



**STAFF REPORT**

**Planning Commission Meeting: July 28, 2025**

<b>Application:</b>	<b>RZ25-0005: Rezoning from the CTY RUR (County Rural) District to the M-2 (General Industrial) District with a Preliminary Site Development Plan for Hedge Industrial Park</b>
<b>Location:</b>	Southeast of W. 167 <sup>th</sup> Street and S. Hedge Lane
<b>Owner/Developer:</b>	Aspen Industrial Land Fund I LLC
<b>Applicant:</b>	Amy Grant, Polsinelli PC
<b>Engineer:</b>	Kurt Hershey, Tessere
<b>Staff Contact:</b>	Nathan Jurey, AICP, Senior Planner

<b>Site Area:</b>	<u>98.09 acres</u>	<b>Proposed Use:</b>	<u>Warehouse/Distribution</u>
<b>Existing Zoning:</b>	<u>CTY RUR</u>	<b>Proposed Zoning:</b>	<u>M-2 (General Industrial)</u>
<b>Building Area:</b>	<u>1,089,918 sq. ft.</u>	<b>Plat:</b>	<u>Unplatted</u>
<b>Lots:</b>	<u>6</u>	<b>Tracts:</b>	<u>4</u>

Plan Olathe Land Use Category		Existing Use	Existing Zoning
<b>Site</b>	<b>Industrial Area and Greenway</b>	<b>Agricultural</b>	<b>CTY RUR</b>
<b>North</b>	Industrial Area, Employment Area, and Greenway	Warehouse/Distribution	M-2
<b>South</b>	Industrial Area, and Greenway	Agricultural	M-2
<b>East</b>	Industrial Area and Greenway	Agricultural	CTY RUR
<b>West</b>	Industrial Area	Bottling Facility & Agricultural	M-2 & CTY RUR

## 1. Introduction

The applicant is requesting to rezone property from the CTY RUR (County Rural) District to the M-2 (General Industrial) District with a preliminary site development plan for the Hedge Industrial Park development. The subject 98-acre property is located southeast of 167<sup>th</sup> Street and Hedge Lane. The project includes over 1 million square feet of total floor area across 6 industrial buildings that will be developed for speculative warehouse and distribution users. Rezoning to a City zoning district is required prior to development.

## 2. History

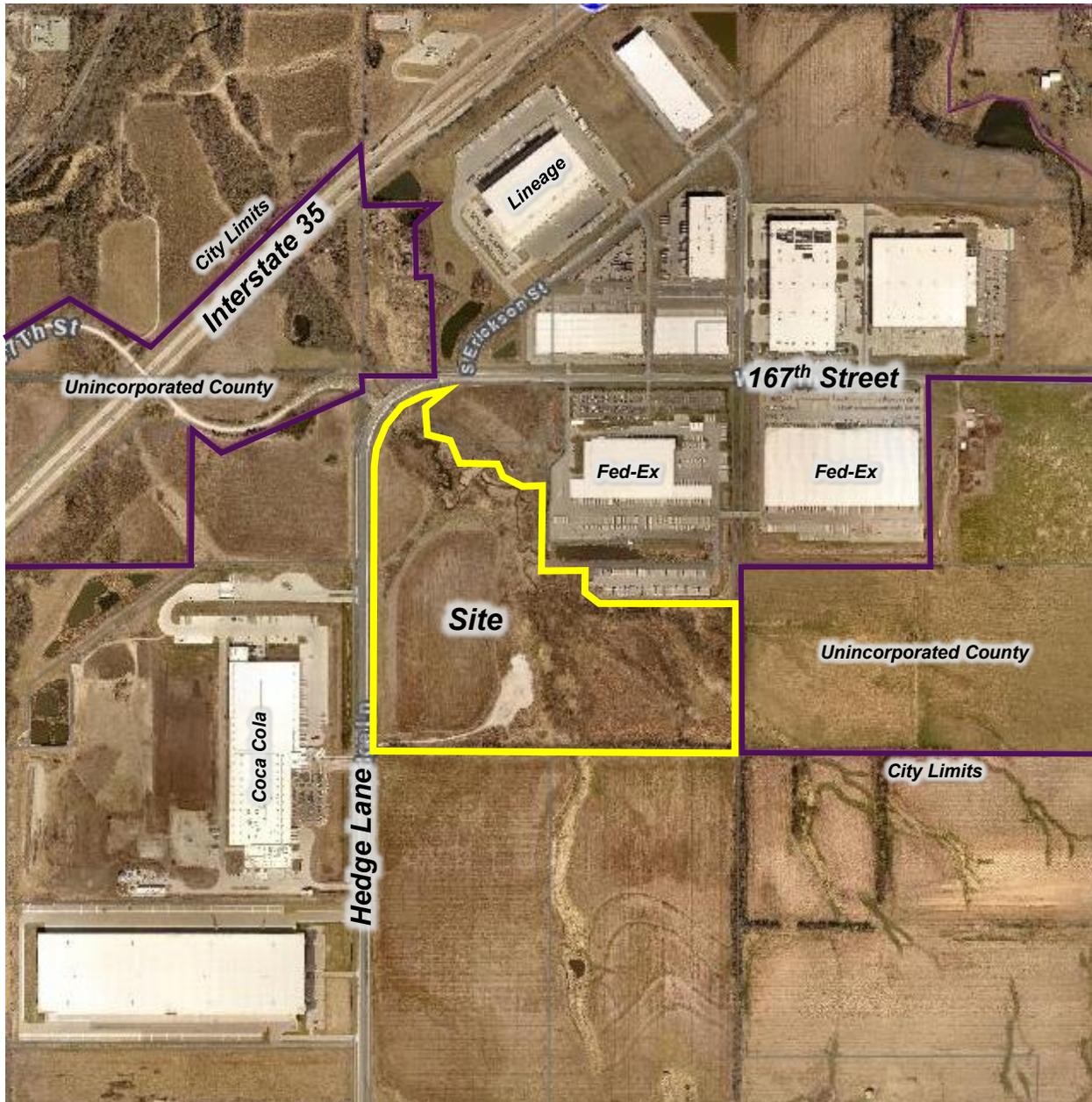
The subject property was annexed into Olathe in 2021 (Ord. 21-15, ANX21-0002) and no other zoning or development application has been submitted or approved on this site. Prior to annexation, the site was used for agricultural purposes and with a portion of the site used for a temporary concrete batch plant, which has recently been removed.

## 3. Existing Conditions

The subject property is generally located south of 167<sup>th</sup> Street and on the east side of Hedge Lane, which is now a paved 2-lane road with a center turn lane. There are four (4) stream corridors, three (3) of which run from the south into the main stream corridor, which runs along the north property line and downhill to the northwest corner of the site. Between the streams are areas primarily used as farmland and a gravel drive and a small gravel area exists where the concrete batch plant was recently removed. A major waterline for WaterOne runs along Hedge Lane and the City of Olathe maintains a sanitary sewer line that runs along the north property line.



*View from the southwest corner of subject property looking northeast along Hedge Lane.*



*Subject property outlined in yellow.*

#### 4. Zoning Standards

The development is following the base standards of the requested M-2 District found in Column 1 of UDO 18.20.200 and the following is a summary of the applicable land use and dimensional standards

- a. **Land Use** – The applicant’s request to rezone this site to the M-2 District aligns with the property’s designation as an Industrial Area on the PlanOlathe Future Land Use Map. The M-2 District generally supports industrial buildings grouped around major transportation systems. The applicant expects this development to largely be occupied by the *warehousing, storage, wholesale, and distribution facility* land use, which is permitted by right in the M-2 District and similar to the surrounding area.

The M-2 District allows a number of other general industrial and warehouse & storage uses. Staff recommends restricting land uses that are less compatible with the surrounding industrial uses due to the intensity of that use or its reliance on outdoor storage. Staff worked with the applicant on these use restrictions and the applicant is amenable to the list provided in Section 10 (Staff Recommendation) of this report.

- b. **Building Height** – The proposed buildings are 49 feet tall, complying with the maximum building height of 55 feet in the requested M-2 District.
- c. **Setbacks** – All buildings and paved areas comply with the minimum setback of 30 feet from the front property line and 10 feet along the side and rear property lines.
- d. **Open Space** – The M-2 District requires a minimum of 15% open space and the proposal exceeds this requirement by dedicating over 30% of the overall site as open space in Tracts A-D.

## 5. Development Standards

- a. **Phasing** – The applicant intends to commence development with Phase 1, which includes Lot 3 and all street, utility, and stormwater improvements required to serve this phase of the development. The remaining Phases 2 through 6 will be developed based on market demand and each phase will construct streets, utilities and stormwater improvements as depicted in the phasing plan and as needed to serve each phase.
- b. **Access/Streets** – The development will take access from Hedge Lane at three (3) points (169<sup>th</sup> Street, 171<sup>st</sup> Street, and a shared private drive) and the required turn lanes are shown at each access point. 171<sup>st</sup> Street provides direct access for the adjacent lots and extends along the south property line between Hedge Lane and the east property line to provide access for adjacent properties. Direct access is also provided along 169<sup>th</sup> Street and Erickson Street for those adjacent lots. A stipulation is included in staff's recommendation requiring traffic improvements to be made in accordance with the Traffic Impact Study, that the study be updated with each phase, and the development will adhere to the Access Management Plan and City Engineer requirements
- c. **Parking/Loading** – The applicant expects that most prospective tenants will be required 1 stall per 1,500 square feet of general building area and 3.8 stalls per 1,000 square feet of office area, as this is the requirement for many industrial and warehouse/distribution uses. Based on these requirements, each lot provides the required parking. Overall, a total of 996 stalls are provided, exceeding the minimum requirement of 966 stalls.

A loading dock area is proposed at the rear of every building and will be finished out as necessary to accommodate each prospective tenant.

- d. **Landscaping/Screening** – A Type N (Natural) Buffer is provided along the north and east property lines by preserving the existing stream corridor and woodland area. Nonresidential landscaping is provided along Hedge Lane and street trees along all other roads as required by the UDO. Additionally, UDO 18.30.130.D calls for the use of landscaped berms where possible and the applicant is agreeable to a stipulation to provide landscaped berms along Hedge Lane.

Internal to the site, perimeter parking lot landscaping is provided using continuous 3-foot-tall shrubs and the required parking lot landscape islands are provided internally. Building foundation landscaping is provided along all primary façades. An architectural screen wall is provided on Lot 3 to screen the truck court from view along Hedge Lane. Trash enclosures are provided with each building. The placement and screening of all ground,

wall, and roof-mounted utilities and equipment will be reviewed administratively for compliance with UDO standards.

- e. **Tree Preservation** – On this 98-acre property, 24 acres are considered woodland area. This development preserves 61% of the existing woodland area, exceeding the requirement to preserve a minimum of 20% of woodland areas.
- f. **Stormwater/Detention** – Four (4) wet detention basins will be installed with this development to comply with Title 17 stormwater requirements of the Municipal Code. Stormwater collected throughout the site will be conveyed into these detention basins, which are all generally located along the stream corridor to the north of the site.

The project also complies with the stream corridor requirements of Title 17. There are four (4) existing streams that require stream corridor dedication covering a total of 23 acres of the site. As two (2) streams will be disrupted by off-site development, this project will preserve the remaining two (2) stream corridors and dedicate new wet detention areas that cover approximately 29 acres, exceeding the required stream corridor acreage.

- g. **Public Utilities** – This site is in the WaterOne service area and will connect to the existing water main running along Hedge Lane. This site is also in the City of Olathe sanitary sewer service area and will connect to the existing sanitary sewer main located along the north side of this property. The existing sewer manhole to which this project connects is submerged during rainfall events and the applicant is agreeable to a stipulation to replace and lift the existing infrastructure to reduce rainwater infiltration into the sanitary sewer network. City sewer will be extended as required to provide access to the adjacent undeveloped properties to the east and south.

## 6. Site Design Standards

The property is subject to Site Design Category 6 based on the Industrial Area designation in the PlanOlathe Future Land Use Map. The following is a summary of the applicable site design requirements:

- a. **Parking Pod Size** – Parking lots must be broken up into parking pods with no more than 320 stalls and the largest parking pod includes 161 stalls, complying with this requirement.
- b. **Drainage Feature** – Extensive landscaping is provided around the wet detention basins in Tracts A-C to incorporate them as a decorative feature for the site. The detention basin in Tract D is not required to be designed as an amenity as it is not visible to the public.
- c. **Increased Setback** – All buildings are setback over 50 feet from arterial streets and adjacent nonresidential properties as required by UDO.
- d. **Perimeter Landscaping** – The planted buffer area along Hedge Lane is at least 30 feet wide and includes a decorative fence with masonry columns, exceeding the requirement to provide at least a 20-foot-wide buffer with decorative fencing and columns along arterial streets.

## 7. Building Design Standards

The proposal includes six (6) one-story buildings that are all subject to the Industrial Building design standards according to UDO Section 18.15.020.G.10. The proposal includes three different sized building types (214k, 172k, and 58k square feet in size) and elevations are included in the agenda for each building type.

All buildings are designed with three (3) primary facades (front, left and right) and every building was intentionally sited so the rear elevation is classified as a secondary façade.

Consistent architectural design, materials, and colors will be used throughout the development. All buildings will be constructed with Class 1 clear glass and Class 2 tilt-up concrete panels with form-liner reveals. The concrete panels will be textured and painted in light and dark tan colors to accent the proposed architectural features.

The following table lists the applicable design requirements of the UDO and proposed design elements:

<b>Building Design Standards</b>	<b>Design Requirements</b> <i>Proposed Design</i>
<i>Building Entryway</i>	<p><b><i>The main common building entry must be defined with a covered projection from the façade or by a recessed area.</i></b></p> <p>Each building includes canopies that project over building entrances, meeting UDO requirements.</p>
<i>Garage and Overhead Doors</i>	<p><b><i>Garage and overhead doors may only face a local or collector public street, unless completely screened from view.</i></b></p> <p>All overhead dock doors are located on the rear façade and oriented away from public streets.</p>
<i>Facade Articulation</i>	<p><b><i>Horizontal and vertical articulation must be used to divide primary façades into vertical bays that are no greater than 50 and 100 feet in width for buildings under and over 100,000 square feet, respectively.</i></b></p> <p>Each primary façade is divided into vertical bays using a variation in the roofline of four (4) feet and either a wall offset or wall projection to provide both vertical and horizontal articulation. These elements are used at least every 50 feet on primary façades for the smaller (58k sq. ft.) building and at least every 100 feet for the larger two building types.</p>
<i>Special Vertical Articulation</i>	<p><b><i>One-story buildings must include tower elements or similar vertical articulation to bookend the building or anchor the main entry or building corner.</i></b></p> <p>A special tower element is utilized at each main building entry and building corner to anchor these elements of the building.</p>

Primary facades must use a minimum of two (2) Class 1 and 2 materials on 75% of the façade and secondary facades must use a minimum of two (2) Class 1, 2 and 3 materials on 50% of the façade. All facades exceed these requirements, with clear glass (Class 1) and tilt-up concrete panels with form-liner reveals (Class 2) comprising 100% of every façade. In addition, primary façades must use a minimum of 15% glass on the first floor and all primary façades comply by providing between 15% and 28% glass on the first floor façade area. A Class 2 non-visible membrane roof is proposed, meeting the requirement to use a Class 1 or 2 roofing material.

## 8. Public Notification and Neighborhood Meeting

The applicant sent the required public notification letters to surrounding properties within 200 feet and 1,000 feet in unincorporated Johnson County by certified mail and posted a sign on the subject property as required by UDO. Neighborhood notice was also sent to nonresidential property owners within 500 feet of the property and a neighborhood meeting was not required as this property is not within 500 feet of any residential area. Staff has not received any correspondence from nearby property owners.

## 9. UDO Rezoning Criteria

Rezoning applications are reviewed against the Golden Criteria listed in UDO Section 18.40.090.G to ensure compatibility with the surrounding area. This application was reviewed against this criteria and staff's findings are detailed below.

### A. *The conformance of the proposed use to the Comprehensive Plan and other adopted planning policies.*

The future land use map of the PlanOlathe Comprehensive Plan identifies the subject property as an Industrial Area with Primary and Secondary Greenways. Industrial Areas are designated for more intensive industrial uses, including manufacturing, assembly, and distribution. Research, warehousing, and other light industrial uses are also appropriate in Industrial Areas. In Industrial Areas, complementary retail and service uses should be limited in scale and carefully integrated with surrounding industrial uses.

The M-2 District directly aligns with the Industrial Area future land use category, and greenways will be preserved within the northeast portion of the development. This request conforms with the PlanOlathe (Comprehensive Plan) and the following policy elements of the Comprehensive Plan:

**LUCC-1.1: Consistency with the Comprehensive Plan.** Land use proposals should be consistent with the vision of the Comprehensive Plan, as well as applicable local ordinances and resolutions.

**ES-1.3: Targeted Industries.** Promote Olathe as an ideal place for desirable new industries, especially those that would diversify the employment base, reflect the labor force capabilities of the community, and complement Olathe's high quality of life.

**ES-1.5: New Businesses.** Build upon existing economic strengths to encourage new spin-off and start-up businesses.

### B. *The character of the neighborhood including but not limited to: land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space and floor-to-area ratio (commercial and industrial).*

The character of the surrounding area consists primarily of industrial and employment uses. Existing uses include bottling facilities and warehouse & distribution facilities. Structures in the vicinity are primarily very large tilt-up concrete buildings with limited office area, reflecting the area's functional and utilitarian design. The proposed warehouse and distribution development is cohesive and compatible with the character of the area.

However, the M-2 District does allow a number of land uses that are less compatible with the character of the surrounding development due to the intensity of that use or its reliance on outdoor storage. Staff worked with the applicant and they are amenable to restricting the list of uses provided in staff's recommendation.

C. ***The zoning and uses of nearby properties, and the extent to which the proposed use would be in harmony with such zoning districts and uses.***

The proposed M-2 (General Industrial) District and warehousing and distribution facilities are in harmony with the surrounding properties, as most have also been rezoned to the M-2 District and are developed with compatible industrial and warehouse & distribution facilities.

D. ***The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations.***

The property currently retains the CTY RUR (County Rural) District zoning and must be rezoned to a City zoning district before it may be developed.

E. ***The length of time the property has remained vacant as zoned.***

The property has retained County RUR zoning since it was annexed in 2021. The site is currently undeveloped and was largely used for agricultural purposes before annexation.

F. ***The extent to which approval of the application would detrimentally affect nearby properties.***

Staff has not received information indicating the proposed project will detrimentally affect nearby properties. Approval of this application would allow a similar type of development to the surrounding properties already zoned to the M-2 District.

G. ***The extent to which development under the proposed district would substantially harm the value of nearby properties.***

The development as proposed is not anticipated to have any detrimental impact on the value of nearby properties, which are zoned for similar uses. The proposed development is similar to the surrounding developed properties in regard to site and building design.

H. ***The extent to which the proposed use would adversely affect the capacity or safety of that portion of the road network influenced by the use, or present parking problems in the vicinity of the property.***

The proposed warehouse and distribution uses will not cause any adverse effect on traffic and safety of the road network and on-site parking will be provided as required by UDO.

I. ***The extent to which the proposed use would create air pollution, water pollution, noise pollution or other environmental harm.***

This development is not anticipated to create pollution or other environmental harm. The development will follow all regulations and codes pertaining to stormwater, air quality, noise, and other impacts on the environment.

J. ***The economic impact of the proposed use on the community.***

The proposed development will contribute to the local economy by generating additional property taxes to be collected by the City and creating new employment opportunities.

K. ***The gain, if any, to the public health, safety and welfare due to denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.***

There is no gain to the public health, safety, or welfare if the application were denied. If the application were denied, the property would be restricted to the uses permitted in the County RUR District and industrial development of this property would not be permitted.

## 10. Staff Recommendation

- A. Staff recommends approval of RZ25-0005, Hedge Industrial Park, for the following reasons:
  - 1. The proposed development complies with the policies and goals of the PlanOlathe Comprehensive Plan.
  - 2. The requested zoning meets the Unified Development Ordinance criteria for considering zoning applications.
- B. Staff recommends approval of the rezoning request with the following stipulation.
  - 1. The following land uses are prohibited:
    - a. Automobile Storage or Towing (Tow Lot)
    - b. Bus/Truck Maintenance, Including Repair and Storage (as principal use)
    - c. Leasing/Rental of Trucks, Trailers, RVs, Boats, Motorcycles
    - d. Parking Lots, Surface as Principal Use
    - e. Public Utility Storage and Service Yards
    - f. Storage Area or Lot, except as an accessory use to a building and not visible from arterial and collector roadways
    - g. Paper Manufacturing
    - h. Petroleum Bulk Stations and Terminals
    - i. Power Generation Plant
    - j. Recycling Centers, Drop-Off
    - k. Rendering and Meat Byproduct Processing
    - l. Textile, Clothing, and Leather Manufacturing
- C. Staff recommends approval of the preliminary site development plan request with the following stipulations:
  - 1. On the plans submitted with the final site development plan application, landscaped berms will be included along Hedge Lane where possible as required by UDO 18.30.130.D.
  - 2. The existing sanitary sewer infrastructure serving as the connection point for this development must be replaced and lifted as required by the City of Olathe Engineering Design Criteria.
  - 3. Traffic improvements, and associated timing, will be made in accordance with the Traffic Impact Study dated May 20, 2025 and approval of the City Engineer. The Traffic Impact Study is required to be updated with each development phase and shall adhere to Access Management Plan and City Engineer requirements.

# TESSERE

June 30, 2025

via portal upload

Mr. Nathan Jurey, AICP  
Senior Planner  
City of Olathe Planning Division  
100 E. Santa Fe Street, 3<sup>rd</sup> Floor  
Olathe, KS 66061

Re: Statement of Purpose for Rezoning  
Hedge Industrial Park North  
Olathe, Kansas

Dear Nathan:

On behalf of our Client, Aspen Industrial Land Fund I, we are submitting this Statement of Purpose for Rezoning. Aspen Industrial Land Fund I is purchasing this property from Slam D Holdings, Inc. This property, known as Hedge Industrial Park North, is located south of W. 167<sup>th</sup> Street and east of S. Hedge Lane. This is a 98-acre property that lies within the City of Olathe.

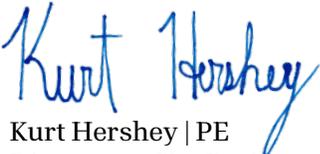
The proposed development will consist of the construction of six separate speculative warehouses. The total square footage, as indicated on the Preliminary Site Development Plan, is 1,089,918 square feet. The land use of all lots is speculative at this time but is expected to be warehousing and/or distribution.

The property is currently zoned CTY RUR (County Rural). The purpose of this rezoning request is to bring the property into City zoning and to be able to develop the property. The rezoning being requested for the entire Hedge Industrial Park North development is M-2 (General Industrial District) and a preliminary development plan accompanies this rezoning request.

Thank you for your consideration. Please reach out if you have any questions.

Sincerely,

TESSERE, Inc.

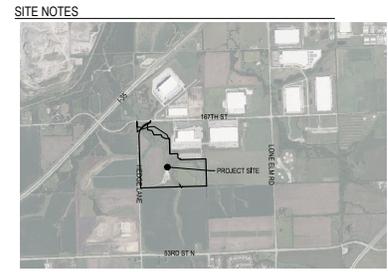
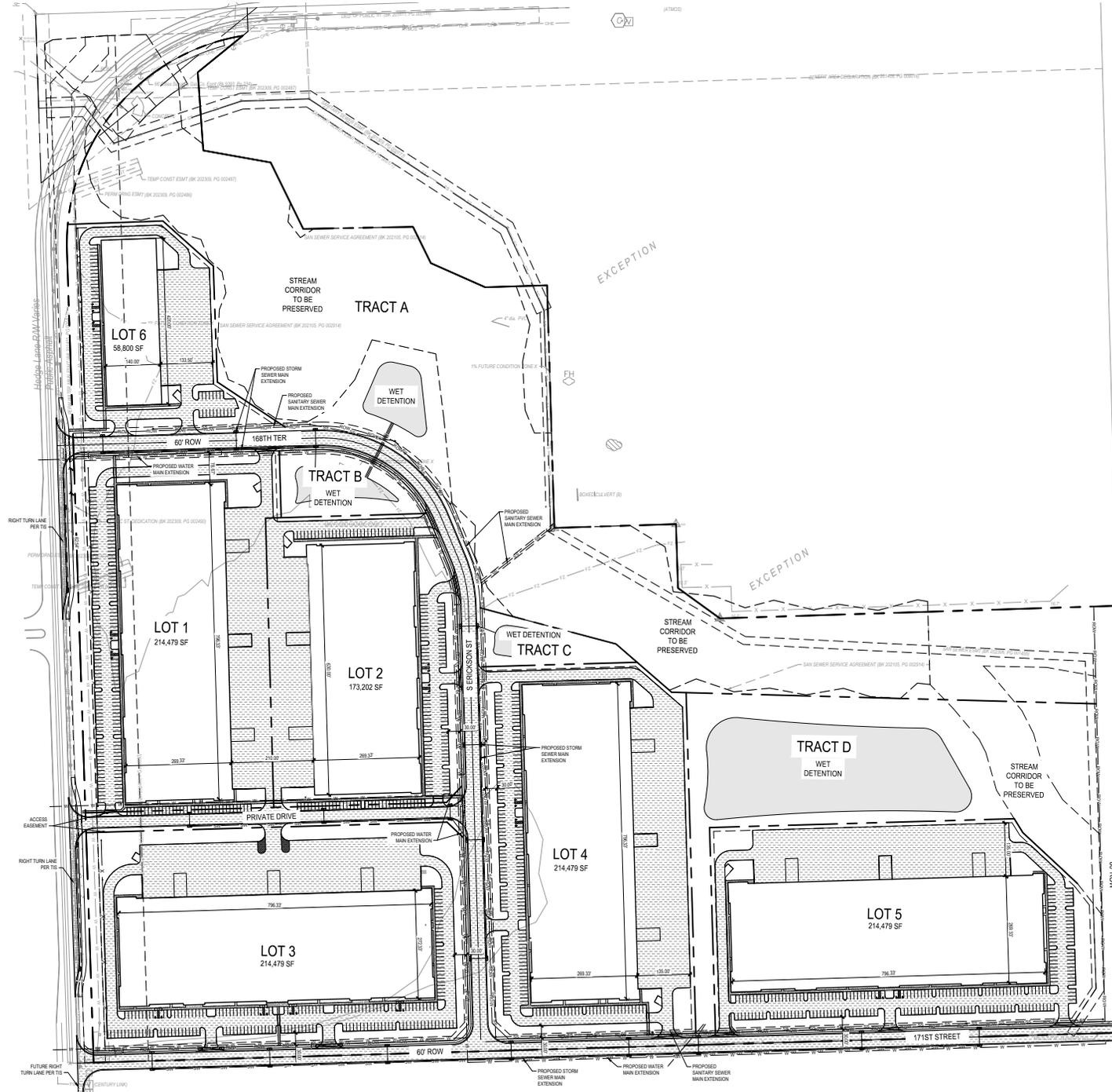


Kurt Hershey | PE  
Director of Site Projects

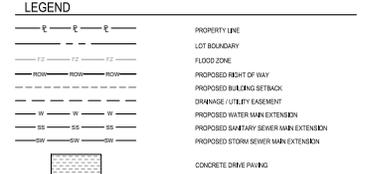
KLH/am

Enclosure

c (w/enc.): 13038R24016



- ### GENERAL SITE NOTES
- EXISTING SITE DRAINAGE CITY FILE, THE PROPOSED ZONING WILL BE GENERAL INDUSTRIAL DISTRICT (M-2).
  - EXISTING LANDUSE IS AGRICULTURE, PROPOSED LANDUSE IS WAREHOUSES, STORAGE, WHOLESALE AND DISTRIBUTION FACILITIES.
  - PROPOSED HEIGHT OF WAY (ROW) WIDTH SHALL BE 60'.
  - PROPOSED ROADWAY BE CLASSIFIED AS A LOCAL STREET, PROPOSED ROADWAY WIDTH SHALL BE 60' WITH 2 CURB & GUTTER EACH SIDE.
  - SEWER MAINS SHALL BE 18" UNLESS SHOWN OTHERWISE.
  - WATER MAINS SHALL BE 12" UNLESS SHOWN OTHERWISE.
  - ACCESS TO PAVED DRIVE SHALL BE LIMITED TO TWO PUBLIC ACCESS POINTS.
  - DRAINAGE FROM THE PROPOSED SUBURBICA WILL BE DIRECTED NORTH TO A PROPOSED DETENTION BASIN FOR THE PROJECT DRAINAGE DETENTION FROM REQUIREMENTS WILL MEET THE CITY OF OLAHIE REGULATIONS.
  - DRAINAGE OPERATIONS AND EROSION CONTROL MEASURES WILL FOLLOW THE KANSAS DEPT. OF HEALTH AND ENVIRONMENT STANDARDS AND SUBURBICA.
  - ROADWAY INTERSECTION ANGLES ARE BETWEEN 90 AND 90 DEGREES.
  - STOPPING SHORT DISTANCE FOR ALL HORIZONTAL AND VERTICAL CURVES ARE 200' OR GREATER.
  - CURB RACKETS AT INTERSECTIONS ARE 50' UNLESS NOTED OTHERWISE.
  - INTERSECTIONS ARE OFFSET PROPOSED CENTERLINE FROM 10'.
  - TRACT AREAS ARE EXTENDED TO BE MAINTAINED BY EITHER THE PROPERTY OWNER OR THE CITY OF OLAHIE, AS CALLED OUT ON THE PLAN.
  - STORM SEWER SHALL BE DESIGNED TO CARRY THE 3 YEAR STORM.
  - LINE HYDRANTS SHALL BE PROVIDED NOT LESS THAN 50 FEET FROM THE NEAREST HYDRANT.
  - SITE SCREENING AND BUFFER YARDS ARE REQUIRED FOR THE DEVELOPMENT.
  - WALL MOUNTED CURBS SHALL BE LOCATED TO THE INTERIOR SIDE OR REAR YARD OF BUILDING TO THE GREATEST EXTENT POSSIBLE.
  - PER CITY CODE SECTION 14.3.10 STANDARD PARKING SHALL DIMENSIONS SHALL BE 8' BY 20'.
  - WALKWAYS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
  - CURB RACKETS AT INTERSECTIONS ARE 50' UNLESS OTHERWISE NOTED.
  - LANDSCAPE PLANS INCLUDED IN THIS SUBMITTAL MEET THE REQUIREMENTS SET FORTH IN CHAPTER 18 OF OLAHIE CITY ZONING REGULATIONS ALL LANDSCAPE PLANS ARE AT LEAST 4' WIDE AND MORE THAN 100 SQ. FT. IN AREA.
  - WILL PAY INTO THE PUBLIC ART FUND AS REQUIRED FOR THIS PROJECT BY MUNICIPAL CODE CHAPTER 242.10.
  - ONLY TRANSFORMERS AND GAS METERS WILL BE ABOVE GROUND AND SHALL BE SCREENED PER CITY CODE.



### GENERAL SITE NOTES

PROJECT DATA TABLE	
LEGAL	22-14-23 NW/4 EX. 25 AC IN HWY EX 43.29 AC EX 1.16 AC IN ST EX 833 AC IN OT EX 3005 AC EX 1.12 AC EX 3.3 AC IN CITY OF OLAHIE
SPECIFICATIONS	ASPIEN INDUSTRIAL LAND FUND I LLC
PROJECT AREA	94.89 AC
OWNER	CITY OF JOHNSON COUNTY
COORDINATION	OLAHIE
ENGINEER/PREPARER	KURT HERSHEY, P.E.
SURVEYOR	CHAD ABBOTT, P.S.
EXISTING ZONING	City Rural
PROPOSED ZONING	M-2 General Industrial District

### DEVELOPMENT SUMMARY

Item	Floor Area	Residual Bldg. Area	Proposed Bldg. Area	Total Floor Area	Site Acreage	% of Acre	Land Use	Parking Required	Required Parking Calculations	Proposed Parking
<b>Lot 1</b>										
Office	15,614		15,614	15,614	9.84	10.03%		1,871,000 sf	17,000	17,000
Storage	199,465		199,465	199,465				1/1500 of	132,984	132,984
Subtotal	214,479		214,479	214,479				1/1500 of	190,003	190,003
<b>Lot 2</b>										
Office	10,392		10,392	10,392	7.63	7.78%		1,871,000 sf	39,49	39,49
Storage	162,810		162,810	162,810				1/1500 of	108,54	108,54
Subtotal	173,202		173,202	173,202				1/1500 of	148,03	148,03
<b>Lot 3</b>										
Office	10,724		10,724	10,724	13.14	13.40%		1,871,000 sf	40,75	40,75
Storage	200,756		200,756	200,756				1/1500 of	135,84	135,84
Subtotal	211,479		211,479	211,479				1/1500 of	176,59	176,59
<b>Lot 4</b>										
Office	12,869		12,869	12,869	10.33	10.53%		1,871,000 sf	48,90	48,90
Storage	209,810		209,810	209,810				1/1500 of	134,41	134,41
Subtotal	222,679		222,679	222,679				1/1500 of	183,31	183,31
<b>Lot 5</b>										
Office	21,448		21,448	21,448	10.74	10.95%		1,871,000 sf	81,50	81,50
Storage	191,031		191,031	191,031				1/1500 of	128,60	128,60
Subtotal	212,479		212,479	212,479				1/1500 of	210,10	210,10
<b>Lot 6</b>										
Office	5,800		5,800	5,800	4.47	4.56%		1,871,000 sf	22,34	22,34
Storage	52,900		52,900	52,900				1/1500 of	35,28	35,28
Subtotal	58,700		58,700	58,700				1/1500 of	57,62	57,62
<b>Tract A</b>										
Office			22,82	22,82	23.26%					
<b>Tract C</b>										
Office			1,18	1,18	1.20%					
<b>Tract D</b>										
Office			0,81	0,81	0.83%					
Storage			8,85	8,85	9.02%					
Right-of-Way			8,21	8,21	8.45%			96,77	996	996
<b>TOTAL</b>	<b>1,089,818</b>		<b>98,09</b>	<b>1,089,818</b>	<b>98.09</b>	<b>100.00%</b>				

### ZONING SETBACK SUMMARY

Block / Lot	Building Setback				Parking Setback	
	Front	Street Side	Side Yard	Rear	ROW	Property Line
Lot 1	30'	20'	10'	10'	30'	10'
Lot 2	30'	20'	10'	10'	30'	10'
Lot 3	30'	20'	10'	10'	30'	10'
Lot 4	30'	20'	10'	10'	30'	10'
Lot 5	30'	20'	10'	10'	30'	10'
Lot 6	30'	20'	10'	10'	30'	10'

\* BUILDINGS MUST BE SETBACK AT LEAST 10 FEET FROM ADJACENT STREETS PER SITE DEVELOPMENT CATEGORY 6 (JDD 14.10.10).  
 \* PARKING MUST BE SETBACK AT LEAST 10 FEET FROM ADJACENT STREETS AND MUST INCLUDE A DISCRETE FENCE PER SITE DEVELOPMENT CATEGORY 6 (JDD 14.10.10).

# 1 PRELIMINARY SITE DEVELOPMENT PLAN

TESSERE

1800 W. 11th St., Suite 100, Olathe, MO 64662  
 816.765.1100  
 tessere.com

CROSSLAND  
CONSTRUCTION COMPANY, INC.

1800 W. 11th St., Suite 100, Olathe, MO 64662  
 816.765.1100  
 crosslandconstruction.com

PROGRESS PRINT

HEDGE INDUSTRIAL PARK NORTH  
ASPEN INDUSTRIAL LAND FUND I LLC  
SAV 02, NW 1/4, SEC 22, T-44S, R-34E, OLAHIE, MO 64662

PRELIMINARY  
SITE DEVELOPMENT  
PLAN  
SK002



**LEGEND**

	PHASE LINE
	PROPERTY LINE
	LOT BOUNDARY
	FLOOD ZONE
	PROPOSED RIGHT OF WAY
	PROPOSED SEWER SETBACK
	DRAINAGE / UTILITY EASEMENT
	PROPOSED WATER MAIN EXTENSION
	PROPOSED SANITARY SEWER MAIN EXTENSION
	CONCRETE DRIVE PAVING

**TESSERE**

All work herein is the sole and exclusive property of TESSERE and is not to be copied or used in any way without the express written consent of TESSERE. All drawings, specifications, plans, designs, and engineering reports prepared herein constitute the original and complete final work of TESSERE.

**CROSSLAND**  
CONSTRUCTION COMPANY, INC.

REGISTERED PROFESSIONAL ENGINEER

PROGRESS PRINT

**HEDGE INDUSTRIAL PARK NORTH**  
ASPEN INDUSTRIAL LAND FUND I LLC  
S.W. 1/2, NW 1/4, SECS. 22, T.44-S., R. 2-E1, CO. LAKE, 86662

REV. 02	2/23/2018
REV. 01	2/23/2018
PROJECT NO.	1030820416
STATUS	PRELIMINARY SITE DEVELOPMENT PLAN
DATE	08/21/2020
DRAWN BY	B.S.
CHECKED BY	W.P.

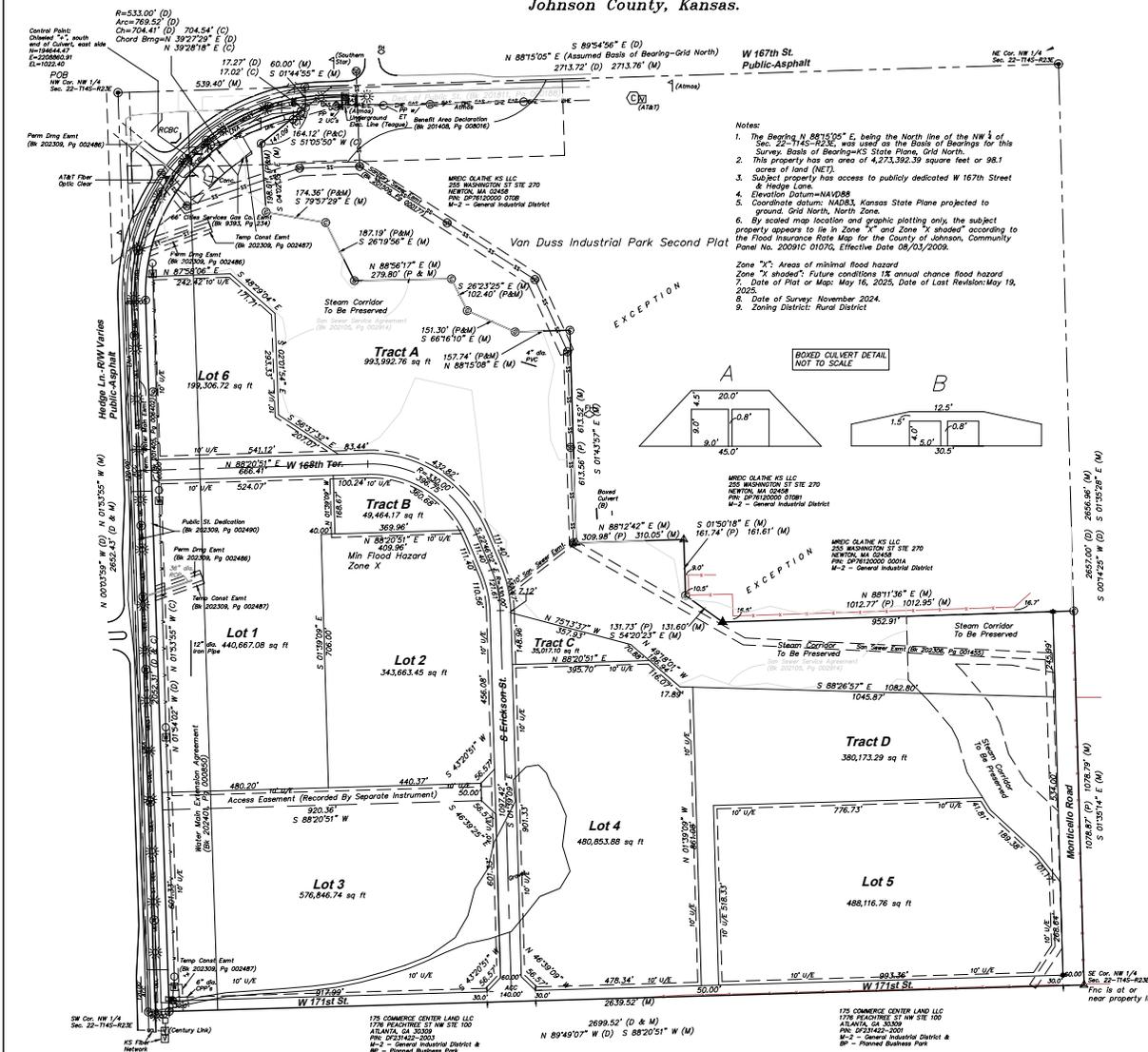
**1 PHASING PLAN**



PROJECT: HEDGEPARK 10/2017 10/2018  
 CLIENT: ASPEN INDUSTRIAL LAND FUND I LLC  
 DESIGNER: TESSERE CONSULTANTS, INC. 10/2017/10/2018/10/2019/10/2020  
 DRAWING NO.: 1030820416-01

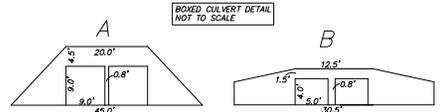


**PRELIMINARY PLAT**  
**Hedge Industrial Park North**  
 A Part of The Northwest Quarter,  
 Section 22, Township 14 South, Range 23 East,  
 An Addition To The City of Olathe,  
 Johnson County, Kansas.



- Notes:
1. The Bearing N 88°15'05" E, being the North line of the NW 1/4 of Sec. 22-7145-R23E, was used as the Basis of Bearings for this Survey. Basis of Bearings=Kansas State Plane, Grid North.
  2. This property has an area of 4,273,392.39 square feet or 98.1 acres of land (NET).
  3. Subject property has access to publicly dedicated W 167th Street & Hedge Lane.
  4. Elevation Datum=NAVD88
  5. Coordinate datum: NAD83, Kansas State Plane projected to ground, Grid North, North Zone.
  6. By scaled map location and graphic plotting only, the subject property appears to lie in Zone "X" and "Zone "Y" shaded" according to the Flood Insurance Rate Map for the County of Johnson, Community Panel No. 2009IC 0107G, Effective Date 08/03/2009.

- Zone "X": Areas of minimal flood hazard  
 Zone "Y" shaded: Future conditions 1% annual chance flood hazard  
 7. Date of Plat or Map: May 16, 2025, Date of Last Revision: May 19, 2025  
 8. Date of Survey: November 2024.  
 9. Zoning District: Rural District



**DESCRIPTION**

All that part of the Northwest Quarter of Section 22, Township 14 South, Range 23 East, Sixth Principal Meridian, Johnson County, Kansas, described as follows:

Beginning at the Northwest corner of the Northwest Quarter of said Section 22; thence South 89 degrees 54 minutes 56 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 2,713.22 feet to the Northeast corner of the Northwest Quarter of said Section 22; thence South 00 degrees 14 minutes 25 seconds West along the East line of the Northwest Quarter of said Section 22, a distance of 2,657.00 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 89 degrees 49 minutes 07 seconds West, along the South line of the Northwest Quarter of said Section 22, a distance of 2,699.52 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 00 degrees 03 minutes 59 seconds West, along the West line of the Northwest Quarter of said Section 22, a distance of 2,652.43 feet to the point of beginning.

except that Part Platted as Van Duss Industrial Park, Second Plat and except any part used or dedicated for streets, roads or highway right of way.

**SURVEYOR CERTIFICATE**

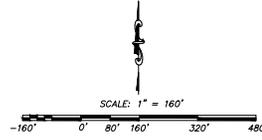
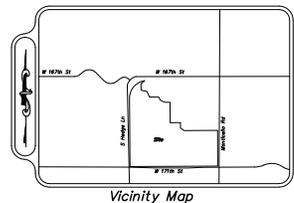
I hereby certify that this is an accurate and true plat of survey on this day of \_\_\_\_\_ 2025.

Chad Abbott, PS #1340

Date of last revision: 7-10-2025

**Legend of Symbols & Abbreviations**

- |     |   |     |  |
|-----|---|-----|--|
| (D) | Described                                       | (C) | Calculated Point                                   |
| (M) | Measured  | (F) | Found 2" dia. Aluminum Cap                         |
| (P) | Plotted (Van Duss Industrial Park, Second Plat) | (S) | Standard Johnson County Section Corner             |
| (*) | Star  | (R) | Found 1/2" Rebar (Origin Unknown)                  |
| (▲) | Triangle  | (R) | Found 1/2" Rebar (KS CLS #234, MO CLS #2011003572) |
| (●) | Circle  | (*) | Set 1/2"x24" Rebar with PS #1340 Cap               |
| (☀) | Light Pole                                      | (G) | Gas Valve  |
| (⚡) | Power Pole                                      | (C) | Communications Box                                 |
| (⚓) | Guy Anchor                                      | (F) | Fire Hydrant                                       |
| (E) | Electric Box                                    | (W) | Water Marker (Johnson County)                      |
| (V) | Vault   | (T) | Water Test Station                                 |
| (M) | Electric Meter                                  | (W) | Water Meter Vault                                  |
| (—) | Fence   | (W) | Water Valve  |
| (—) | Overhead Electric Line                          | (—) | Sanitary Sewer Manhole                             |
| (—) | Gas Line  | (—) | Storm Manhole                                      |
| (—) | Communication Line                              | (—) | Water Manhole (Johnson County)                     |
| (—) | Underground Electric Line                       | (—) | Pipeline Marker (Southern Star)                    |
| (—) | Water Line                                      | (—) | Marker (Century Link)                              |
| (—) | Sanitary Sewer Line                             | (—) | PP=Power Pole                                      |
| (—) | Storm Sewer Line                                | (—) | UC=Underground Conduit                             |
| (—) |   | (—) | ET=Electric Transformer                            |
| (—) |   | (—) | RBC=Reinforced Concrete Boxed Culvert              |
| (—) |   | (—) | OP=Original  |
| (—) |   | (—) | CP=Corrugated Plastic Pipe                         |
| (—) |   | (—) | RCP=Reinforced Concrete Pipe                       |



**A**  
**S**  
 and  
**S**  
 Survey

631 N. Kessler, Wichita, KS 67203  
 Ph: 316.262.2252 Fax: 316.262.2304  
 surveys@plattmarks.com

Drawn By: **JM** Approved By: **CRB**  
 Draw No: **ABS-08-088** Scale: **1" = 160'**



**TESSERE**

All work herein is the exclusive property of TESSERE and is not to be copied or used in any way without the express written consent of TESSERE. All drawings, specifications, notes, change, and amendments issued by TESSERE constitute the original and approved Work of TESSERE.

**CROSSLAND**  
CONSTRUCTION COMPANY, INC.



PROGRESS PRINT



**HEDGE INDUSTRIAL PARK NORTH**  
ASPEN INDUSTRIAL LAND FUND | LLC  
S.W. 1/2, NW 1/4, SECS. 22, T. 144S, R. 24E | LOC. #18, 80692

REV 02	2024/07/18
REV 01	2024/06/20
DESCRIPTION	DATE
PROJECT NO.	103882401E
STATUS	PRELIMINARY - QPTE
DATE:	08/21/2025
DRAWN BY:	BM
CHECKED BY:	JS

RENDERING

**SK004**

9/27/2025 1:43:14 PM  
C:\Users\jgarcia\OneDrive\Documents\103882401E\103882401E\_01\_Crossland\_Consulting\_01.rvt



TESSERE

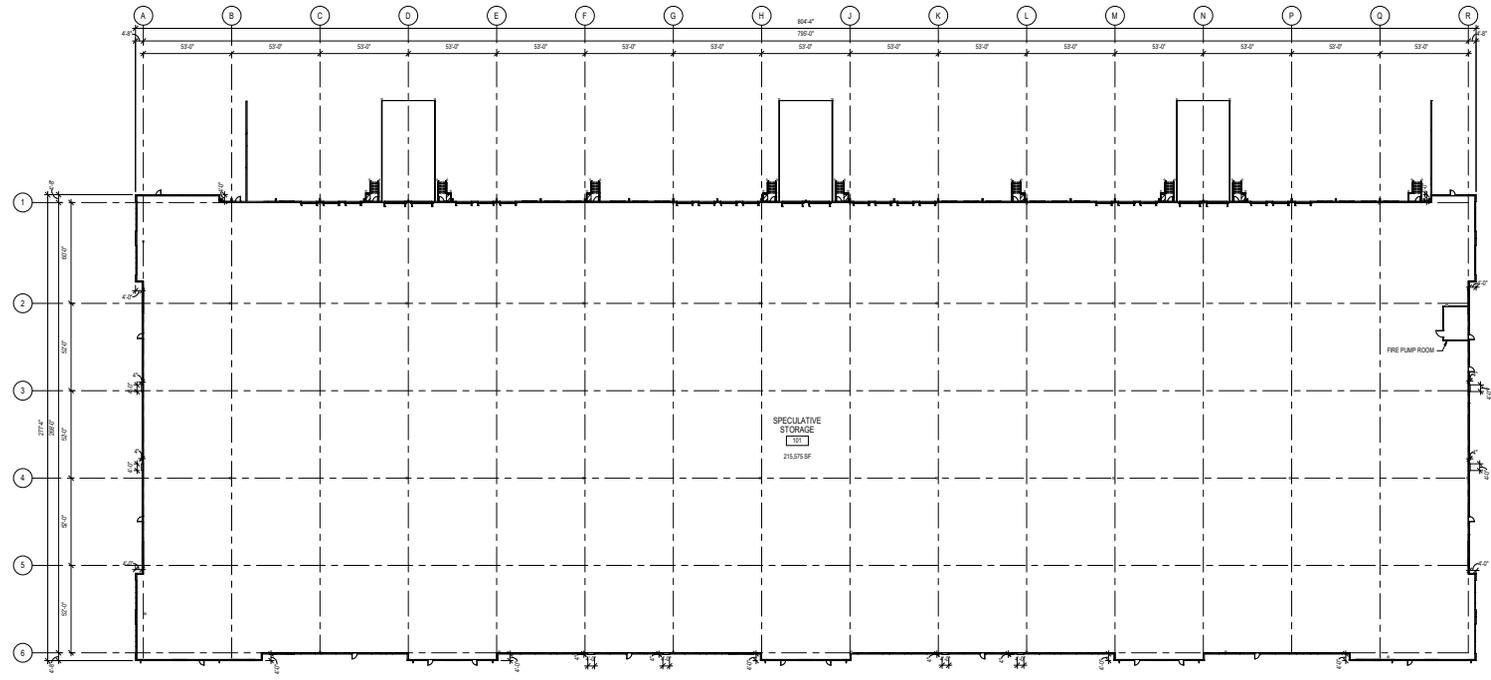
All work herein is the exclusive property of TESSERE and is not to be copied or used in any way without the express written consent of TESSERE. All drawings, specifications, plans, details, and amendments issued by TESSERE shall constitute the original and approved Work of TESSERE.

CROSSLAND  
CONSTRUCTION COMPANY, INC.

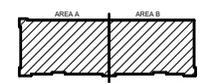


PROGRESS PRINT

HEDGE INDUSTRIAL PARK NORTH  
ASPEN INDUSTRIAL LAND FUND | LLC  
SW 1/2, NW 1/4, SECS. 22, T.14S, R.2E | COAHUE, MO662



A OVERALL BUILDING FLOOR PLAN  
1" = 32'-0"



KEY PLAN

REV 02	2023/07/18
REV 01	2023/06/20
PROJECT NO.	1033820416
DATE:	08/21/2023
STATUS:	PRELIMINARY QPTE DEVELOPMENT PLAN
DRAWN BY:	BM
CHECKED BY:	JS

OVERALL BUILDING FLOOR PLAN

SK004.1

SHEET 002 OF 009  
PLT DATE: 7/18/2023 11:43:17 AM  
C:\P\1\1033820416\1033820416.dwg | 1033820416.dwg | 1033820416.dwg | 1033820416.dwg



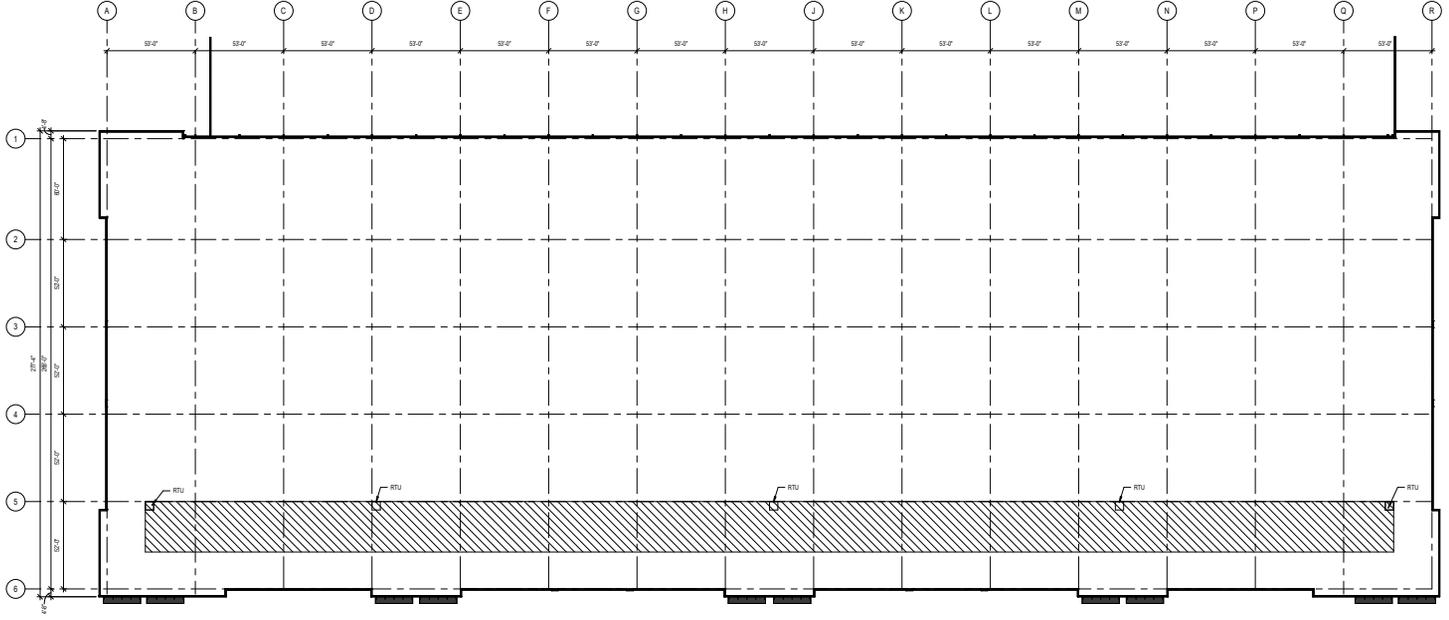
TESSERE

All work herein is the exclusive property of TESSERE and is to be used or used in any way without the express written consent of TESSERE. All drawings, specifications, notes, details, and proposals prepared by TESSERE shall constitute the original and approved work of TESSERE.

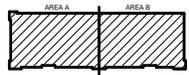
CROSSLAND  
CONSTRUCTION COMPANY, INC.



PROGRESS PRINT



**A** OVERALL BUILDING ROOF PLAN  
1" = 32'-0"



KEY PLAN



HEDGE INDUSTRIAL PARK NORTH  
ASPEN INDUSTRIAL LAND FUND | LLC  
SW 1/2, NW 1/4, SECS. 22, T.144S, R.24E | COAH, NY 10692

REV 02	2024/07/18
REV 01	2024/06/20
PROJECT NO.	1033820416
DATE	
STATUS	PRELIMINARY SITE DEVELOPMENT PLAN
DATE	08/21/2025
DRAWN BY	DRW
CHECKED BY	CHW

OVERALL BUILDING ROOF PLAN

SK004.2

SHEET NO. 002  
PROJECT NO. 1033820416  
DATE PLOTTED: 08/21/2025 10:44:44 AM



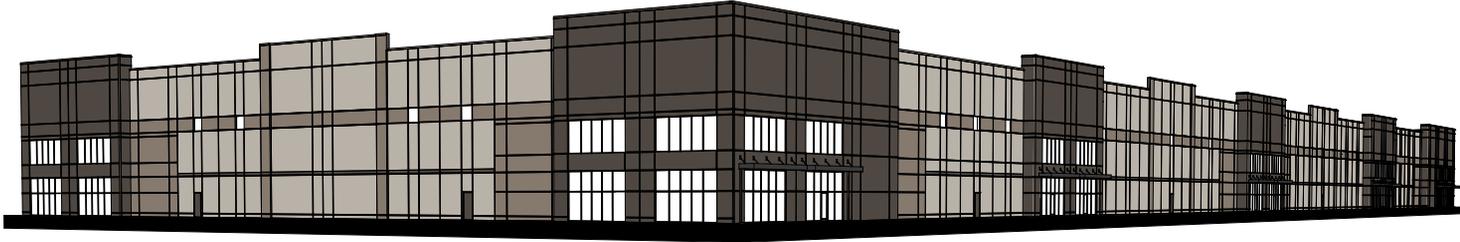
TESSERE

All work herein is the exclusive property of TESSERE and shall not be copied or used in any way without the express written consent of TESSERE. All drawings, specifications, data, design, and engineering documents shall continue to represent and apply to the work of TESSERE.

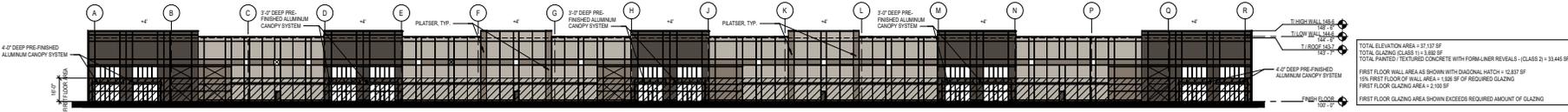
CROSSLAND  
CONSTRUCTION COMPANY, INC.



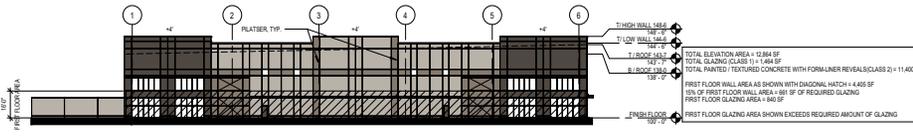
PROGRESS PRINT



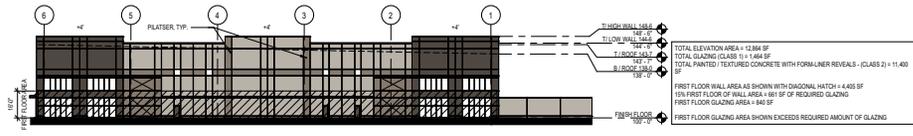
1 PERSPECTIVE VIEW  
NOT TO SCALE



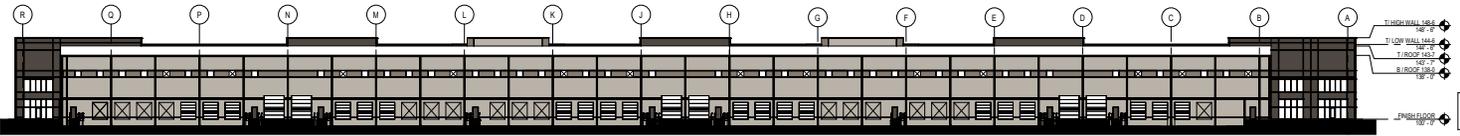
2 SOUTH ELEVATION - (PRIMARY FACADE)  
NOT TO SCALE



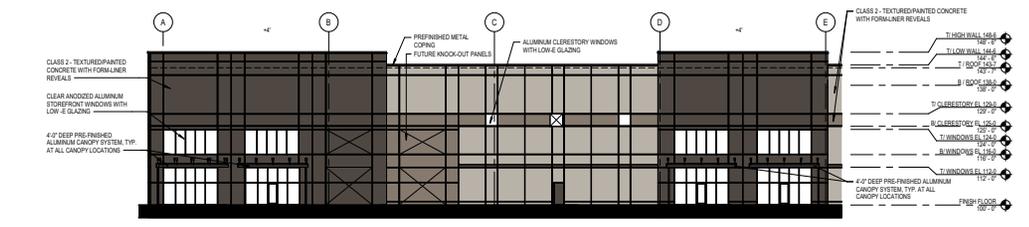
3 WEST ELEVATION - (PRIMARY FACADE)  
NOT TO SCALE



4 EAST ELEVATION - (PRIMARY FACADE)  
NOT TO SCALE



5 NORTH ELEVATION - (SECONDARY FACADE)  
NOT TO SCALE



6 TYPICAL MATERIALS AND HEIGHTS  
NOT TO SCALE



GENERAL NOTES:  
1. EXTERIOR GROUND-MOUNTED OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS MUST BE SCREENED FROM PUBLIC VIEW WITH FINISH SCREENS AND/OR WITH ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.  
2. ROOF TOP UNIT IS NOT INCLUDED IN SCOPE OF WORK. FUTURE ROOF TOP UNITS ARE ANTICIPATED TO BE PROVIDED WITH EXTERNALLY ATTACHED SCREENS IF VISIBLE ABOVE THE PARAPET.  
3. NO SIGNAGE IS INCLUDED IN SCOPE OF WORK AT THIS TIME. ALL FUTURE SIGNAGE SHALL BE APPROVED WITH SEPARATE APPLICATION.

BUILDING	NORTH (SECONDARY)	EAST (PRIMARY)	SOUTH (PRIMARY)	WEST (PRIMARY)
GLZ. WITH FINISH ARE CLASS 1 AND 2	33.82 SF	27.83 SF	37.37 SF	17.38 SF
TOTAL GLAZING AREA	4,468 SF	4,468 SF	4,468 SF	4,468 SF
FIRST FLOOR GLAZING AREA (CLASS 1)	1,117 SF	1,117 SF	1,117 SF	1,117 SF
FIRST FLOOR GLAZING AREA (CLASS 2)	3,351 SF	3,351 SF	3,351 SF	3,351 SF
FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH + 4.468 SF	11.3%	11.3%	11.3%	11.3%
TOTAL BUILDING GLAZING AREA	11.3%	11.3%	11.3%	11.3%
TOTAL BUILDING WALL AREA	84.7%	88.7%	88.7%	88.7%
PAINTED/TEXTURED CONCRETE AREA WITH FORM-LINER REVEALS - (CLASS 2)	84.7%	88.7%	88.7%	88.7%

HEDGE INDUSTRIAL PARK NORTH  
ASPEN INDUSTRIAL LAND FUND | LLC  
500 1/2 AVY. WY. #4, SECC. 22, T-4-43-R-03E | COATHE, 80602

REV 02	2023/07/18
REV 01	2023/06/20
PROJECT NO.	1033824016
STATUS	PRELIMINARY DATE
DATE	08/21/2023
DRAWN BY	BM
CHECKED BY	JZF

ARCHITECTURAL ELEVATIONS

SK004.3

SHEET 002 OF 005  
PROJECT: 1033824016  
DATE: 08/21/2023



TESSERE

All work shall be the exclusive property of TESSERE and shall be used for the project or any other project without the written consent of TESSERE. All drawings, specifications, data, design, and engineering documents shall remain the property and confidential items of TESSERE.

CROSSLAND  
CONSTRUCTION COMPANY, INC.



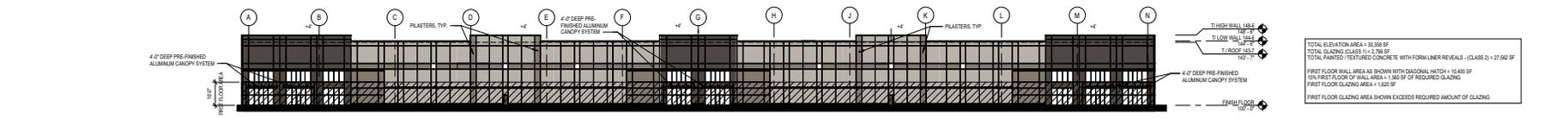
PROGRESS PRINT

HEDGE INDUSTRIAL PARK NORTH  
ASPEN INDUSTRIAL LAND FUND | LLC  
500 702 AVENUE 04, SEASIDE, CA 94063-1002

REV 01 2023/07/10  
REV 02 2023/06/20  
DESCRIPTION DATE  
PROJECT NO 1033820416  
STATUS PRELIMINARY QTE  
CONSTRUCTION PLAN  
DATE 06/21/2023  
DRAWN BY BM  
CHECKED BY JZP

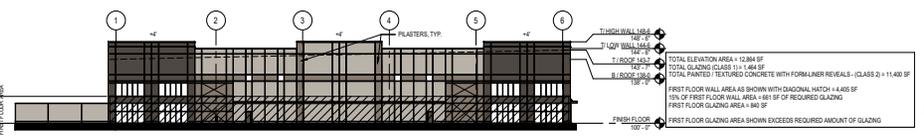
ARCHITECTURAL  
ELEVATIONS

SK004.4

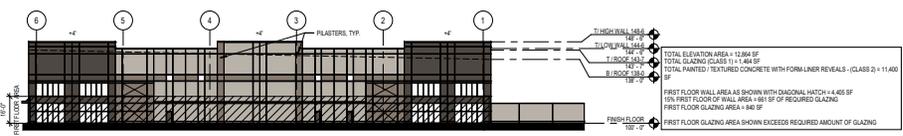


1 EAST ELEVATION - BUILDING DESIGN 2 - (PRIMARY FACADE)  
NOT TO SCALE

Table with 2 columns: Item, Quantity/Area. Rows include: HIGH WALL AREA (142 SF), T. LOW WALL AREA (142 SF), T. ROOF AREA (142 SF), TOTAL ELEVATION AREA (30,358 SF), TOTAL GLAZING CLASS 1 (11,706 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (17,582 SF), FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH (11,400 SF), 50% FIRST FLOOR WALL AREA (5,700 SF OF REQUIRED GLAZING), FIRST FLOOR GLAZING AREA (1,620 SF), FIRST FLOOR GLAZING AREA SHOWN EXCEEDS REQUIRED AMOUNT OF GLAZING.

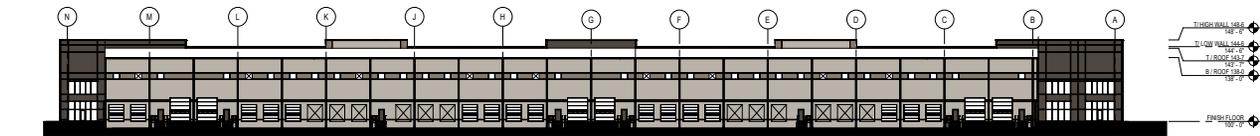


2 SOUTH ELEVATION - BUILDING DESIGN 2 - (PRIMARY FACADE)  
NOT TO SCALE



3 NORTH ELEVATION - BUILDING DESIGN 2 - (PRIMARY FACADE)  
NOT TO SCALE

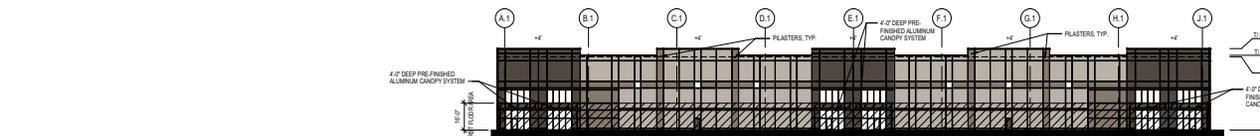
Table with 2 columns: Item, Quantity/Area. Rows include: HIGH WALL AREA (142 SF), T. LOW WALL AREA (142 SF), T. ROOF AREA (142 SF), TOTAL ELEVATION AREA (12,864 SF), TOTAL GLAZING CLASS 1 (1,484 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (11,400 SF), FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH (4,465 SF), 50% FIRST FLOOR WALL AREA (2,232 SF OF REQUIRED GLAZING), FIRST FLOOR GLAZING AREA (1,848 SF), FIRST FLOOR GLAZING AREA SHOWN EXCEEDS REQUIRED AMOUNT OF GLAZING.



4 WEST ELEVATION - BUILDING DESIGN 2 - (SECONDARY FACADE)  
NOT TO SCALE

Table with 2 columns: Item, Quantity/Area. Rows include: TOTAL ELEVATION AREA (27,453 SF), TOTAL GLAZING CLASS 1 (1,426 SF) = 5% OF 27,453 SF, TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (26,027 SF).

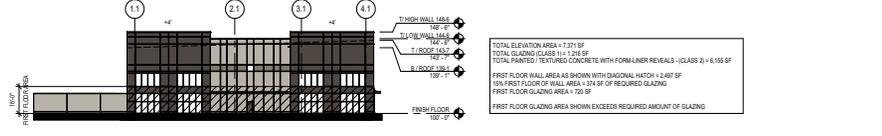
Table with 5 columns: Building Design 2, North (Secondary), East (Primary), South (Primary), West (Primary). Rows include: ALL MATERIALS ARE CLASS 1 AND 2, TOTAL ELEVATION AREA (27,453 SF), TOTAL GLAZING CLASS 1 (1,426 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (26,027 SF), TOTAL BUILDING GLASS AREA (1,426 SF), PAINTED / TEXTURED CONCRETE AREA WITH FORM-LINER REVEALS - (CLASS 2) (26,027 SF), PAINTED / TEXTURED CONCRETE (88.1% / 88.1% / 88.1% / 88.1%).



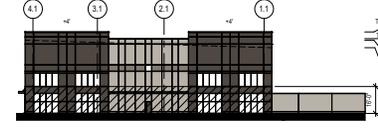
5 WEST ELEVATION - BUILDING DESIGN 3 - (PRIMARY FACADE)  
NOT TO SCALE

Table with 2 columns: Item, Quantity/Area. Rows include: TOTAL ELEVATION AREA (7,371 SF), TOTAL GLAZING CLASS 1 (1,276 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (6,155 SF), FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH (2,487 SF), 50% FIRST FLOOR WALL AREA (1,243 SF OF REQUIRED GLAZING), FIRST FLOOR GLAZING AREA (170 SF), FIRST FLOOR GLAZING AREA SHOWN EXCEEDS REQUIRED AMOUNT OF GLAZING.

Table with 2 columns: Item, Quantity/Area. Rows include: TOTAL ELEVATION AREA (6,008 SF), TOTAL GLAZING CLASS 1 (1,000 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (18,100 SF), FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH (1,734 SF), 50% FIRST FLOOR WALL AREA (867 SF OF REQUIRED GLAZING), FIRST FLOOR GLAZING AREA (1,080 SF), FIRST FLOOR GLAZING AREA SHOWN EXCEEDS REQUIRED AMOUNT OF GLAZING.



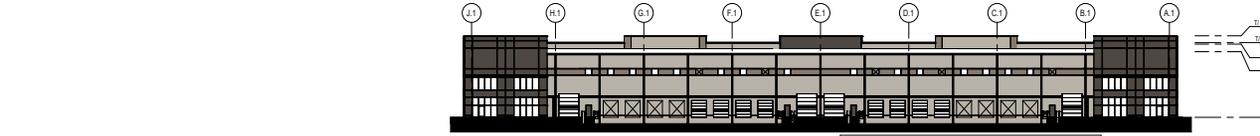
6 NORTH ELEVATION - BUILDING DESIGN 3 - (PRIMARY FACADE)  
NOT TO SCALE



7 SOUTH ELEVATION - BUILDING DESIGN 3 - (PRIMARY FACADE)  
NOT TO SCALE

Table with 2 columns: Item, Quantity/Area. Rows include: TOTAL ELEVATION AREA (7,371 SF), TOTAL GLAZING CLASS 1 (1,276 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (6,155 SF), FIRST FLOOR WALL AREA AS SHOWN WITH DIAGONAL HATCH (2,487 SF), 50% FIRST FLOOR WALL AREA (1,243 SF OF REQUIRED GLAZING), FIRST FLOOR GLAZING AREA (170 SF), FIRST FLOOR GLAZING AREA SHOWN EXCEEDS REQUIRED AMOUNT OF GLAZING.

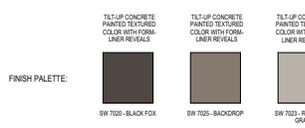
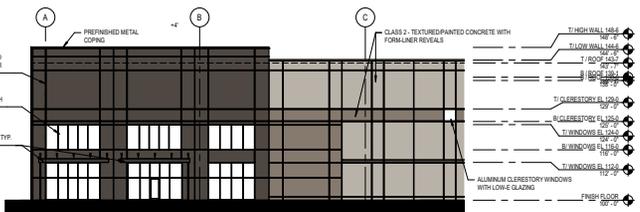
Table with 5 columns: Building Design 2, North (Secondary), East (Primary), South (Primary), West (Primary). Rows include: ALL MATERIALS ARE CLASS 1 AND 2, TOTAL ELEVATION AREA (7,371 SF), TOTAL GLAZING CLASS 1 (1,276 SF), TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (6,155 SF), TOTAL BUILDING GLASS AREA (1,276 SF), PAINTED / TEXTURED CONCRETE AREA WITH FORM-LINER REVEALS - (CLASS 2) (6,155 SF), PAINTED / TEXTURED CONCRETE (85.5% / 85.5% / 85.5% / 85.5%).



8 EAST ELEVATION - BUILDING DESIGN 3 - (SECONDARY FACADE)  
NOT TO SCALE

Table with 2 columns: Item, Quantity/Area. Rows include: TOTAL ELEVATION AREA (16,893 SF), TOTAL GLAZING CLASS 1 (1,468 SF) = 8% OF 18,833 SF, TOTAL PAINTED / TEXTURED CONCRETE WITH FORM-LINER REVEALS - (CLASS 2) (17,170 SF).

9 TYPICAL MATERIALS AND HEIGHTS  
NOT TO SCALE



GENERAL NOTES:  
1. EXTERIOR GROUND MOUNTED OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS SHALL BE SCREENED FROM PUBLIC VIEW WITH THREE-SIDES LANDSCAPE OR WITH ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.  
2. ROOF TOP UNIT IS NOT INCLUDED IN SCOPE OF WORK. FUTURE ROOF TOP UNITS ARE ANTICIPATED TO BE PROVIDED WITH EXTERNALLY ATTACHED DRENSING IF VISIBLE ABOVE THE PARAPET.  
3. NO SIGNAGE IS INCLUDED IN SCOPE OF WORK. ALL FUTURE SIGNAGE SHALL BE APPROVED WITH SIGNAGE APPLICATION.

SHEET NO. 002  
REV DATE 7/10/2023 1:43:07 PM  
BY: JZP  
PROJECT: ASPEN INDUSTRIAL LAND FUND | LLC - Hedge Industrial Park North - Building Design 3 - 23.04.4



All work shall be the sole responsibility of TESSERE and its subcontractors and shall not be construed as a warranty of TESSERE. All drawings, specifications, notes, and reports are prepared by TESSERE and shall be the property of TESSERE.



**HEDGE INDUSTRIAL PARK NORTH**  
**ASPEN INDUSTRIAL LAND FUND I LLC**  
 SW 1/2, NW 1/4, SECS. 20, 21, 44-45, R-24-S, CO. LAKE, 86662

REV 02 2020/11/16  
 REV 01 2020/09/03  
 PROJECT NO. 1030820016  
 STATUS: PRELIMINARY SITE DEVELOPMENT PLAN  
 DATE: 08/21/2020  
 DRAWN BY: B.S.  
 CHECKED BY: W.P.

LANDSCAPE PLAN

SK005

**LANDSCAPE NOTES**

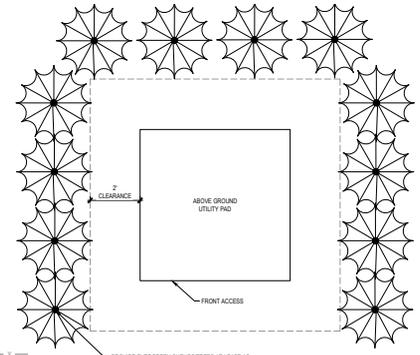
1. ALL PLANTS SHALL MEET CITY MINIMUM PLANT SPECIFICATIONS PER 18.30.130.D.7.
2. ALL DISTURBED LAWN AREAS WILL BE SOCCED.
3. ALL RIGHT-OF-WAYS SHALL BE SOCCED AND ONLY USE TEMPORARY IRRIGATION FOR ESTABLISHMENT.
4. ALL PLANT BEDS AND TREE RINGS SHALL BE COVERED WITH 2" DOUBLE GROUND BROWN HARDWOOD MULCH.
5. LANDSCAPE AREAS WILL BE IRRIGATED AS NECESSARY TO MAINTAIN REQUIRED PLANT MATERIAL. ALL NATURAL AREAS WILL NOT RECEIVE IRRIGATION.
6. LANDSCAPE WILL BE ADDED TO SCREEN UTILITIES AS NECESSARY.
7. NO TREES WILL BE PLANTED WITHIN 15 FEET OF A STREETLIGHT; NO TREES WILL BE PLANTED WITHIN A DISTANCE OF 10 FEET FROM ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (FDC).
8. ANY LANDSCAPE MATERIALS TO BE USED FOR SCREENING MUST BE AT LEAST THE HEIGHT OF THE MATERIAL THAT IS INTENDED TO SCREEN.
9. EXTERIOR GROUND MOUNTED OR BUILDING MOUNTED UTILITIES MUST BE SCREENED ON THREE SIDES WITH PLANTING AT LEAST AS TALL AS THE UTILITY BOX AT THE TIME OF PLANTING, OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING.

**LANDSCAPE REQUIREMENTS**

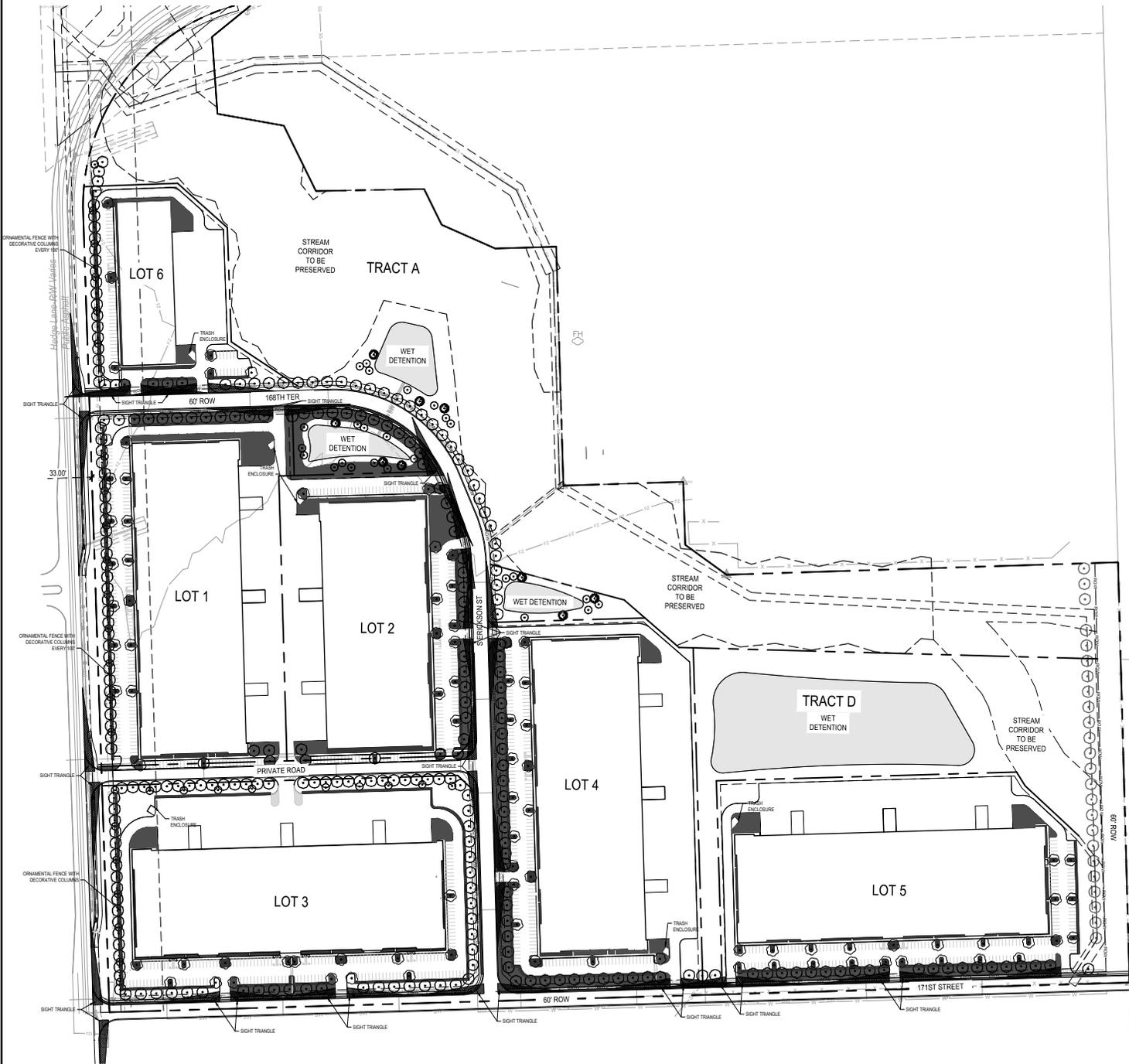
Item	Requirement	Required	Provided
Nonresidential Landscaping 18.30.130.L	Hedge - 1 shade or evergreen tree/ 50 ft x 1 ornamental per every 3 shade	1000/30-45 Shade 22 Ornamental	65 Shade Trees 22 Ornamental
Street Trees 18.30.130.G	on all collector/local streets (south, east, 1 tree / 40 ft	2239/40-55, 325 (175 ft) 205/140-51, 325 (south side 200ft & Aspen) 2370/40-59, 25 (north side of 800ft and Aspen) local: 960/40 = 24 * 2	5617 (7st Street) 52 (100ft & Aspen south side) 59 (60ft & Aspen north side) 48 (Private Road)
Foundation Planting 18.30.130.D	25% of each building facade		Shrub Beds for 25% of each facade
Perimeter Parking Landscaping 18.30.130.M	3' ht. hedge	3' ht. hedge	3' ht. hedge
Interior Landscaping 18.30.130.M	1 tree per 20 parking spaces	977 Parking Stalls 49 Required	77 Trees
Buffers 18.30.130.J	North Property line		Existing Vegetation
Screening 18.30.130.I			
Trash Enclosure	Screen from R/W	Screen from R/W	Screen from R/W
Utilities	Screen from R/W	Screen from R/W	Screen from R/W
Site Design Category I - Drainage Features	Final or Fountain, Landscaped Basin or Channel, Natural Drainage Features, or Geometric: bath		4 Wet bottom basins with extensive landscaping
Site Design Category II - Landscaped Buffer Area	Planted Buffer with a Fence or wall	20' landscaped area with fence & 50% planted material	See plan

**LANDSCAPE LEGEND**

- | SYMBOL | QUANTITY | PLANT TYPE                     | SIZE (IN)  | CONTAINER TYPE |
|--------|----------|--------------------------------|------------|----------------|
| 18     | 35       | ORNAMENTAL TREE                | 1 1/2" GAL | 888            |
| 20     | 20       | DECIDUOUS TREE (STREET)        | 2 1/2" GAL | 888            |
| 18     | 18       | DECIDUOUS TREE (INTERIOR)      | 2 1/2" GAL | 888            |
| 3      | 3        | EVERGREEN TREE                 | 6" HT.     | 888            |
| 24     | 24       | DECIDUOUS TREE (STREET) FUTURE | 2 1/2" GAL | 888            |
| ■      |          | SHRUBS                         | 2 GAL      |                |
| ■      |          | TURF GRASS                     | 500 SEED   |                |



**2 ABOVE GROUND UTILITY SCREEN**  
 PROVIDE EVERGREEN SHRUB TREES AT LEAST AS TALL AS THE UTILITY PAD THE TIME OF PLANTING



**1 LANDSCAPE PLAN**



PROJECT NUMBER: 1030820016  
 ALL WORK SHALL BE THE SOLE RESPONSIBILITY OF TESSERE AND ITS SUBCONTRACTORS AND SHALL NOT BE CONSTRUED AS A WARRANTY OF TESSERE. ALL DRAWINGS, SPECIFICATIONS, NOTES, AND REPORTS ARE PREPARED BY TESSERE AND SHALL BE THE PROPERTY OF TESSERE.

