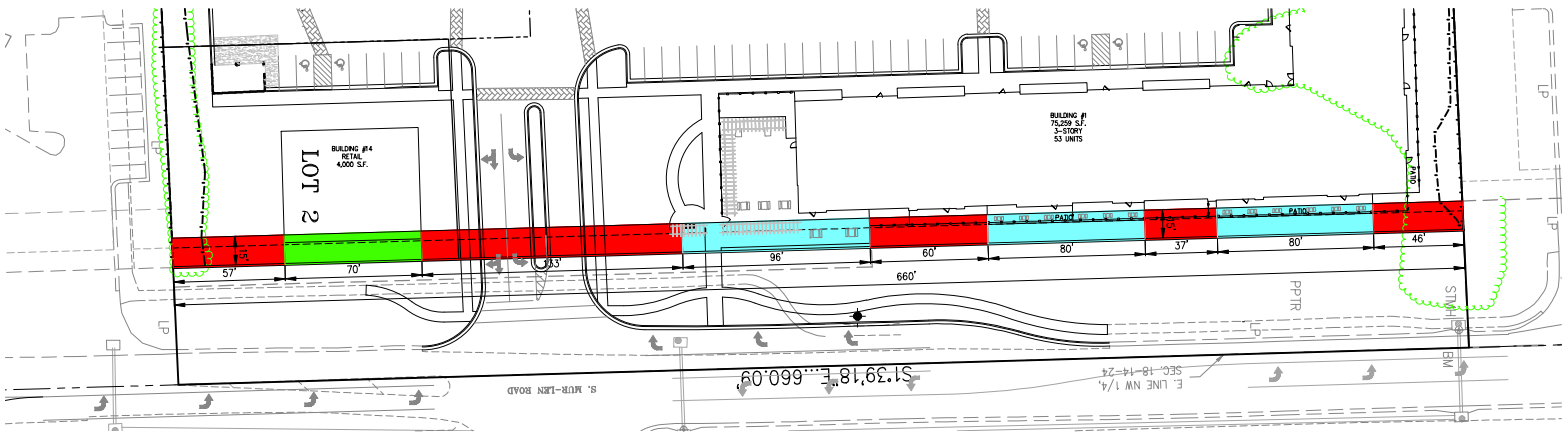
\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\LINES OF SIGHT.dwg Layout:SECTIONS Sep 19, 2024 - 8:07pm Jacob Keller



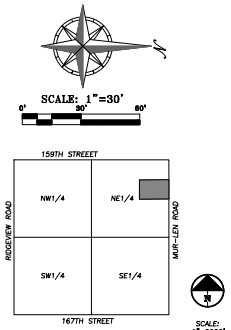

## C-2 FRONTAGE (44')

| FRONTAGE AREAS SUMMARY: |
|---|
| TOTAL FRONTAGE = 660 L.F.<br>COVERAGE LENGTH = 352+70=422 L.F.<br>PERCENT COVERAGE = 63.9% |




## CATEGORY 3 FRONTAGE (15')

| FRONTAGE SUMMARY: |
|---|
| TOTAL FRONTAGE = 660 L.F.<br>BUILDING COVERAGE =70 L.F.<br>PATIO COVERAGE =96+80+80=256 L.F.<br>BUILDING COVERAGE + PATIO COVERAGE=326 L.F.<br>PERCENT COVERAGE=49.4%(TOTAL) |




VICINITY MAP
SEC. 18-14-24

SCALE: 1"=2000'

# FRONTAGE PLAN

HOM FLATS AT MUR-LEN ROAD
OLATHE, KANSAS
PRELIMINARY PLANS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PLANNING
ENGINEERING
INVESTIGATION


| Revisions: | | | By | App |
|---|---|---|---|---|
| 1 | 8-26-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 2 | 9-9-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 3 | 9-12-24 | REVISED PER CITY COMMENTS | JMO | DEU |
| 4 | 9-16-24 | ADDED PATIOS | JMO | DEU |

PROJECT NO. 240398
DATE: 7-17-24 | DRAWN: JMO
CHECKED: JEL | APPROVED: DEU
CERTIFICATE OF AUTHORIZATION NUMBER: CA-1782
CERTIFICATE OF AUTHORIZATION NUMBER: 2000200126
FIRM NUMBER: 2000200126
EXPIRATION: 12/31/2025

SHEET
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\\PHELPS-SERVER\Projects\P\240398\dwg\Preliminary\COVERAGE EXHIBIT.dwg Layout:1 Sep 18, 2024 - 3:16pm JEANETTE OPAT