



STAFF REPORT

Planning Commission Meeting: June 22, 2026

Application:	FP26-0009: Final Plat of 175th Commerce Centre East
Location:	Northeast of W. 175 th Street and S. Hedge Lane
Owner:	Adam Duerr, 175 Commerce Center Land LLC
Applicant:	Curtis Holland, Polsinelli PC
Engineer:	Jeff Wilke, Kimley-Horn
Staff Contact:	Nathan Jurey; Senior Planner

Site Area:	<u>61.11 ± acres</u>	Proposed Use:	<u>Warehouse, Storage, Wholesale & Distribution Facility</u>
Lots:	<u>1</u>	Existing Zoning:	<u>M-2 (General Industrial) & BP (Business Park)</u>
Tracts:	<u>5</u>	Plat:	Unplatted

1. Introduction

The applicant is requesting approval of a final plat for 175 Commerce Centre East located northeast of W. 175th Street and S. Hedge Lane. The plat establishes lot lines and dedicates public street right-of-way and easements for one (1) lot and five (5) tracts for the development of a warehouse and distribution facility on approximately 61 acres.

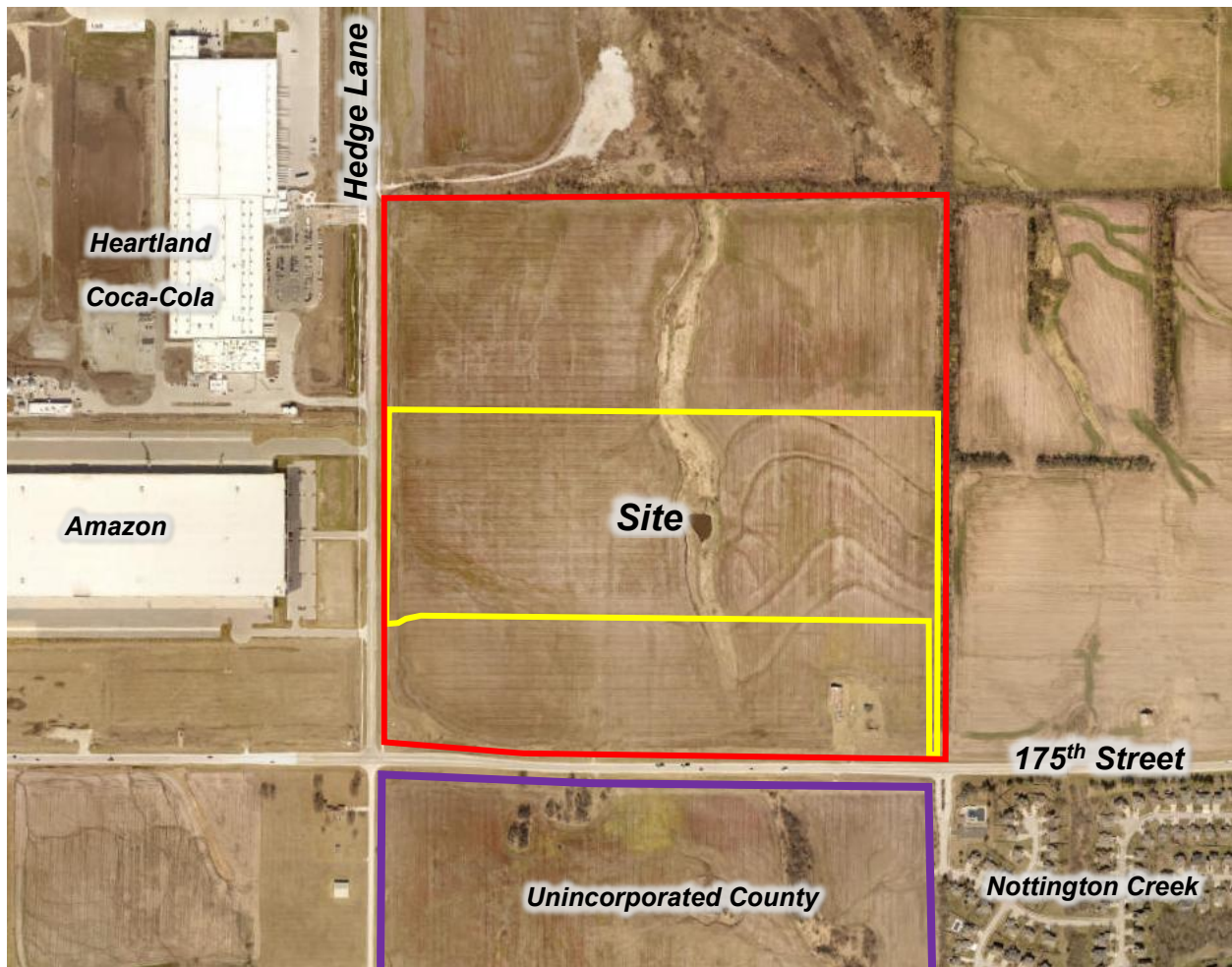
The subject property was annexed in 2021 (ANX21-0003) under Ordinance 21-16. The property is part of the 175 Commerce Centre East development that was rezoned to the BP and M-2 Districts (RZ21-0008) in 2021 with a preliminary development plan for two (2) commercial buildings and two (2) industrial warehouse buildings, including a 1.1 million square foot industrial warehouse building on the subject property.

A final development plan application (PAR26-0017) for this site (Lot 8) is also under administrative review at this time. This final plat represents the first phase of the 175 Commerce Centre East development and is consistent with the approved preliminary development plan.

2. Plat Review

- a. **Lots/Tracts** – The final plat consists of one (1) lot (Lot 8) intended for an industrial warehouse building and five (5) tracts. Tracts A-E are intended for stormwater detention and will be owned and maintained by the property owner until a business association is formed.

- b. **Streets/Right-of-Way** – Public street right-of-way for Hedge Lane and the west half (30-foot) of Monticello Drive is dedicated with this plat as required. The remainder of Monticello Drive right-of-way will be dedicated and the roadway installed with the development of the subject property as stipulated with staff’s recommendation. Lot 8 will take access from Monticello Drive and limited access from Hedge Lane. A private access (A/E) easement is dedicated in the southwest corner of the site, allowing shared access between this site and the property to the south.
- c. **Public Utilities** – The property lies within the City of Olathe sanitary sewer and the WaterOne service areas. Utility (U/E) and sanitary sewer (SS/E) easements are dedicated with this plat as required to extend City utilities. Existing water (W/E) easements are shown on the plat.
- d. **Stormwater** – Stormwater detention areas are proposed within Tracts A-E to comply with Title 17 stormwater requirements.



The site is outlined in yellow and the 175 Commerce Center East development in red.

3. Staff Recommendation

- A. Staff recommends approval of FP26-0009, the final plat of 175 Commerce Centre East, with the following stipulation:
 - 1. Monticello Road must be constructed adjacent to this platted property, and Monticello Road must connect to an existing arterial or collector street in accordance with City Council Policy, PI-3 – Public Improvements.