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code review:

refer to sheet A1.1.

project description:

a new contractor storage building in Olathe, Kansas.



3D Exterior Rendering

sheet index:

A0.0 cover sheet/ 3d elevation

CIVIL

C1.2 site paving & utility plan
 C1.3 demo plan
 C1.5 SU-30 template
 C2.1 grading plan

ARCHITECTURE

A1.1 site plan
 A3.1 bldg a colored elevations
 A3.2 bldg b colored elevations
 A3.3 bldg c typ, colored elevations

LANDSCAPE

L1 landscape plan
 L2 enlarged landscape plan

MEP
 PH1 Photometric
 PH2 Light Fixture Schedule

client:

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structural engineer:

tbd

mechanical engineer:

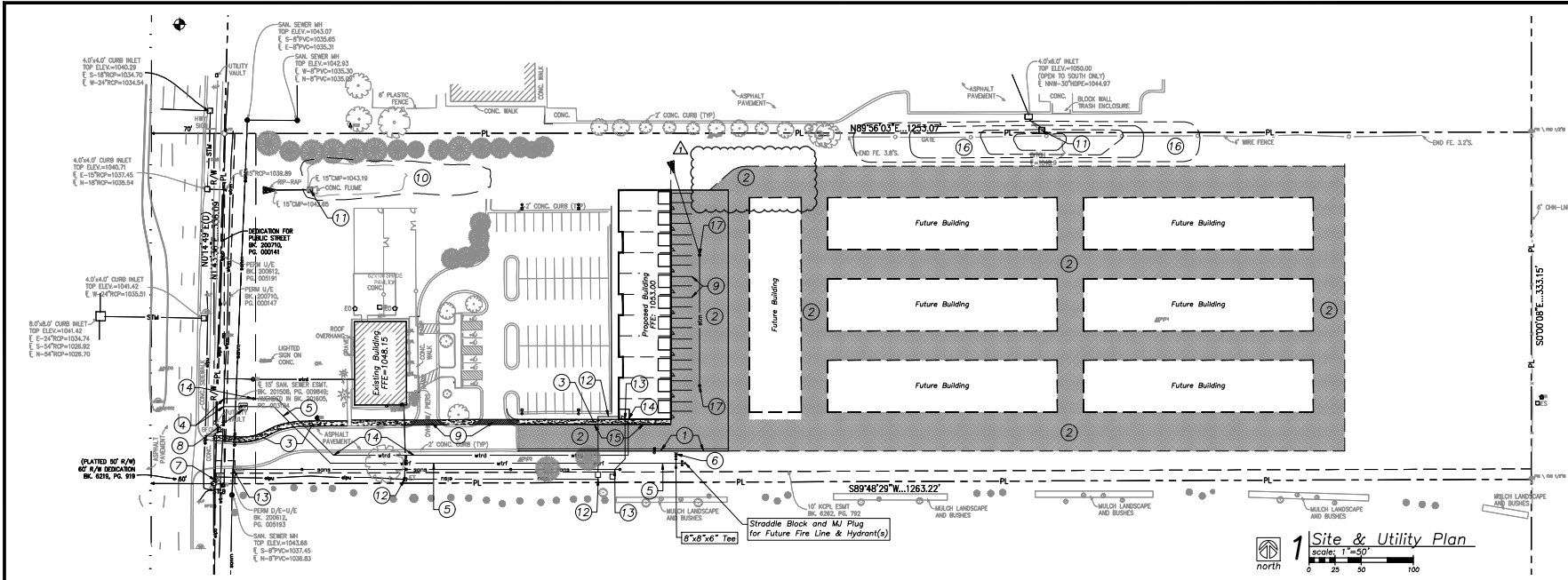
Richard Curry LC, LEED AP BD+C
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Revision #1
 09.13.2024

a new development for
Bluebox Garages
 16129 S Lone Elm Rd
 Olathe, Kansas 66062



Property Legend

- right of way
- - - property lines
- - - easements
- - - setbacks

Grading Legend

- - - existing minor contour
- - - existing major contour
- - - proposed minor contour
- - - proposed major contour

Utility Legend

- existing
- - - proposed

Linetypes

- san sanitary main
- sss sanitary service
- ssw storm sewer (existing)
- ssp storm sewer (solid wall, proposed)
- ssm storm sewer (perforated, proposed)
- wmm water main
- wmf water service (fire)
- wmd water service (domestic)
- wmi water service (irrigation)
- gmm natural gas main
- gms natural gas service schematic
- epu underground primary electric
- esu underground secondary electric
- oeo overhead electric
- ddu underground cable/phone/data
- dsu underground cable/phone/data service
- ffc fence-chainlink
- ffw fence-wood
- ffb fence-barbed wire
- ftr treeline

Symbols

- ⊙ sanitary manhole
- ⊖ service cleanout
- ⊕ force main release valve
- rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
- ⊕ water meter
- ⊕ backflow preventer
- ⊕ natural gas meter
- ⊕ service transformer (pad mount)
- ⊕ primary switch gear
- ⊕ light pole
- ⊕ cable/phone/data junction box
- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- ⊕ guy wire
- ⊕ end section

Johnson County Benchmarks: JVCVN

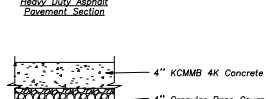
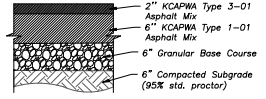
Johnson County Benchmark No. 651 (2" Dome Top Aluminum) Set on the NE corner of curb inlet. From intersection of 159th St and Lone Elm go east on 159th St 0.5 miles to a curb inlet on the north side of 159th St. Elevation: 1043.23'

Local Benchmarks: BM-#

BM-1: (Sanitary Sewer Manhole, Southwest of Existing Building)
Elevation: 1045.99'
N: 198704.82
E: 2213995.76

BM-2: (Curb Inlet Lid on the East Side of Lone Elm Rd.)

Elevation: 1041.41'
N: 198800.47
E: 2213888.10



Construction Legend

- heavy duty asphalt
- concrete sidewalk
- concrete pavement
- standard curb & gutter

Construction Notes:

1. Proposed type CG-1 curb & gutter where indicated (see legend)
2. Proposed heavy duty asphalt pavement where indicated (see legend)
3. Proposed concrete sidewalk where indicated (see legend)
4. Water main connection location
5. Install 8" fire service line
6. Install private fire hydrant, to be painted red
7. Existing public fire hydrant
8. Proposed backflow preventer in concrete vault
9. Proposed pavement striping
10. Existing detention basin
11. Proposed detention basin outlet structure
12. Proposed electrical service to be coordinated with Evergy
13. Proposed 4" sanitary service line. Cleanouts to be installed every 100' on service line.
14. Proposed 3/4" domestic water line and meter
15. Proposed 6" wide by 4" tall curb between road and sidewalk
16. Future Extended Dry Detention Basin area.
17. Proposed private storm sewer improvements

preliminary development plans for
Bluebox Garages
 16129 S Lone Elm Rd, A-D
 Olathe, Kansas 66062

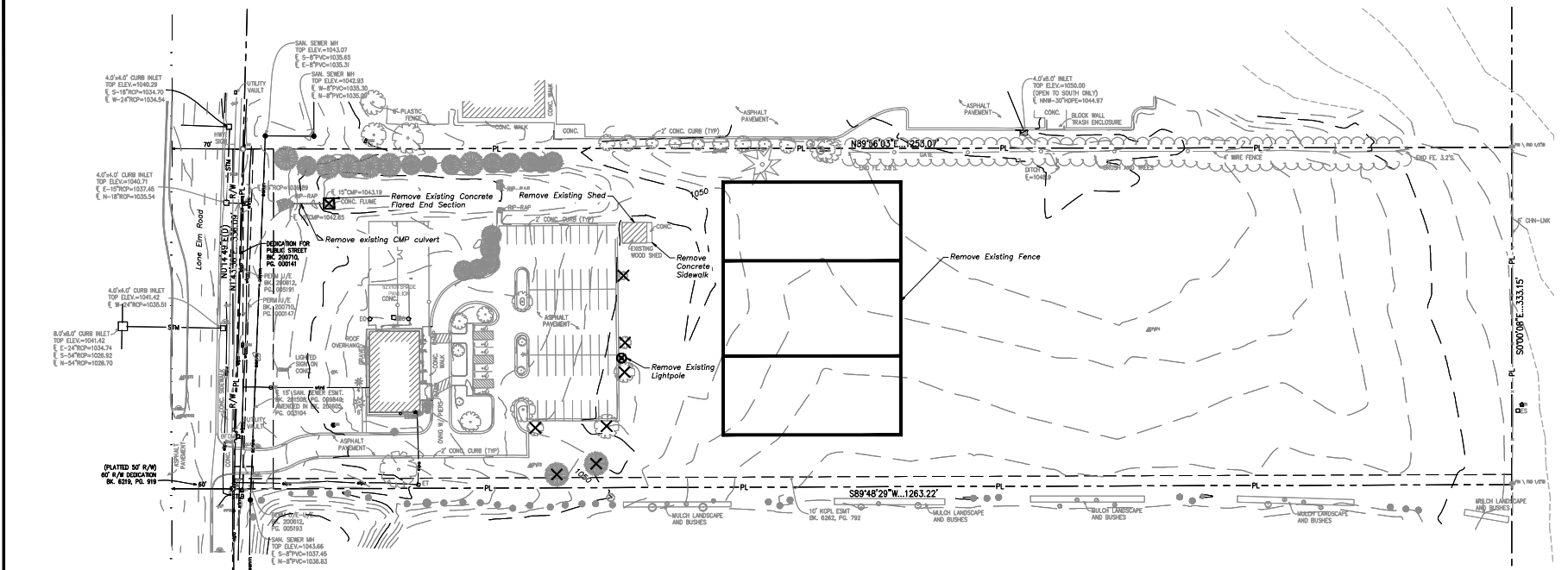
date: 08.21.2024
 drawn by: DAE
 checked by: LDM
 revisions:

09.13.2024 1



Know what's below.
Call before you dig.

sheet number:
C1.2
 drawing type:
 PDP
 project number:
 21315



1 Demolition Plan
Scale: 1" = 50'
north

Johnson County Benchmarks: JCVCN
Johnson County Benchmark No. 651 (2" Dome Top Aluminum) Set on the NE corner of curb inlet. From intersection of 159th St and Lone Elm go east on 159th St 0.5 miles to a curb inlet on the north side of 159th St.
Elevation: 1043.23'

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Elevation: 1041.41'
N: 198800.47
E: 2213888.10

Floodplain Note:
The property lies within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain, as determined by the FEDERAL EMERGENCY MANAGEMENT AGENCY, and shown on F.I.R.M. rate map no. 20091C0108C, revised date August 3, 2009.

Symbols

⊙	sanitary manhole
⊕	service cleanout
⊕mv	force main release valve
□	rectangular structure
○	circular structure
⊕	fire hydrant
⊕w	water valve
⊕M	water meter
⊕BP	backflow preventer
⊕SP	natural gas meter
⊕T	service transformer (pad mount)
⊕S	primary switch gear
⊕*	light pole
⊕C	cable/phone/data junction box
⊕	street light
⊕-⊕	pedestrian street light
⊕	electric pole
⊕	guy wire
⊕	end section

Grading Legend

---	existing minor contour
---	existing major contour
---	proposed minor contour
---	proposed major contour

Utility Legend

---	existing
---	proposed

Linetypes

---	sanitary main
---	sanitary service
---	storm sewer (existing)
---	storm sewer (solid wall, proposed)
---	storm sewer (perforated, proposed)
---	water main
---	water service (fire)
---	water service (domestic)
---	water service (irrigation)
---	natural gas main
---	natural gas service schematic
---	underground primary electric
---	underground secondary electric
---	overhead electric
---	underground cable/phone/data
---	underground cable/phone/data service
---	fence-chainlink
---	fence-wood
---	fence-barbed wire
---	trestle

Demolition Legend

⊗	remove existing structure
⊕	remove existing power/light pole and associated wiring
⊗	remove existing trees
---	existing building demolition
---	remove full depth existing pavement and curb & gutter
---	remove existing fence
---	remove existing sidewalk & landscaping
---	Saw cut
---	Removing existing storm sewer lines

Property Legend

---	right of way
---	property lines
---	easements
---	setbacks

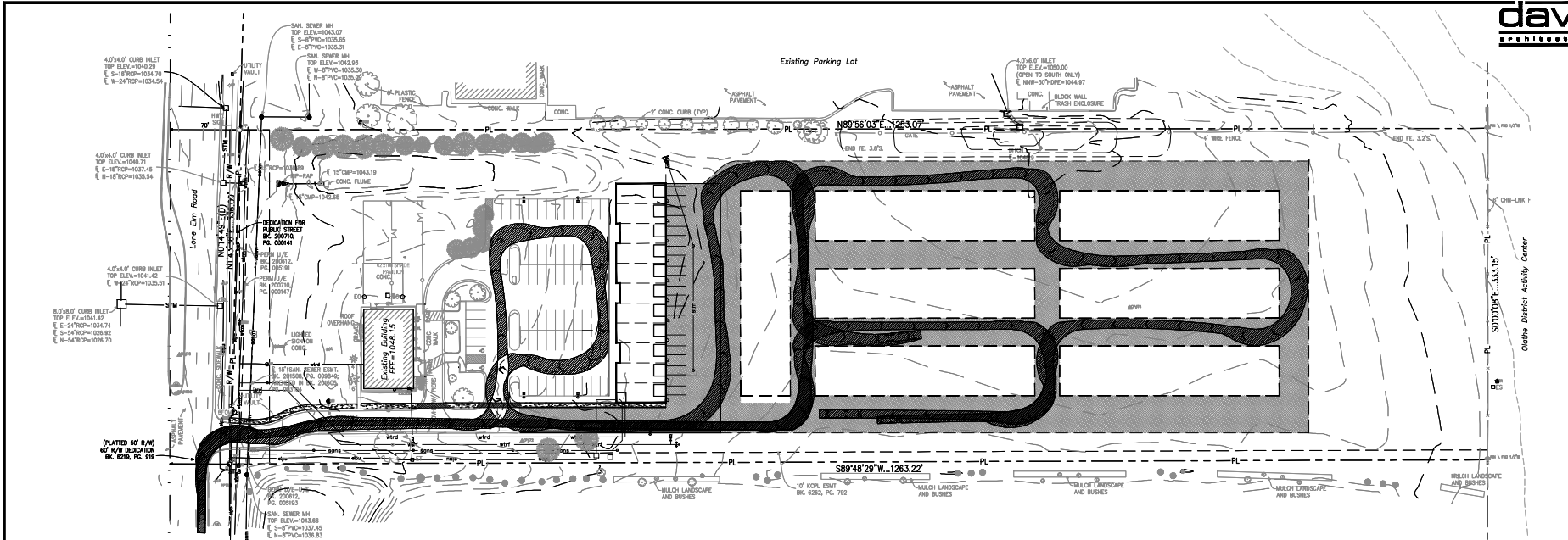
preliminary development plans for
Bluebox Garages
16129 S Lone Elm Rd., A-D
Olathe, Kansas 66062

DATE: 08.21.2024
DRAWN BY: DAE
CHECKED BY: LDM
REVISIONS: △



Know what's below.
Call before you dig.

sheet number
C1.3
drawing type
PDP
project number
21315



- Symbols**
- sanitary manhole
 - service cleanout
 - fm force main release valve
 - rectangular structure
 - circular structure
 - ⊕ fire hydrant
 - ⊕ water valve
 - ⊕ water meter
 - BP backflow preventer
 - ⊕ natural gas meter
 - ⊕ service transformer (pad mount)
 - ⊕ primary switch gear
 - ★ light pole
 - cable/phone/data junction box
 - street light
 - pedestrian street light
 - ⊕ electric pole
 - guy wire
 - ⊕ end section

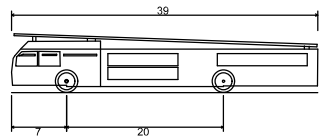
Johnson County Benchmarks: \oplus JCVCN
Johnson County Benchmark No. 651 (2" Dome Top Aluminum) Set on the NE corner of curb inlet. From intersection of 159th St and Lone Elm, go east on 159th St 0.5 miles to a curb inlet on the north side of 159th St.
Elevation: 1043.23'

Local Benchmarks: \oplus BM-#
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Elevation: 1045.59'
N: 198704.82
E: 2213995.76
BM-2: (Curb Inlet Lid on the East Side of Lone Elm Rd.)
Elevation: 1041.41'
N: 198800.47
E: 2213888.10

Floodplain Note:
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Linetypes

—	san	sanitary main
---	san	sanitary service
---	san	storm sewer (existing)
---	san	storm sewer (solid wall, proposed)
---	san	storm sewer (perforated, proposed)
---	wm	water main
---	wtr	water service (fire)
---	wtr	water service (domestic)
---	wtr	water service (irrigation)
---	gas	natural gas main
---	gas	natural gas service schematic
---	elo	underground primary electric
---	elo	underground secondary electric
---	elo	overhead electric
---	datu	underground cable/phone/data
---	datu	underground cable/phone/data service
---	---	fence-chainlink
---	---	fence-wood
---	---	fence-barbed wire
---	---	treeline



Aerial Fire Truck
Overall Length 39.000ft
Overall Width 8.167ft
Overall Body Height 7.500ft
Min Body Ground Clearance 0.750ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

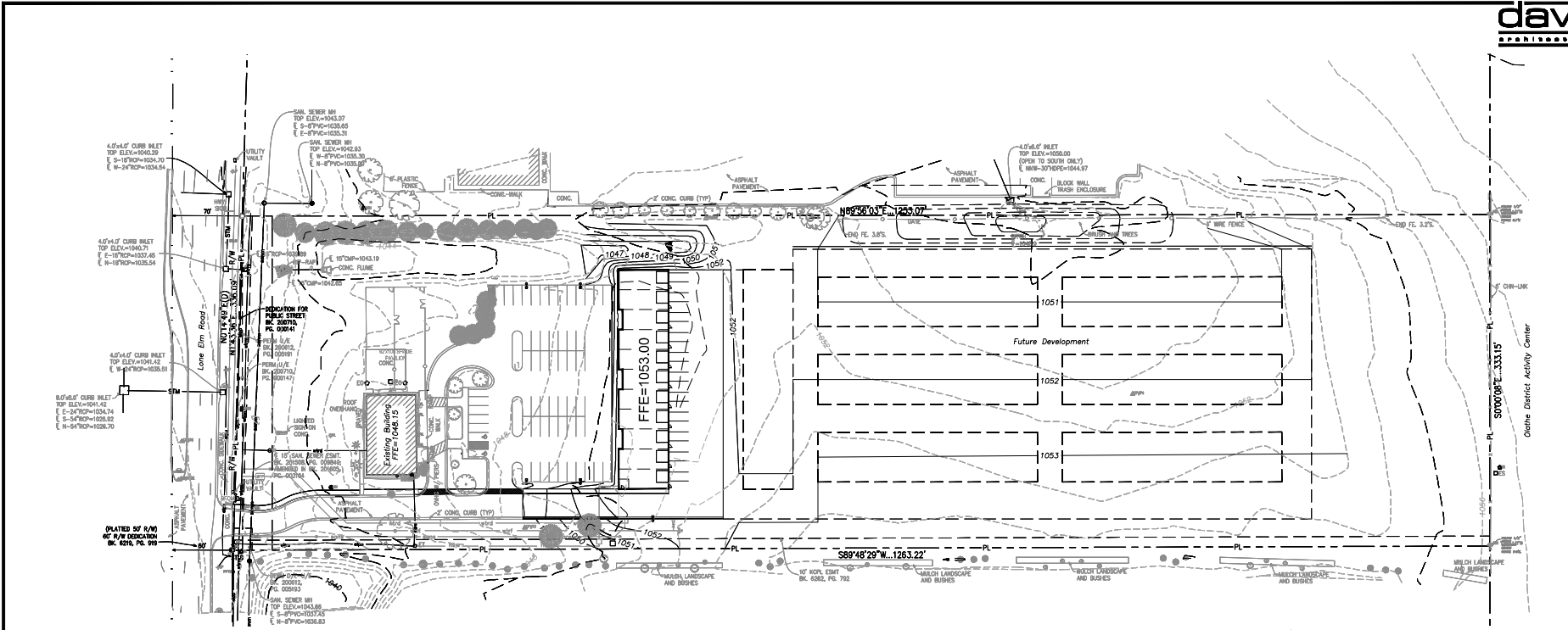
1 Fire Aerial Ladder Truck Turning Template
Scale: 1"=50'
0 25 50 100

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DATE: 08.21.2024
DRAWN BY: DAE
CHECKED BY: LDM
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09.13.2024



sheet number
C1.5
drawing type
PDP
project number
21315



Johnson County Benchmarks: JCVCN
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 Elevation: 1043.23'

Local Benchmarks: BM-#
 BM-1: (Sanitary Sewer Manhole Lid, Southwest of Existing Building)
 Elevation: 1045.59'
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 E: 2213888.10

Floodplain Note:
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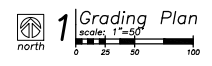
- Symbols**
- ⊙ sanitary manhole
 - ⊖ service cleanout
 - ⊕ force main release valve
 - ▭ rectangular structure
 - circular structure
 - ⊕ fire hydrant
 - ⊕ water valve
 - ⊕ water meter
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 - ⊕ pedestrian street light
 - ⊕ electric pole
 - ⊕ guy wire
 - ⊕ end section

- Grading Legend**
- existing minor contour
 - existing major contour
 - proposed minor contour
 - proposed major contour

- Utility Legend**
- existing
 - proposed

- Linetypes**
- sanitary main
 - sanitary service
 - storm sewer (existing)
 - storm sewer (solid wall, proposed)
 - storm sewer (perforated, proposed)
 - water main
 - water service (fire)
 - water service (domestic)
 - water service (irrigation)
 - natural gas main
 - natural gas service schematic
 - underground primary electric
 - underground secondary electric
 - overhead electric
 - underground cable/phone/data
 - underground cable/phone/data service
 - fence-chainlink
 - fence-wood
 - fence-barbed wire
 - treeline

- Property Legend**
- right of way
 - property lines
 - easements
 - setbacks



preliminary development plans for
Bluebox Garages
 16129 S Lone Elm Rd., A-D
 Olathe, Kansas 66062

date: 08.21.2024
 drawn by: DAE
 checked by: LDM
 revisions:



sheet number
C2.1
 drawing type
 PDP
 project number
 21315

General Notes:

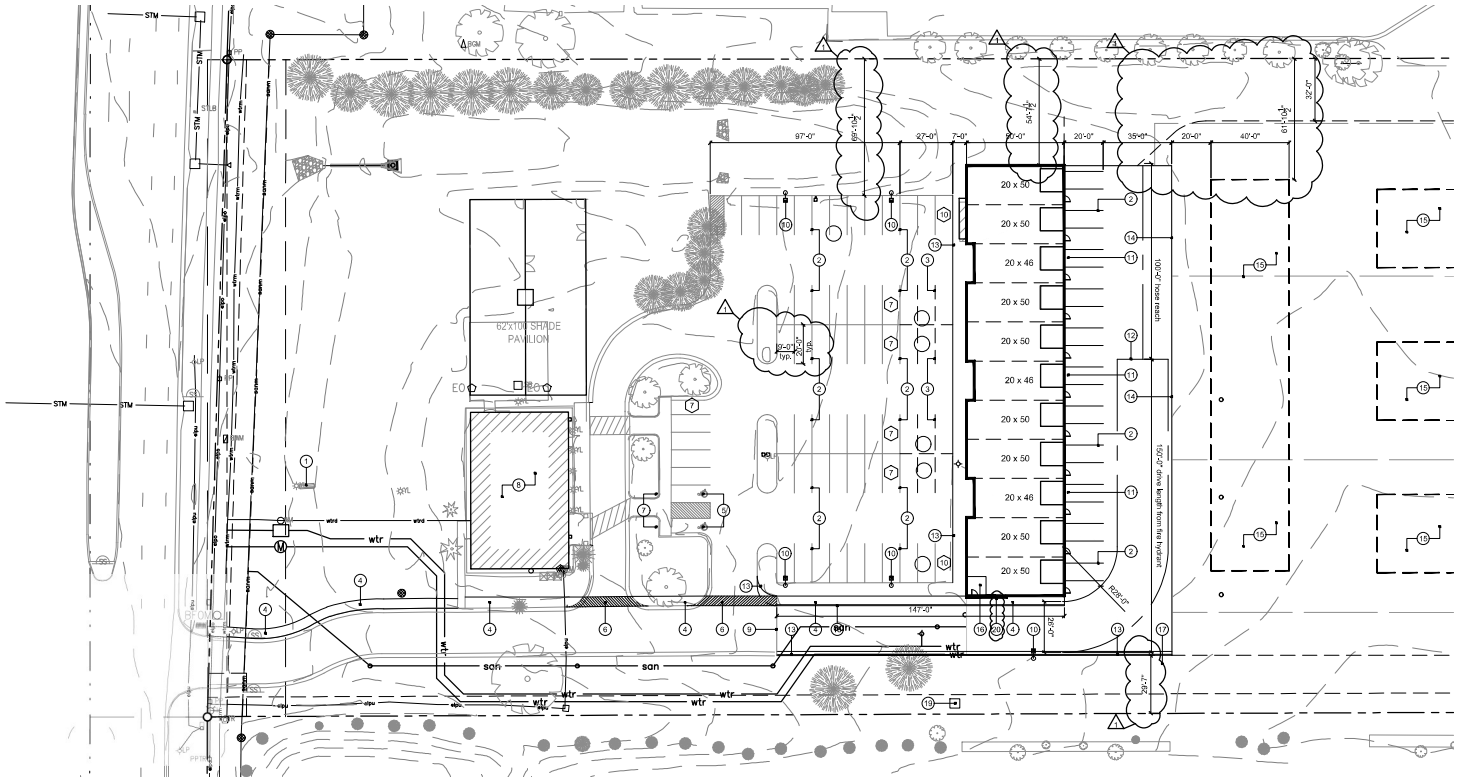
- All construction shall conform to the standards and specifications of the City of Olathe, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall verify the location and depth of any surface ground conditions prior to start of construction.
- Shales shall maintain a minimum 3' slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place all fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure's installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work, contact must be made at least 48 hours prior to the start of work. Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping and shall be painted to match the primary adjacent wall color.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire line and fire line sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.
- GC shall provide fire extinguishers as required per the city of Olathe.
- GC shall provide 100% and 100% per ownership and the city of Olathe requirements.

Construction Notes:

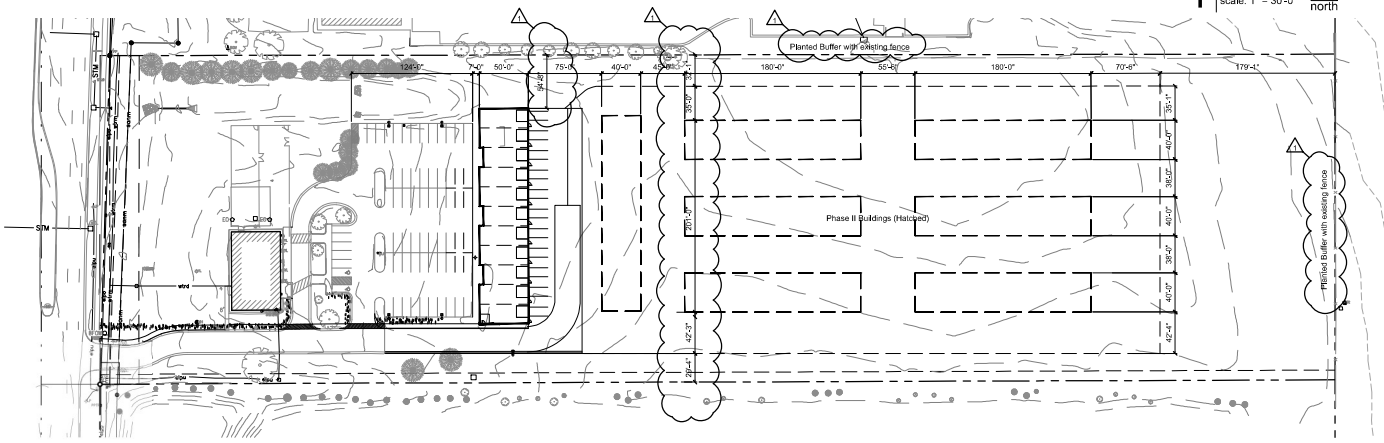
- Existing digital sign removed and replaced with conforming sign with city approval. Protect through construction process.
- Parking lot striping to be painted/repainted white with 4" stroke.
- Parking lot striping to be removed/cleaned for new drive aisle.
- Furnish and install ADA accessible ramp and sidewalk per Civil Engineer.
- ADA parking space design per Civil Engineer with universal symbol painted white with 4" stroke.
- Sidewalk striping to serve as sidewalk extension from Lone Elm to Blue Garages.
- ADA parking signage to remain. Ensure mounted sign at not more than 80" A.G.L. to bottom. Sign to contain the universal handicap symbol and "van accessible" as required per ADA and be installed within 5' of stall.
- Existing building and site improvements to remain.
- Coordinate access drive with existing paving conditions and match existing elevations per Civil Engineer.
- Furnish and install exterior LED parking lot lighting, pole and base per MEP with full cut-off and remote-control feature head. Lighting to meet City of Olathe standards and to match existing.
- Furnish and install exterior wall pack lighting per MEP. Lighting to meet City of Olathe standards and to match existing.
- Proposed fire access lane per Civil.
- Furnish and install standard depth concrete curb and gutter per Civil.
- No curb at end of pavement for future expansion.
- Future phase building.
- Unisex ADA restroom per detail 1 sheet A2.2.
- Fire hydrant location per Civil.
- Provide 6" curb to separate sidewalk from drive per civil.
- Transportation per Civil and Electrical.
- GC shall provide fire extinguishers as required per the city of Olathe.

Project Synopsis:

Governing Municipality:	Olathe, Kansas
Governing Code:	2018 IBC, 2018 IMC, 2018 IPC, 2018 IFGC, 2018 IC, 2017 NEC, 2010 ADA/ANSI 117.1
Site Area:	420,887.43 sq. ft. (+/- 9.66 acres)
Existing Bldg Use:	Animal Care Services
Proposed Bldg Use:	Garage Facility
Building Construction Type:	II-B
Building Occupancy:	S-1
Sprinkler:	No
Building Area:	4,000 sq. ft.
Existing Area:	10,780 sq. ft.
Phase 1:	8,200 sq. ft.
Phase 2:	8,200 sq. ft.
Remaining 6:	7,200 sq. ft. each
Total Area:	61,960 sq. ft.
Floor Area Ratio:	61,960 / 420,887.43 = 15%
Impervious Area:	Phase 1: 131,106 sq. ft. (31%) Future: 155,747 sq. ft. (37%)
Green Space:	Phase 1: 289,751 sq. ft. (69%) Future: 265,144 sq. ft. (63%)
Number of Stories:	Allowed: Three (3) Actual: One (1)
Building Height:	Allowed: 51' Actual: 21'-1"
Fire Sprinkler:	No
Zoning:	M-2
Parking Required:	garages - 3 stall stalls animal care facility - 3 stalls or garages - 3 stalls offices - 14 stalls 3.8 stalls per 1000 sq ft for office (15 minimum) - 17 stalls 55 total spaces provided ADA - 2 required, 2 provided
Actual:	



1 Site Plan
scale: 1" = 30'-0"
north



2 Overall Site Plan
scale: 1" = 60'-0"
north

final development plans for
Bluebox Garages
16129 S Lone Elm Rd. A-D
Olathe, Kansas 66062

date: 07.24.2024
drawn by: DAE
checked by: DAE
revisions: 10.03.2024

sheet number:
A1.1
drawing type: PDP
project number: 21315



T.O. wall 122'-0"
T.O. wall 118'-0"
T.O. stone 114'-0"
T.O. stone 111'-0"
B.O. window 107'-0"
finish floor 100'-0"

1 Bldg A - West Elevation
scale: 1/8" = 1'-0"

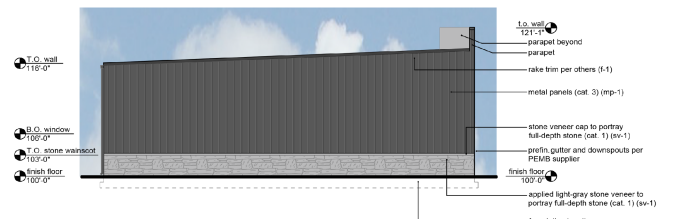


T.O. wall 116'-0"
T.O. stone 113'-0"
T.O. stone 111'-0"
T.O. stone 103'-0"
finish floor 100'-0"

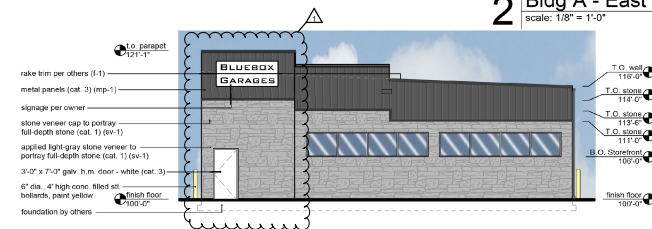
2 Bldg A - East Elevation
scale: 1/8" = 1'-0"

Exterior Materials and Finishes:

- storefront cat. s-1 Anodized Aluminum frame, color: clear
- glass cat. 1 g1-1 1" insulated clear glass with low-E coating and argon fill "use SOLARBAN 60 as base"
- stone veneer cat. 1 sv-1 Stone Veneer color: Light Gray
- fastening, coping, gutters and downspouts cat. 1 f1-1 prefinished 24 ga. color: Charcoal
- metal wall panel cat. 3 mp-1 FW-120 metal panels, color: Peppercorn Gray
- metal roof panel cat. 1 mc-1 prefinished standing seam metal, color: Charcoal
- overhead doors cat. 1 insulated and non-insulated color: Cobalt blue (prefinished) (see A1.2 construction notes)



4 Bldg A - North Elevation
scale: 1/8" = 1'-0"



3 Bldg A - South Elevation
scale: 1/8" = 1'-0"

Primary Facade - Building A - West

material	area	% area
clear glass - cat. 1	665 sf	15%
stone veneer - cat. 1	2,621 sf	59%
metal trim - cat. 4	70 sf	1%
FW-120 metal panels - cat. 3	1,188 sf	26%
total wall area	4,574 sf	100%

Category 1 & 2 material (required min. 75%) actual 75%
Category 3 & 4 material (required max. 25%) actual 26%
Cladding (required min. 15%) actual 15%

Primary Facade - Building A - South

material	area	% area
clear glass - cat. 1	116 sf	15%
stone veneer - cat. 1	469 sf	60%
metal trim - cat. 4	37 sf	4%
FW-120 metal panels - cat. 3	159 sf	20%
total wall area	771 sf	100%

Category 1 & 2 material (required min. 75%) actual 75%
Category 3 & 4 material (required max. 25%) actual 25%
Cladding (required min. 15%) actual 15%

Internal Facade - Building A - East

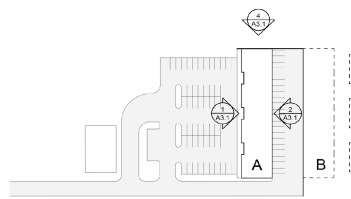
material	area	% area
metal trim - cat. 4	164 sf	10%
stone veneer - cat. 1	300 sf	20%
FW-120 metal panels - cat. 3	1,167 sf	70%
total wall area	1,631 sf	100%

(minus 1,848 sq. ft. overhead door area)
5% / 85 sf stone veneer Required
20% / 350 sf stone veneer Provided

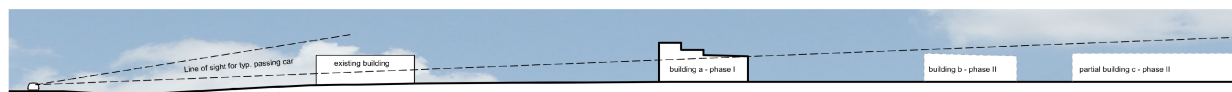
Internal Facade - Building A - North

material	area	% area
stone veneer - cat. 1	160 sf	20%
metal trim - cat. 4	37 sf	4%
FW-120 metal panels - cat. 3	589 sf	76%
total wall area	776 sf	100%

5% / 85 sf stone veneer Required



5 Key Plan

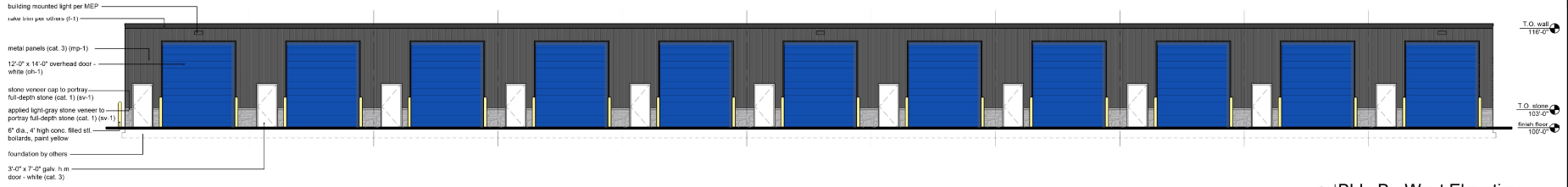


5 Site Section
scale: 1/8" = 1'-0"

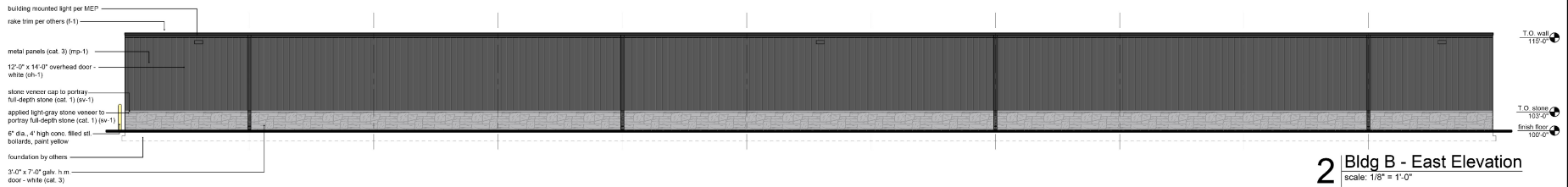
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date: 07.24.2024
drawn by: kka
checked by: DAE
revisions:
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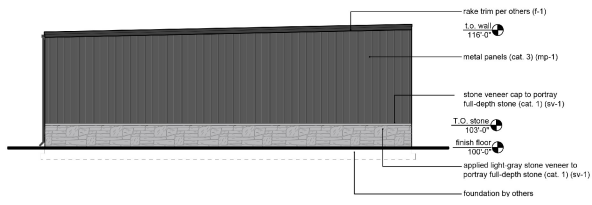


1 Bldg B - West Elevation
scale: 1/8" = 1'-0"

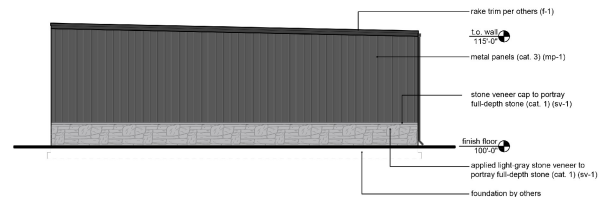


2 Bldg B - East Elevation
scale: 1/8" = 1'-0"

- Exterior Materials and Finishes:**
- stonefront: cat. s-1 Anodized Aluminum frame, color: clear
 - glass: cat. 1 gp-1 1" insulated clear glass with low-E coating and argon fill use SOLARBAN 60 as basis
 - stone veneer: cat. 1 sv-1 Stone Veneer, color: Light Gray
 - flashing, coping, gutters and downspouts: cat. 1 f-1 prefinished 24 ga. color: Charcoal
 - metal wall panel: cat. 3 mp-1 FW-120 metal panels, color: Peppercorn Gray
 - metal roof panel: cat. 1 mr-1 prefinished standing seam metal, color: Charcoal
 - overhead doors: cat. 1 insulated and non-insulated color: Cobalt blue (prefinished) (see A1.2 construction notes)



4 Bldg B - North Elevation
scale: 1/8" = 1'-0"



3 Bldg B - South Elevation
scale: 1/8" = 1'-0"

Internal Facade - Building A - West

material	area	% area
metal trim - cat. 4	164 sf	10%
stone veneer - cat. 1	350 sf	20%
FW-120 metal panels - cat. 3	1,167 sf	70%
total wall area:	1,681 sf	100%

5% / 85 of stone veneer Required
20% / 350 of stone veneer Provided

internal facade - Building B - south

material	area	% area
metal trim - cat. 4	38 sf	10%
stone veneer - cat. 1	165 sf	20%
FW-120 metal panels - cat. 3	627 sf	70%
total wall area:	830 sf	100%

5% / 42 of stone veneer Required
20% / 165 of stone veneer Provided

internal facade - Building B - north

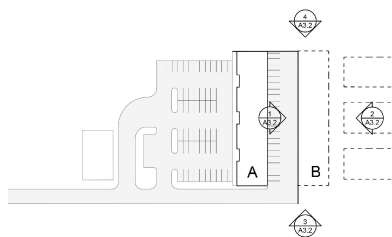
material	area	% area
metal trim - cat. 4	38 sf	10%
stone veneer - cat. 1	165 sf	20%
FW-120 metal panels - cat. 3	627 sf	70%
total wall area:	830 sf	100%

5% / 42 of stone veneer Required
20% / 165 of stone veneer Provided

Internal Facade - Building A - East

material	area	% area
metal trim - cat. 4	163 sf	4%
stone veneer - cat. 1	660 sf	20%
FW-120 metal panels - cat. 3	2,611 sf	76%
total wall area:	3,434 sf	100%

5% / 85 of stone veneer Required
20% / 350 of stone veneer Provided

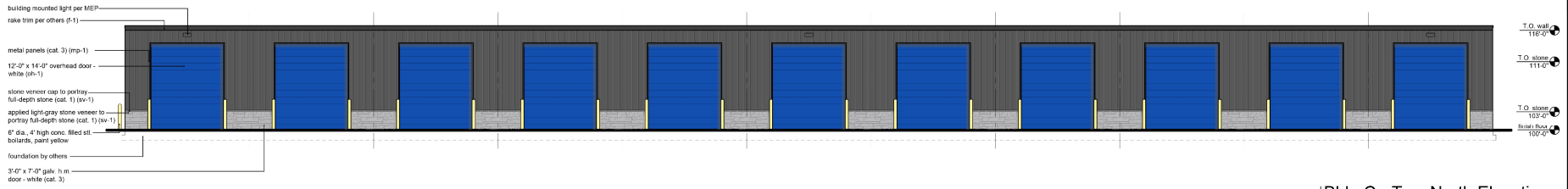


5 Key Plan

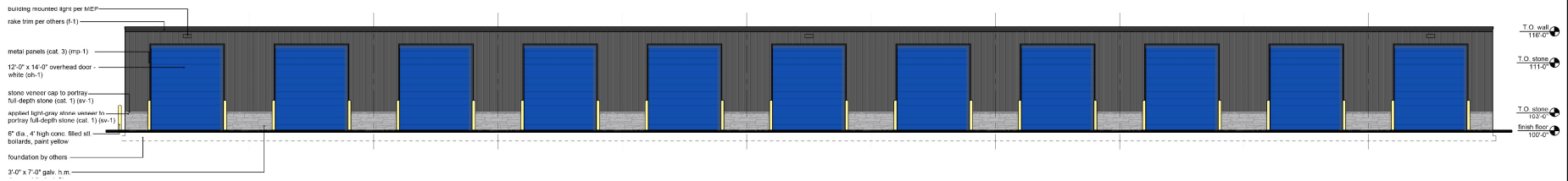
a new development for
Bluebox Garages
16129 S Lone Elm Rd. A-D
Olathe, Kansas 66062

date
07.24.2024
drawn by
kka
checked by
DAE
revisions

sheet number
A3.2
drawing type
Preliminary
project number
21315



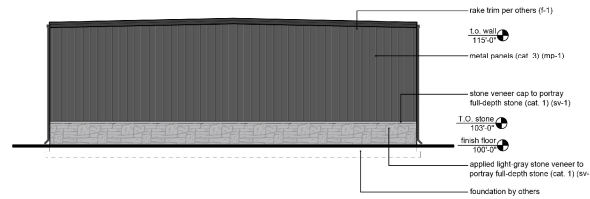
1 Bldg C - Typ. North Elevation
scale: 1/8" = 1'-0"



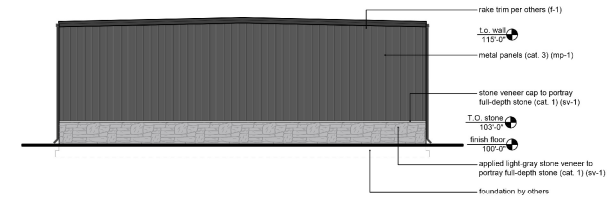
2 Bldg C - Typ. South Elevation
scale: 1/8" = 1'-0"

Exterior Materials and Finishes:

- stonefront: cat. s-1 Anodized Aluminum frame, color: clear
- glass: cat. 1 gp-1 1" insulated clear glass with low-E coating and argon fill use SOLARBAN 60 as basis
- stone veneer: cat. 1 sv-1 Stone Veneer, color: Light Gray
- flashing, coping, gutters and downspouts: cat. 1 f-1 prefinished 24 ga. color: Charcoal
- metal wall panel: cat. 3 mp-1 FW-120 metal panels, color: Peppercorn Gray
- metal roof panel: cat. 1 mr-1 prefinished standing seam metal, color: Charcoal
- overhead doors: odt-1 insulated and non-insulated color: Cobalt blue (prefinished) (see A1.2 construction notes)



4 Bldg C - Typ. East Elevation
scale: 1/8" = 1'-0"



3 Bldg C - Typ. West Elevation
scale: 1/8" = 1'-0"

Internal Facade - Building C - North

material	area	% area
metal trim - cat. 4	161 sf	10 %
stone veneer - cat. 1	264 sf	16%
FW-120 metal panels - cat. 3	1,386 sf	70 %
total wall area (minus 1,782sq. ft. overhead door area)	1,730 sf	100 %

5% / 85 of stone veneer Required
15% / 264 sf stone veneer Provided

Internal facade - Building C - East

material	area	% area
metal trim - cat. 4	37 sf	4 %
stone veneer - cat. 1	165 sf	18 %
FW-120 metal panels - cat. 3	653 sf	77 %
total wall area	853 sf	100 %

5% / 42 sf stone veneer Required
20% / 165 sf stone veneer Provided

Internal facade - Building C - West

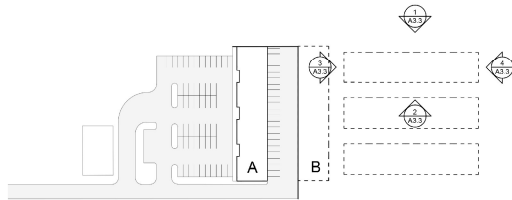
material	area	% area
metal trim - cat. 4	37 sf	4 %
stone veneer - cat. 1	165 sf	18 %
FW-120 metal panels - cat. 3	653 sf	77 %
total wall area	853 sf	100 %

5% / 42 sf stone veneer Required
20% / 165 sf stone veneer Provided

Internal Facade - Building C - South

material	area	% area
metal trim - cat. 4	161 sf	10 %
stone veneer - cat. 1	264 sf	15%
FW-120 metal panels - cat. 3	1,386 sf	70 %
total wall area (minus 1,782sq. ft. overhead door area)	1,730 sf	100 %

5% / 85 sf stone veneer Required
15% / 264 sf stone veneer Provided



5 Key Plan

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16129 S Lone Elm Rd. A-D
Olathe, Kansas 66062

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kka
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DAE
revisions

sheet number

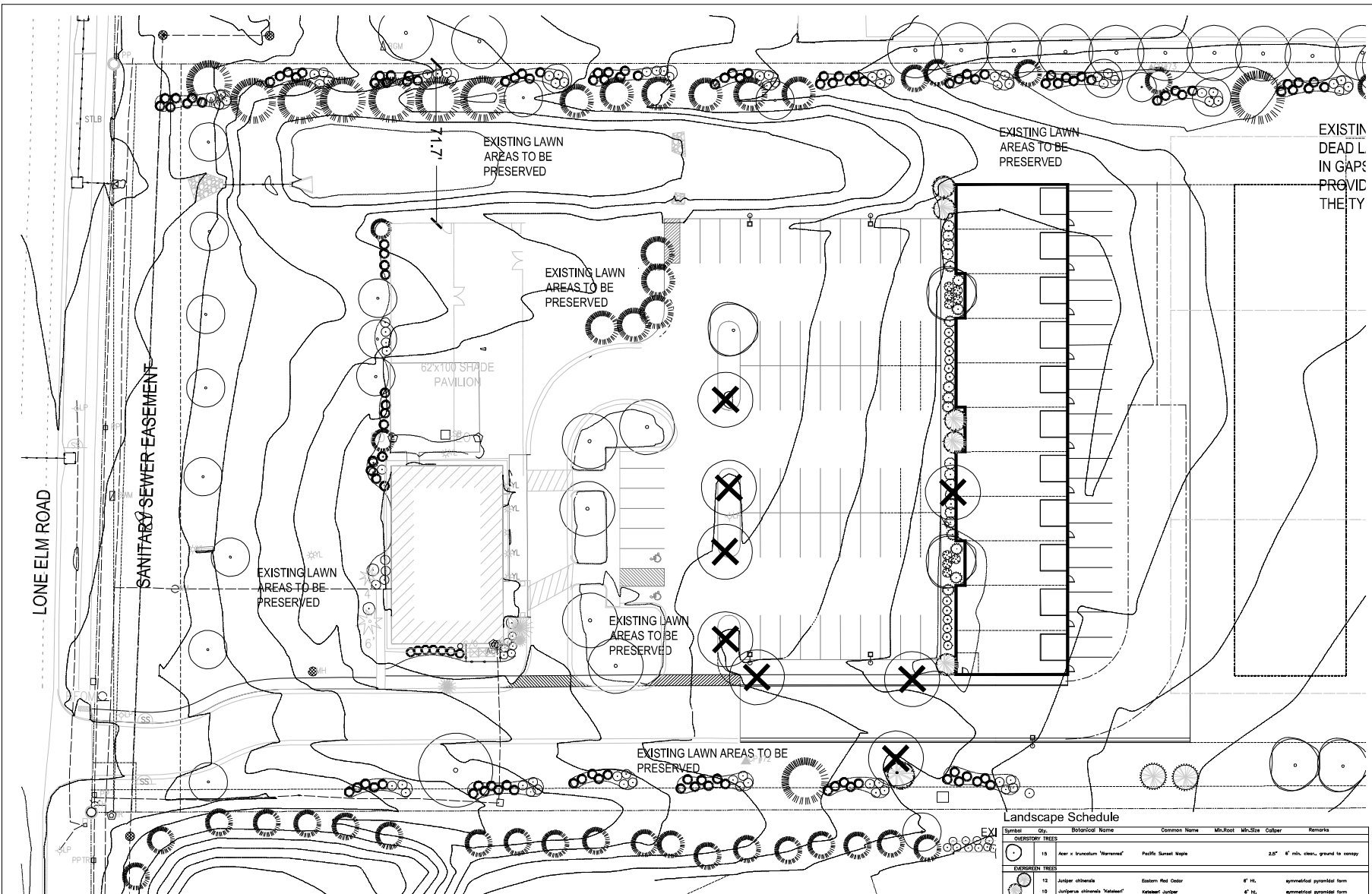
A3.3

drawing type
Preliminary
project number
21315



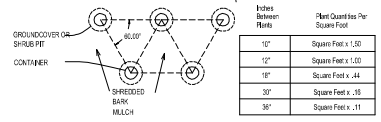
CLIENT
 Everest Holdings LLC
 153 Bond St.
 Overland Park, KS 66221

PROJECT
 Bluebox Storage
 Property Masterplan
 16129 Lone Elm Road
 Olathe, Kansas



EXISTING
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1 LANDSCAPE PLAN - ENLARGEMENT PLAN
 SCALE: 1"=20'-0"

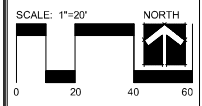


NOTES: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
 2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THROUGH 1/4" MIN. IN SIZE.
 AMENITIES AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL
 SCALE: N/A

Landscape Schedule

Symbol	Qty	Botanical Name	Common Name	Min. Root	Min. Size	Color	Remarks
OVERSTORY TREES							
15	1	Acer x fraxinum 'Variegated'	Pacific Sweet Maple		2.5"		6' min. clear, ground to canopy
EVERGREEN TREES							
12	1	Jurberia chinensis	Eastern Red Cedar	4"	1 1/2'		symmetrical, pyramidal form
10	1	Jurberia chinensis 'Yoshino'	Yoshino Cedar	4"	1 1/2'		symmetrical, pyramidal form
1	1	Pinus strobus	White Pine	4"	1 1/2'		symmetrical, pyramidal form
DECIDUOUS SHRUBS/GRASSES							
9	1	Andropogon scoparius 'Blue Fire'	Little Bluestem	2"	1 1/2'		3 gal.
11	1	Springer x 'Heard'	Blazing Star	2"	1 1/2'		3 gal.
EVERGREEN SHRUBS							
11	1	Jurberia chinensis 'Sea Green'	Sea Green Juniper	3"	1 1/2'		3 gal.
18	1	Jurberia chinensis 'Gold Coast'	Gold Coast Juniper	3"	1 1/2'		3 gal.
EXISTING TREES/SHRUBS TO BE PRESERVED							
LANDSCAPE SCHEDULE							
SOO	SOO	SOO SHALL BE TALL FESCUE MIXTURE, AS PRODUCED BY MEMBERS OF THE TURF PRODUCERS ASSOC.					
SEED	SEED	SOO	SOO	SOO	SOO	SOO	SOO



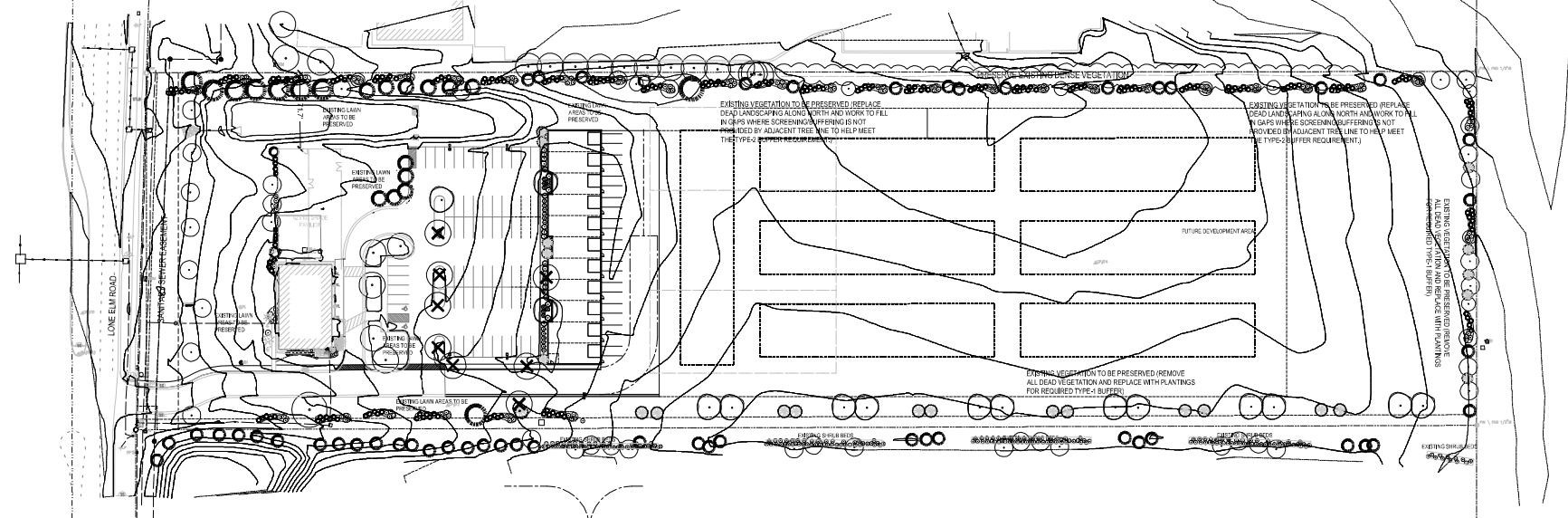
Date: 9.13.2024
 Project #: 888
 Landscape Plan

L2



CLIENT
Everest Holdings LLC
153 Bond St.
Overland Park, KS 66221

PROJECT
Bluebox Storage
Property Masterplan
16129 Lone Elm Road
Olathe, Kansas



1 LANDSCAPE PLAN
SCALE: 1"=50'-0"

M-2 Zoning Landscape Calculations

STREET TREE REQUIREMENTS:
One tree per 40 feet public or private street frontage (minus intersecting driveways)
311 LF Along Lone Elm Road
8 Street trees required
8 Street trees provided (Shifted 5' closer to building, to screen fence)
Requirements Met

BUFFER LANDSCAPING:
Not adjacent to M1, M2, CO, buffer landscape requirements (North and South Boundary)
Minimum buffer width: 100' - TYPE 1 Buffer required per 100 linear feet
1 Deciduous Shrub tree (1 EPU)
1 Ornamental tree (1.5 EPU)
1 evergreen tree (1.5 EPU)
20 shrubs (20 EPU each = 5 EPU's)

Linear feet along North edge of site: 1253 LF (extensive existing vegetation to be preserved)
Deciduous trees required: 13 (13 EPU's) Ornamental trees required: 13 (6.5 EPU's)
EXISTING Deciduous trees provided: 45 (45 EPU's) EXISTING Ornamental trees provided: 13 (6.5 EPU's)
Evergreen trees required: 13 (6.5 EPU's) Shrubs required: 251 (62.75 EPU's)
EXISTING Evergreen trees provided: 28 (14 EPU's) EXISTING Shrubs provided: 251 (62.75 EPU's)
ADDITIONAL EVERGREEN AND DECIDUOUS TREES PROVIDED ABOVE REQUIREMENTS.

Linear feet along East edge of site: 331 LF (Substituted more trees, for less shrubs)
Deciduous trees required: 3 (3 EPU's) Ornamental trees required: 3 (1.5 EPU's)
EXISTING Deciduous trees provided: 9 (9 EPU's) EXISTING Ornamental trees provided: 3 (1.5 EPU's)
Evergreen trees required: 3 (1.5 EPU's) Shrubs required: 66 (16.5 EPU's)
EXISTING Evergreen trees provided: 3 (1.5 EPU's) EXISTING Shrubs provided: 13 (6.5 EPU's)
NEW Evergreen trees provided: 5 (2.5 EPU's) EXISTING Shrubs provided: 53 (16.5 EPU's)
Requirements Met

Linear feet along South edge of site: 1263 LF (Partial Type 1 Buffer already existing)
Deciduous trees required: 13 (13 EPU's) Ornamental trees required: 13 (6.5 EPU's)
EXISTING Deciduous trees provided: 13 (13 EPU's) EXISTING Ornamental trees provided: 13 (6.5 EPU's)
Evergreen trees required: 13 (6.5 EPU's) Shrubs required: 251 (62.75 EPU's)
EXISTING Evergreen trees provided: 13 (6.5 EPU's) EXISTING Shrubs provided: 59 (62.75 EPU's)
Requirements Met

INTERIOR PARKING REQUIREMENTS:
One (1) shade tree shall be provided for every parking and vehicular use landscape island.
Requirements Met

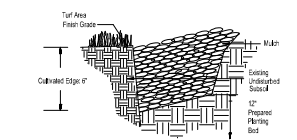
BUILDING FOUNDATION PLANTINGS:
Along any building facade or foundation that fronts upon a public right-of-way or a parking lot provided for the building, landscape areas shall be provided equivalent to a minimum of twenty-five (25) percent of each building facade or foundation.
Requirements Met

The number of equivalent planting units (EPU's) for purposes of applying a type "N" buffer, above, are calculated based on the following ratios: Canopy Trees = 1 EPU, Understorey = 0.5 EPU, Large Shrubs = 0.25 EPU, Medium Shrubs = 0.1 EPU, and Small Shrubs = 0.05 EPU. Each buffer type "A" through "F", above, is assigned the following number of EPU's for purposes of determining whether a type "N" buffer may be substituted:

Buffer Type	EPU's
1	1
2	2
3	1.5
4A or 4B	3
5	4
6	5

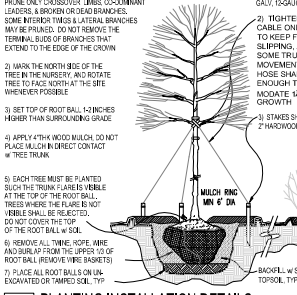
Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - All trees shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
 - Much all planting bed areas to a minimum depth of 3". Much individual trees to a minimum depth of 4".
- Note: If plants are not labeled, they are existing and shall remain.
- In the event of work in or on a JOV sanitary main, any tree or plantings placed within the sewer easement may be removed without replacement or compensation thereof and shall be replaced by the property owner as required by the City.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
- No trees may be planted within 15 feet of a street light.
- Landscape areas must contain 50% living material.
- Building facade and foundation landscape areas must be irrigated.



2 CULTIVATED EDGE DETAIL
SCALE: NTS

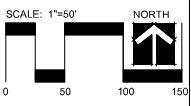
TREE PLANTING NOTES:
1. DO NOT HEAVILY PRUNE THE TREE PRIOR TO CONSIDERING COORDINATE LEADERS, A BROKEN OR DEAD BRANCHES, SOME HEMLOCK LATERAL BRANCHES AND/OR PRUNES. DO NOT REMOVE THE TERMINAL BUDD OF BRANCHES THAT EXTEND TO THE EDGE OF THE CRUNK.



3 PLANTING INSTALLATION DETAILS
SCALE: NTS

Landscape Schedule

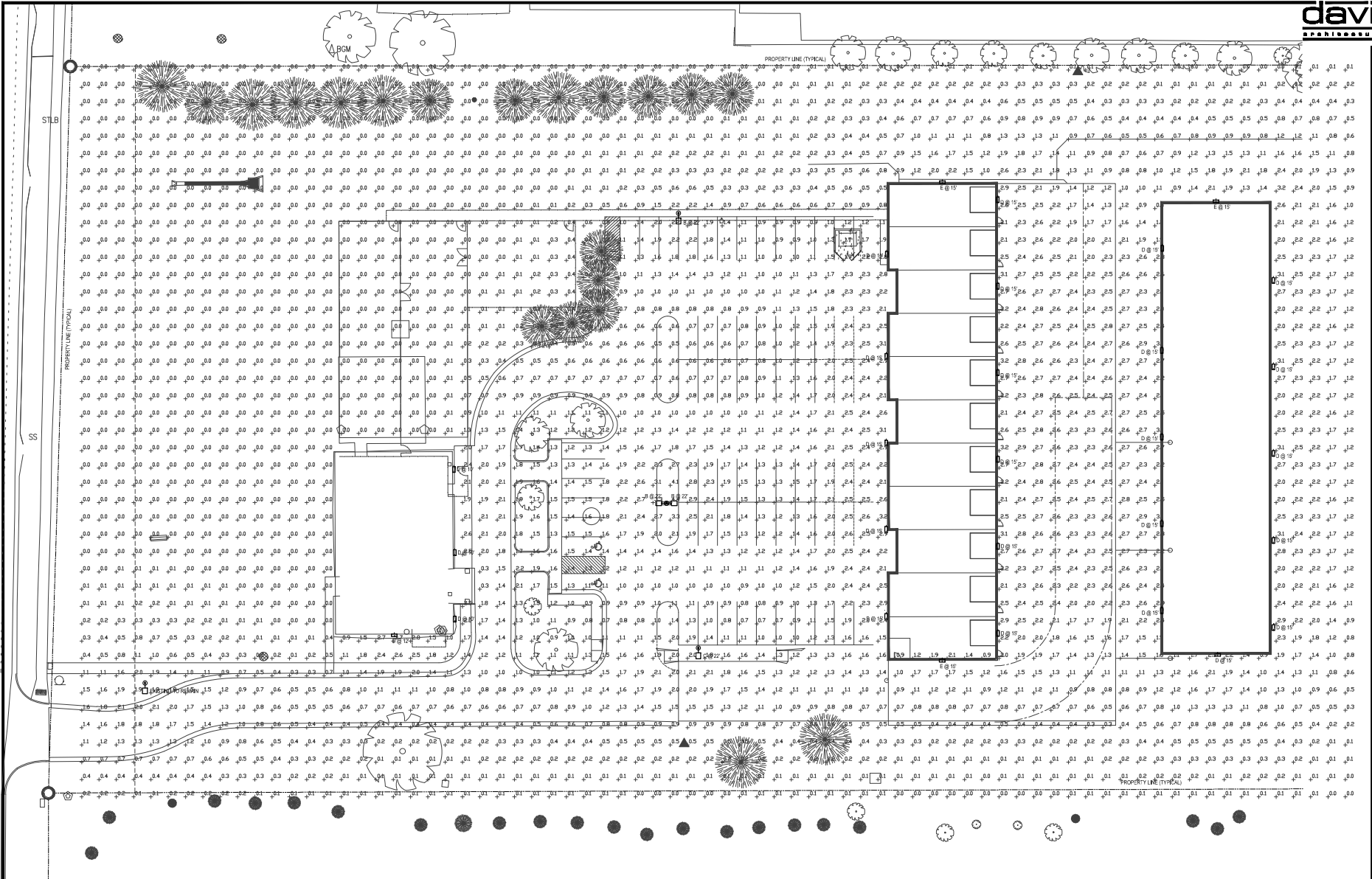
Symbol	Qty	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
DECIDUOUS TREES							
15	15	<i>Acer x fraxinum 'Variegata'</i>	Pacific Sweet Maple	2 1/2"	4' min. over. crown to canopy		
EVERGREEN TREES							
12	12	<i>Juniper chinensis</i>	Eastern Red Cedar	6"	6' Ht.		symmetrical pyramidal form
10	10	<i>Juniperus chinensis 'Horizontal'</i>	Horizontal Juniper	6"	6' Ht.		symmetrical pyramidal form
1	1	<i>Platanus acerifolia</i>	Norway Spruce	6"	6' Ht.		symmetrical pyramidal form
DECIDUOUS SHRUBS/GRASSES							
9	9	<i>Hydrangea paniculata 'Dink Fara'</i>	Little Oak Fire Hydrangea	3 gal.			Plant @ 4' O.C.
11	11	<i>Syringa x 'Yankee'</i>	Blooming Purple Lilac	5 gal.			Plant @ 6' O.C.
EVERGREEN SHRUBS							
11	11	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
16	16	<i>Juniperus chinensis 'Gold Coast'</i>	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
EXISTING TREES/SHRUBS TO BE PRESERVED							
EXISTING TREES/SHRUBS TO BE REMOVED							
LAWN AREAS							
SOIL	SOIL	SOIL SHALL BE TALL FESCUE MIXTURE, AS PRODUCED BY MEMBERS OF THE TURF PRODUCERS ASSOC.					
SEED	SEED	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE
		100%	100%	100%	100%	100%	100%



Date: 9.13.2024
Project #: 888
Landscape Plan



9/12/2024



STATISTICAL AREA SUMMARY

AREA	AVGFC	MAXFC	MINFC	MAXMIN	AVGMIN
PARKING	1.7	4.4	0.3	14.7	5.7
ENTIRE SITE	0.5	4.4	0.0	N/A	N/A

NORTH
SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'

BC PROJECT #: 22428
KANSAS PE COA #E-359

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sheet number

PH1

drawing type
Permit

project number

21315

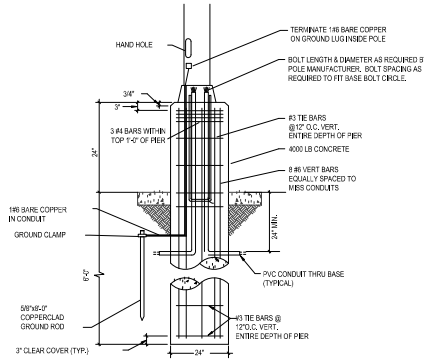
BC ENGINEERS
INCORPORATED

9720 Fessler Shawnee, KS 66203 (913)262-1722


a new development for
Bluebox Garages
16129 S Lone Elm Rd., A-D
Olathe, Kansas 66062

date
09.13.2024
drawn by
TPF/JIS/K
checked by
EK/DJS
revisions

LIGHT FIXTURE SCHEDULE					
MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LAMPS	DESCRIPTION	EQUIVALENT MANUFACTURERS
B	LITHONIA DSX14-LED-P6-30K-70CR-17FM- MVOLT-TSP4H-DBDXD ON SS54-COM-1N4S-V4-DBDXD	MVOLT 90	LED-NCL 3000K	POLE MOUNTED LED AREA LIGHT WITH FORWARD T-HROW DISTRIBUTION AND HOUSE SIZE SHIELD MOUNTED ON 20"x4" SQUARE STRAIGHT STEEL POLE AND 2'-0" HIGH CONCRETE BASE	L18 N18 OR EQUAL
C	LITHONIA DSX14-LED-P6-30K-70CR-17FM- MVOLT-TSP4H-DBDXD ON SS54-COM-1N4S-V4-DBDXD	MVOLT 90	LED-NCL 3000K	POLE MOUNTED LED AREA LIGHT WITH TYPE II DISTRIBUTION AND HOUSE SIZE SHIELD MOUNTED ON 20"x4" SQUARE STRAIGHT STEEL POLE AND 2'-0" HIGH CONCRETE BASE	L18 N18 OR EQUAL
D	LITHONIA DSXW1 LED 20C 700 30K T3M MVOLT	46L	LED-NCL 3000K	WALL MOUNTED LED AREA LIGHT WITH FORWARD THROW DISTRIBUTION	L18 N18 OR EQUAL
E	LITHONIA DSXW1 LED 20C 700 30K T3M MVOLT	46L	LED-NCL 3000K	WALL MOUNTED LED AREA LIGHT WITH TYPE II DISTRIBUTION	L18 N18 OR EQUAL



POLE FOUNDATION DETAIL
SCALE: NONE



D-Series

D-Series Size 0 LED Area Luminaire

Specifications

IPMA: 0.44 ft² (0.041 m²)

Length: 26.18" (665.4 mm)

Width: 14.26" (362.3 mm)

Height H1: 2.26" (57.4 mm)

Height H2: 23.18" (588.4 mm)

Weight: 22.15 lb (10.0 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology, into a high performance, high efficiency, long-life Luminaire.

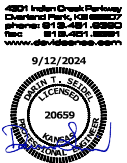
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

design select

Items marked by **DESIGN SELECT** are ready for the Design Select program and ship in 15 days. Items not marked Design Select, will require an additional 4-6 weeks lead time.

Ordering Information EXAMPLE: DSX14 LED P6 40K 70CR T3M MVOLT SPA N1A1R2 P1RH1 DBDXD

MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LAMPS	DESCRIPTION	EQUIVALENT MANUFACTURERS
DSX14	LITHONIA DSX14-LED-P6-40K-70CR-T3M- MVOLT-SPA-N1A1R2-P1RH1- DBDXD	40W	LED-NCL 3000K	POLE MOUNTED LED AREA LIGHT WITH FORWARD T-HROW DISTRIBUTION AND HOUSE SIZE SHIELD MOUNTED ON 20"x4" SQUARE STRAIGHT STEEL POLE AND 2'-0" HIGH CONCRETE BASE	L18 N18 OR EQUAL



9/12/2024


09.13.2024
drawn by
TPF/JUS/K
checked by
EK/DS
revisions

09.13.2024
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revisions

sheet number
PH2
drawing type
Permit
project number
21315



D-Series

D-Series Size 1 LED Wall Luminaire

Specifications

Length: 13.31" (338.1 mm)

Width: 12.8" (325.1 mm)

Depth: 1.5" (38.1 mm)

Height: 6.31" (160.3 mm)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building modern applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 75% in energy savings over comparable 2500K metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBD1XD

MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LAMPS	DESCRIPTION	EQUIVALENT MANUFACTURERS
DSXW1	LITHONIA DSXW1 LED 20C 1000 40K T3M MVOLT DBD1XD	46W	LED-NCL 3000K	WALL MOUNTED LED AREA LIGHT WITH FORWARD THROW DISTRIBUTION	L18 N18 OR EQUAL

BC PROJECT #: 22428
KANSAS PE COA #E-359

09.13.2024
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TPF/JUS/K
checked by
EK/DS
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09.13.2024
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