



a new development for
DRG Olathe
21855 W. 167th Street
Olathe, Kansas

date
02.18.2026
drawn by
DAE
checked by
DAE
revisions

sheet number
A1.0

drawing type
preliminary
project number
25110

1 Existing Conditions / Zoning Area
scale: 1" = 80'-0"



Building	Building Area	Dimensions	Parking Spaces	Dock Doors	Trailer Spaces	Drive-in Doors	Clear Ht.	Bldg. Ht.	Site Area
1	251,160 sq. ft.	230' x 1,092'	221	53	78	6	36'-0"	38' - 4"	764,659 sq. ft., 17.55 ac.
2	282,410 sq. ft.	289' x 1,026'	223	60	78	2	36'-0"	38' - 4"	822,316 sq. ft., 18.88 ac.
R.O.W.	-	-	-	-	-	-	-	-	52,197 sq. ft., 1.20 ac.
Total	543,570 sq. ft.	-	445	113	156	8	-	-	1,639,174 sq. ft., 37.63 ac.

Site Analysis

Current Zoning: County RUR Agricultural
Proposed Zoning: M-2 (General Industrial)

Total Site Area: 1,639,174 sq. ft., 37.63 ac.
Updated Site Area (less dedicated R.O.W. along perimeter and interior): 1,586,677 sq. ft., 36.43 ac.
Total Impervious Area: 1,157,271 sq. ft., 26.57 ac., 73% coverage
Total Green Space: 429,706 sq. ft., 9.86 ac., 27% coverage

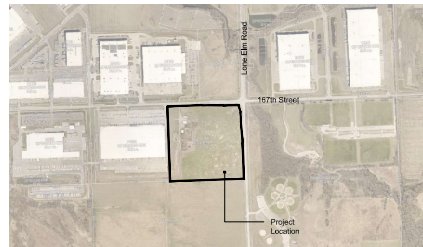
Parking: (analysis based on preliminary assumptions, parking counts may vary based on future tenants)

Building 1
Office Area: 37,674 sq. ft., 1,000 x 3.8 = 143 spaces (assumes 15% office use)
Warehouse: 213,486 sq. ft., 3,000 sq. ft. = 71
Total: 214 required, 222 provided

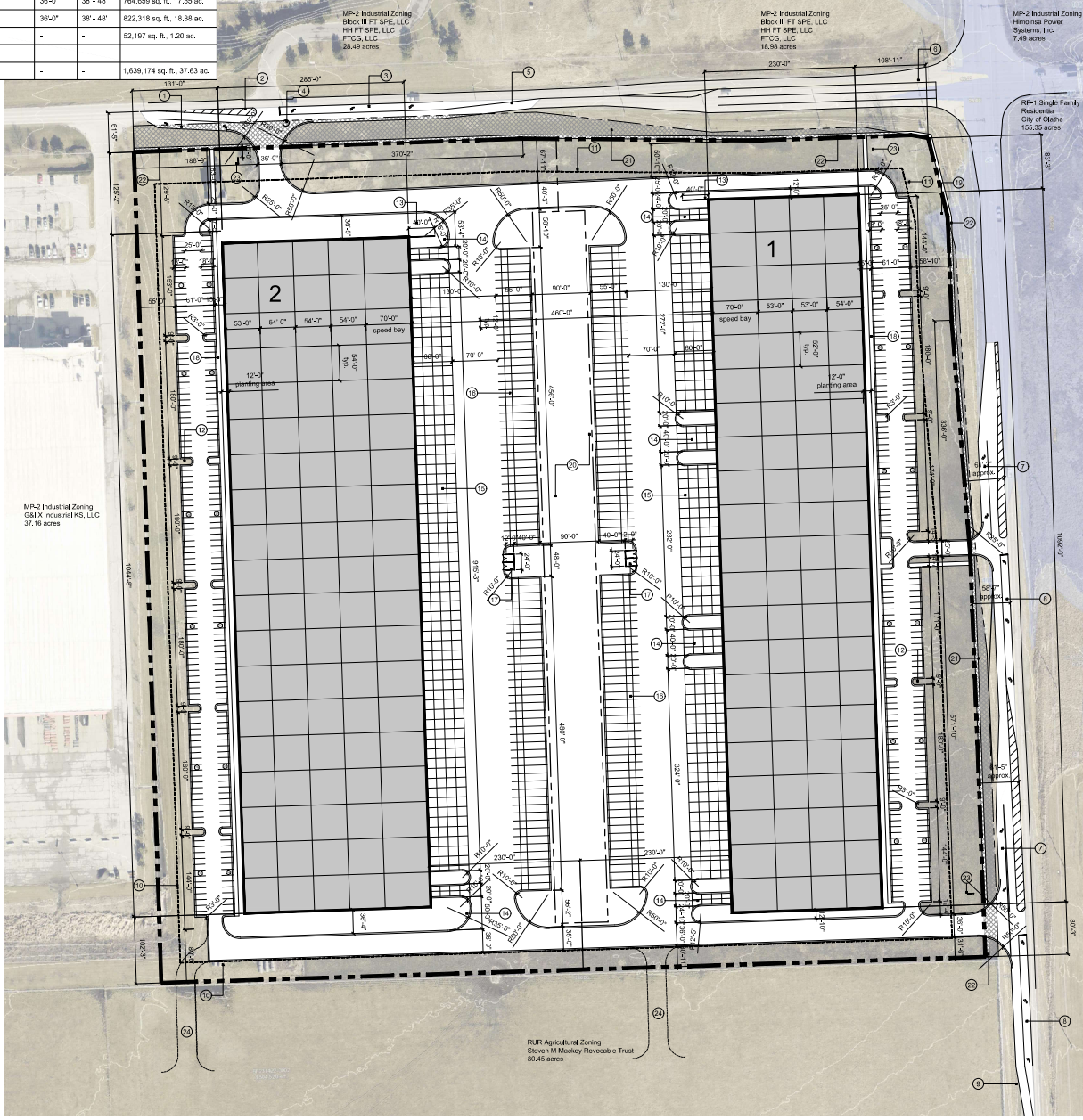
Building 2
Office Area: 29,241 sq. ft., 1,000 x 3.8 = 111 spaces (assumes 10% office use)
Warehouse: 263,169 sq. ft., 3,000 sq. ft. = 88 spaces
Total: 199 spaces, 223 provided

- General Notes**
- Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities, meter banks and coolers must be screened from public view with three (3) sided landscaping or with an architectural treatment compatible with the building architecture.
 - When off-street loading facilities are gated, fenced or secured by any other means, staging or parking for tractor trailers, trucks, or other such delivery vehicles must be accommodated within a designated parking area on site. Staging of vehicles on public right-of-way is prohibited.
 - All new on-site wiring and cables must be placed underground.

- Planning Notes**
- 150' right turn lane into site with reduced taper to align with adjacent development curb.
 - Provide striping to create lane transition with left turn lane into development.
 - Left turn lane with 250' stacking and 150' taper into development from 167th Street.
 - Relocate existing overhead power pole with road improvements shown.
 - Provide through lane with creation of left turn lane and terminate at intersection with existing edge of pavement.
 - Existing striping improvements to remain at 167th & Lone Elm.
 - 150' right turn lane with 150' taper off Lone Elm into development.
 - Left turn lane with 200' stacking and 100' taper into development off Lone Elm.
 - Transition paving to existing edge of pavement along Lone Elm.
 - Dashed line represents 30' setback from property line along south and west boundaries.
 - Dashed line represents 50' setback from property line along north and east boundaries.
 - Provide 8'-0" landscape island every 20 parking stalls, as shown.
 - Provide 47' long lift-up screen wall on north corner of each building to screen truck court from public view along 167th Street.
 - Drive-in door location with concrete drive.
 - Provide 60"x6" concrete dock apron along truck court.
 - Provide 10'-0" concrete dolly pad for limits of trailer storage spaces.
 - 78"x60" concrete trash enclosure (2 per building), 12' x 12' with prefinished metal doors on 6" diameter concrete filled steel pipe bollards.
 - Provide 6'-0" concrete sidewalk along frontage of passenger vehicle stalls.
 - Private development of site remains out of FEMA floodplain limits in northeast corner of site.
 - Green space between trailer storage stalls to be utilized as regional stormwater detention dry pond per civil engineering plans.
 - Matched area represents right-of-way dedication to meet current Olathe access management plan, 35,887 sq. ft. to be dedicated along 167th Street frontage, 16,510 sq. ft. to be dedicated along Lone Elm Road frontage.
 - 3'-0" wide concrete sidewalk within right-of-way along frontage of 167th and Lone Elm.
 - Location of future monument sign to meet all City of Olathe sign standards.
 - Approximate location of drive aisle to provide access for adjacent property.



2 Vicinity Map
scale: 1" = 1,000'



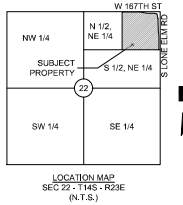
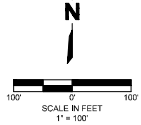
1 Site Plan
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ALTA/NSPS LAND TITLE SURVEY OF
PART OF THE
N 1/2, NE 1/4, SEC. 22 - T14S - R23E
OLATHE, JOHNSON COUNTY, KANSAS



PROPERTY DESCRIPTION: AS PROVIDED BY CHICAGO TITLE INSURANCE COMPANY
ALL OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 14, RANGE 23, JOHNSON COUNTY, KANSAS, EXCEPT PART IN ROAD.

AND EXCEPT A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 14, RANGE 23, JOHNSON COUNTY, KANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 22, TOWNSHIP 14, RANGE 23; THENCE N 88° 07' 04" E, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 1334.41 FEET TO A POINT; THENCE S 01° 35' 39" E, A DISTANCE OF 1332.07 FEET TO A POINT; THENCE S 88° 11' 21" W, A DISTANCE OF 1343.07 FEET TO A POINT; THENCE N 01° 35' 26" W, A DISTANCE OF 1332.52 FEET TO THE POINT OF BEGINNING.

SURVEYORS NOTES:

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCC251368, EFFECTIVE JUNE 03, 2025 AT 8:00 A.M.

NOTE: THIS SURVEYOR HAS MADE NO SEARCH AT THE COUNTY REGISTER OF DEEDS OFFICE OR SEARCHED COURT DOCUMENTS FOR EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY. THE AFOREMENTIONED ITEMS SHOWN HEREON, IF ANY, ARE BASED ENTIRELY UPON THE TITLE REPORT, COMMITMENT, OR OWNERSHIP AND ENCUMBRANCE REPORT CITED ABOVE, BY DOCUMENTS FOUND IN THIS FIRM'S POSSESSION, DOCUMENTS OBTAINED FROM OTHER SOURCES, OR OTHER INFORMATION THAT PROMPTED A SPECIFIC SEARCH FOR SUCH ITEMS. IF ANY OTHER EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES AFFECT THIS PROPERTY THEIR EXISTENCE IS UNKNOWN TO THIS SURVEYOR AND ARE THEREFORE NOT SHOWN.

2. BEARINGS USED HEREON ARE BASED ON THE KANSAS STATE PLANE COORDINATE SYSTEM, NAD 1983, NORTH ZONE.

TITLE RELATED NOTES: SCHEDULE B EXCEPTIONS

ITEMS 1-7 & 18-19 ARE NOT SHOWN HEREON AS THEY ARE GENERAL EXCEPTIONS OR OTHERWISE NOT SURVEY RELATED.

ITEM 8. EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY FILED IN MISC. BOOK 18, PAGE 444.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY HOWEVER IT IS NOT PLOTTABLE BY DESCRIPTION.

ITEM 9. DEED OF DEDICATION TO THE BOARD OF COUNTY COMMISSIONERS OF JOHNSON COUNTY, STATE OF KANSAS FILED IN BOOK 5284, PAGE 134.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

ITEM 10. PERMANENT DRAINAGE EASEMENT TO THE CITY OF OLATHE FILED IN BOOK 200725, PAGE 003509.
-THIS ITEM ONCE AFFECTED THE SUBJECT PROPERTY BUT NOW FALLS ENTIRELY WITHIN THE PUBLIC RIGHT-OF-WAY.

ITEM 11. MAIN EXTENSION PETITION AND AGREEMENT CREATING A BENEFIT AREA FILED IN BOOK 200706, PAGE 011197.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY HOWEVER THERE IS NOTHING TO PLOT OR SHOW HEREON.

ITEM 12. PERMANENT EASEMENT TO WATER DISTRICT NO. 1 OF JOHNSON COUNTY (KANSAS) FILED IN BOOK 200706, PAGE 003132.
-THIS ITEM ONCE AFFECTED THE SUBJECT PROPERTY BUT NOW FALLS ENTIRELY WITHIN THE PUBLIC RIGHT-OF-WAY.

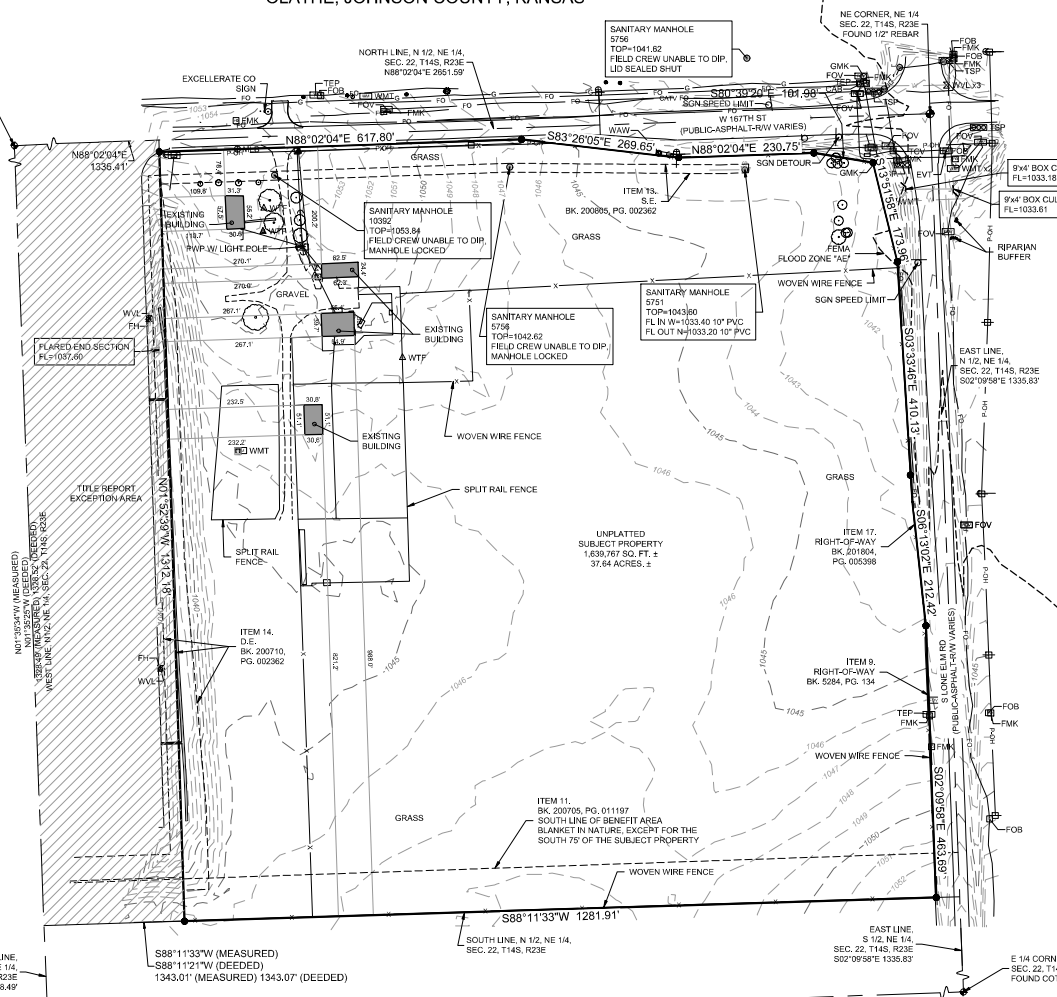
ITEM 13. PERMANENT SEWER EASEMENT TO THE CITY OF OLATHE, KANSAS FILED IN BOOK 200710, PAGE 002357, CORRECTED PERMANENT SEWER EASEMENT FILED IN BOOK 200805, PAGE 000989.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

ITEM 14. PERMANENT DRAINAGE EASEMENT FILED IN BOOK 200710, PAGE 002382.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

ITEM 15. STATEMENT OF PLANNED ZONING FILED IN BOOK 200710, PAGE 003758.
-THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY BUT AFFECTS THE EXCEPTED TRACT, NOTHING TO PLOT OR SHOW HEREON.

ITEM 16. ORDINANCE NO. 07-14 ANNEXING CERTAIN LANDS FILED IN BOOK 200710, PAGE 004034.
-THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY BUT AFFECTS THE EXCEPTED TRACT, NOTHING TO PLOT OR SHOW HEREON.

ITEM 17. DEDICATION FOR A PUBLIC STREET TO THE CITY OF OLATHE, KANSAS FILED IN BOOK 201804, PAGE 005398.
-THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.



- ALTA/NSPS TABLE NOTES:
- MONUMENTS FOR THIS SURVEY HAVE BEEN FOUND OR SET AS SHOWN ON THIS PLAN.
 - THE PHYSICAL ADDRESS OF THE SUBJECT TRACT IS 21855 W 167TH ST, OLATHE, KS 66062 ACCORDING TO THE TITLE REPORT.
 - ACCORDING TO "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NO. 200910C0109G, MAP REVISED AUGUST 08, 2009, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND WITHIN FLOOD ZONE "AE" (BASE FLOOD ELEVATIONS DETERMINED).
 - THE SUBJECT PROPERTIES CONTAINS A TOTAL OF 1,639.767 SQUARE FEET OR 37.64 ACRES MORE OR LESS.
 - VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD 88).
 - A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY. ACCORDING TO JOHNSON COUNTY'S AUTOMATED INFORMATION MAPPING SYSTEM, THE SUBJECT PROPERTY IS ZONED "AGRICULTURAL".
 - EXTERIOR DIMENSIONS OF ALL VISIBLE BUILDINGS ON THE SUBJECT PROPERTY ARE SHOWN AT GROUND LEVEL.
 - ALL SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN ON THIS SURVEY.
 - THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, EXISTING DRAWINGS AND MARKING PROVIDED BY KANSAS ONE CALL SYSTEM, INC. FROM ONE CALL REQUEST NUMBER: 2520400. THE SURVEYOR MAKES NO GUARANTEE THAT UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND FACILITIES.
 - UNDERGROUND UTILITIES HAVE BEEN LOCATED PURSUANT TO A PRIVATE UTILITY LOCATE REQUEST PERFORMED BY ECHO GPR ON JULY 15, 2025 UNDER QUOTE "2652".
 - THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT PROPERTY.

LEGEND			
● SCR	SECTION CORNER	⊙ SMH	SANITARY MANHOLE
⊙ SET	SET MONUMENT	S.E.	SANITARY SEWER EASEMENT
⊠ CAB	CABLE BOX	⊠ SGN	SGN SIGN
⊙ CTR	CONIFEROUS TREE	⊠ TEL	TELEPHONE PEDESTAL
⊙ DTR	DECIDUOUS TREE	⊠ TSMH	TRAFFIC SIGNAL MANHOLE
D.E.	DRAINAGE EASEMENT	---	CATV --- UNDERGROUND CABLE TV LINE
⊠ ELN	ELECTRIC RISER	---	FO --- UNDERGROUND FIBER OPTIC LINE
⊠ EMT	ELECTRIC METER	---	G --- UNDERGROUND GAS LINE
⊠ EVT	ELECTRIC VAULT	---	P-JUG --- UNDERGROUND POWER LINE
⊠ FMK	FIBER OPTIC MARKER	---	SS --- UNDERGROUND SANITARY SEWER
⊠ FOV	FIBER OPTIC VAULT	---	SD --- UNDERGROUND STORM LINE
⊠ FH	FIRE HYDRANT	W	UNDERGROUND WATER LINE
⊠ GMK	GAS MARKER	W	WATER FAUCET
---	GUY WIRE	WTF	WATER FAUCET
⊠ MBS	MAIL BOX	⊠ WMT	WATER METER
---	OVERHEAD POWER LINE	⊠ WLV	WATER VALVE
⊠ PWP	POWER POLE	⊠ WAW	WATER WELL

SURVEYORS CERTIFICATION:
TO: DISTRIBUTION REALTY GROUP, LLC; 167TH STREET PROPERTIES, L.L.C., A KANSAS LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY;
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 7A, 8, 11A, 11B AND 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 03, 2025.

OLSSON, KS CLS 114
JEFFREY P. MEANS, KS PLS 1381
JULY 25, 2025
MEANS@OLSSON.COM

DATE OF SURVEY
2025-07-03 - 1ST SUBMITTAL
2025-07-15 - PRIVATE UTILITY LOCATE
2025-07-25 - 2ND SUBMITTAL

drawn by: JAC/LSK/SP/HP
checked by: JPM
approved by: JPM
project no.: 205-23282
file name: ALTA_205-23282.DWG

OLSSON
Jeffrey P. Means, PLS 1381
North Kansas City, MO 64116
FAX 816.361.1868
www.olsson.com

SHEET
1 of 1

USER: jpkolcott
DATE: 2025-07-25 10:58:00
FILE: \\s01\work\2025\2025-07-25\ALTA_205-23282.dwg

Demolition Legend

- remove existing structures and associated pipe
- remove existing power/light pole and associated wiring
- remove existing trees
- existing building demolition
- existing compacted dirt
- remove full depth existing pavement and curb & gutter
- remove existing retaining wall/fence
- remove existing sidewalk & landscaping
- Saw cut

Demolition Legend

- Coordinate removal of existing/former gas main with utility.
- Coordinate removal of existing/former sanitary sewer lines with city.
- Coordinate removal of existing/former water lines with utility.
- Remove full existing storm sewer lines and structures as shown.
- Coordinate removal of existing/former telecom/data with utility
- Coordinate removal of existing primary & secondary electrical with utility

Property Legend

- right of way
- property lines
- easements
- setbacks

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

- existing
- proposed

Linetypes

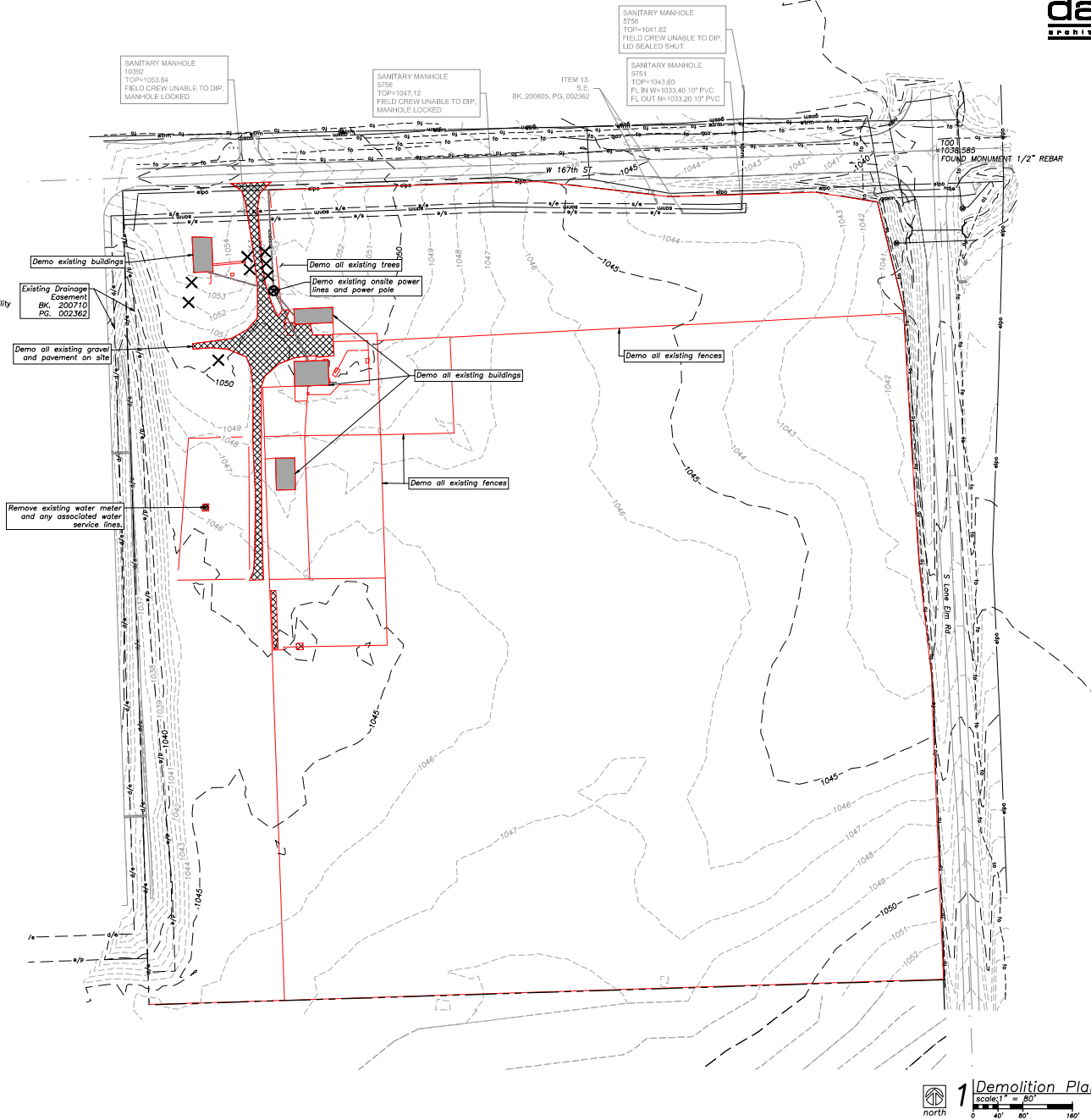
- sanitary main
- sanitary service
- storm sewer (existing)
- storm sewer (solid wall, proposed)
- storm sewer (perforated, proposed)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground cable/phone/data
- underground cable/phone/data service
- fence-chainlink
- fence-wood
- fence-barbed wire
- treeline

Symbols

- sanitary manhole
- service cleanout
- force main release valve
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- light pole
- cable/phone/data junction box
- street light
- pedestrian street light
- electric pole
- guy wire
- end section



Know what's below.
Call before you dig.

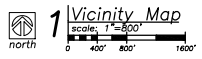


1 Demolition Plan
scale: 1" = 80'
north

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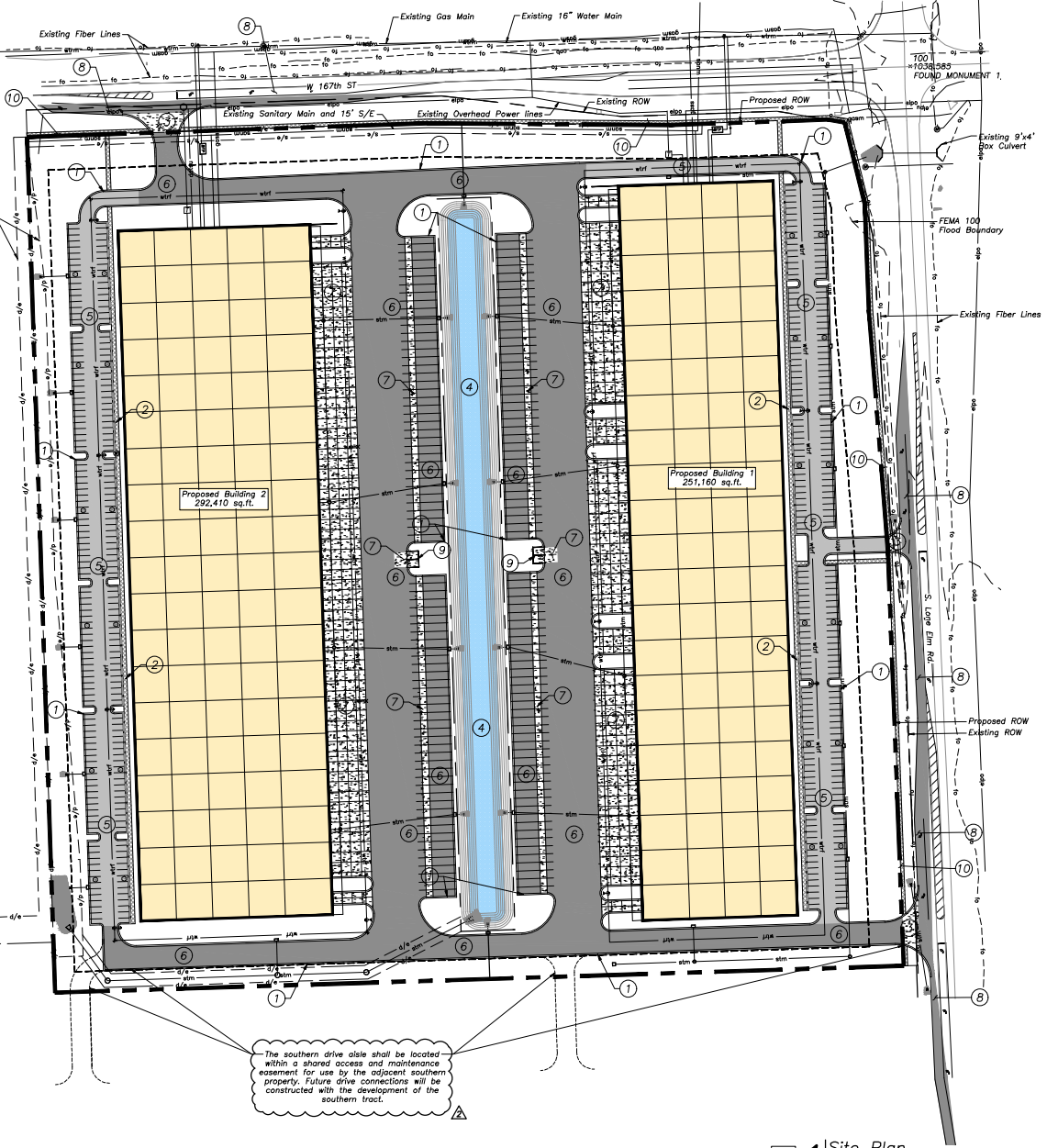
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Johnson County Benchmarks: JCVCN

Johnson County Benchmark No. 277
2" Aluminum Barntsen Disk Stamped "BM 277"
Located on 167th Street 0.0 mi east of Lone Elm Road.
Monument located approx. 120 feet east of street intersection,
set on top of SW corner wing wall of small bridge.
Elevation: 1038.09'

- Site Plan Notes:**
- Proposed curb & gutter where indicated (see legend).
 - Proposed 6' wide concrete sidewalk.
 - Proposed concrete commercial entrance.
 - Proposed wet detention basin.
 - Proposed Standard asphalt pavement.
 - Proposed Heavy duty asphalt pavement.
 - Proposed Heavy duty concrete pavement.
 - Proposed public street turn lane improvements.
 - Proposed trash enclosure.
 - Proposed 5' wide concrete public sidewalk.



Floodplain Note:
This property is located in Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) and within flood zone AE (Base Flood Elevations Determined) of the Flood Insurance Rate Map, Community Panel No. 20091C01080 which bears an effective date of August 3, 2009.

- Utility Legend**
- existing
 - proposed
- Linetypes**
- sanm sanitary main
 - san service sanitary service
 - ssw storm sewer (existing)
 - ssw storm sewer (solid wall, proposed)
 - ssw storm sewer (solid wall, proposed)
 - ssw storm sewer (perforated, proposed)
 - wm water main
 - wir water service (fire)
 - wid water service (domestic)
 - wir water service (irrigation)
 - gsm natural gas main
 - gss natural gas service schematic
 - ebu underground primary electric
 - esu underground secondary electric
 - elo overhead electric
 - adu underground cable/phone/data
 - adu underground cable/phone/data service
 - fc fence-chainlink
 - fw fence-wood
 - fbw fence-barbed wire
 - tr treeline

- Construction Legend**
- heavy duty concrete pavement
 - standard duty asphalt
 - heavy duty asphalt
 - concrete sidewalk
 - proposed building
 - proposed wet detention basin
 - standard curb & gutter
 - standard dry curb & gutter

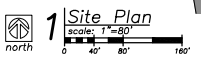
- Property Legend**
- right of way
 - property lines
 - u/a easements
 - u/b setbacks

- Grading Legend**
- existing minor contour
 - existing major contour
 - proposed minor contour
 - proposed major contour

- Americans with Disabilities Act (ADA) Notes:**
- The running and cross slopes for all sidewalks, accessible paths, ramps, designated parking stalls, etc., shall be in compliance with latest Federal ADA guidelines, in addition to any accessibility standards adopted by the governing municipality. Prior to installation/construction, if any discrepancies are found within the plans, the Engineer shall be notified.
 - All ADA parking areas shall have NO slopes greater than 2% in any direction.

- Symbols**
- sanitary manhole
 - service cleanout
 - force main release valve
 - rectangular structure
 - circular structure
 - fire hydrant
 - water valve
 - water meter
 - backflow preventer
 - natural gas meter
 - service transformer (pad mount)
 - primary switch gear
 - light pole
 - cable/phone/data junction box
 - street light
 - pedestrian street light
 - electric pole
 - guy wire
 - end section

The southern drive aisle shall be located within a shared access and maintenance easement for use by the adjacent southern property. Future drive connections will be constructed with the development of the southern tract.



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Utility Legend

soim	existing sanitary main
wim	existing water main
slm	existing storm sewer
gsm	existing gas main
elbu	existing underground electric
epo	existing overhead electric
odu	existing underground data
psom	proposed sanitary main
psim	proposed sanitary service
pwim	proposed water main
wfl	proposed fire line
wid	proposed water service
psim	proposed private storm sewer
psm	proposed public storm sewer
gsm	proposed gas main
gss	proposed gas service
uep	proposed underground primary electric
ues	proposed underground secondary electric
epo	proposed overhead electric
odu	proposed underground data

Property Legend

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Utility Legend

---	existing
---	proposed

Linetypes

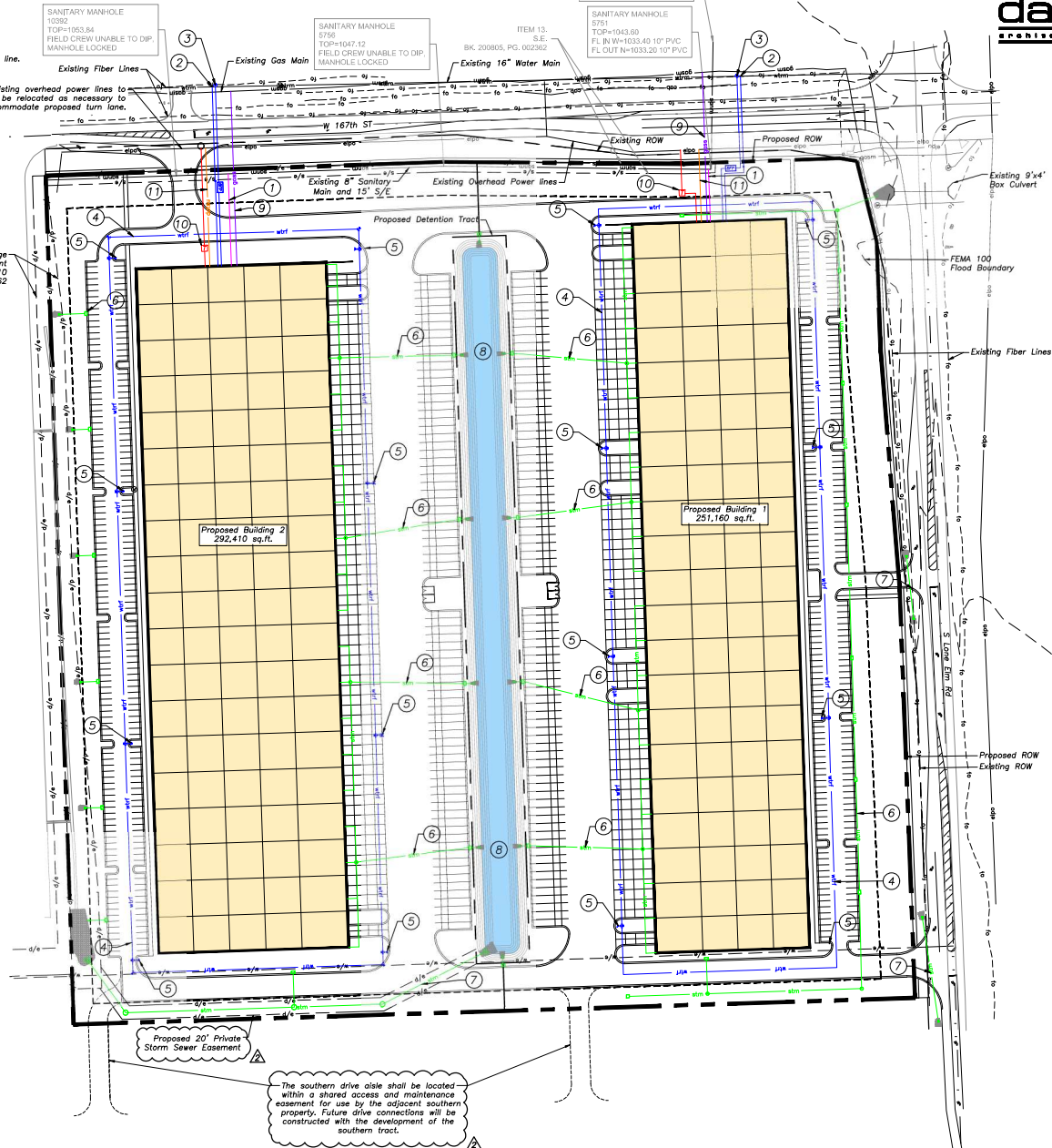
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wfl	water service (fire)
wid	water service (domestic)
wid	water service (irrigation)
gsm	natural gas main
gss	natural gas service schematic
uep	underground primary electric
ues	underground secondary electric
epo	overhead electric
odu	underground cable/phone/data
odu	underground cable/phone/data service
o	fence-chainlink
o	fence-wood
o	fence-barbed wire
o	treeline

Symbols

⊙	sanitary manhole
⊙	service cleanout
⊙	force main release valve
□	rectangular structure
○	circular structure
⊙	fire hydrant
⊙	water valve
⊙	water meter
⊙	backflow preventer
⊙	natural gas meter
⊙	service transformer (pad mount)
⊙	primary switch gear
⊙	light pole
⊙	cable/phone/data junction box
⊙	street light
⊙	pedestrian street light
⊙	electric pole
⊙	guy wire
⊙	end section

Utility Plan Notes:

- Proposed sanitary sewer service line.
- Proposed domestic water tap, meter, and service line.
- Proposed fire tap, BFP, and service line.
- Proposed fire protection loop.
- Proposed fire hydrant (16).
- Proposed private storm sewer system.
- Proposed public storm line.
- Proposed wet detention basin.
- Proposed gas service line.
- Proposed transformer and electrical service.
- Proposed data service line.



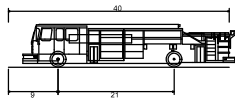
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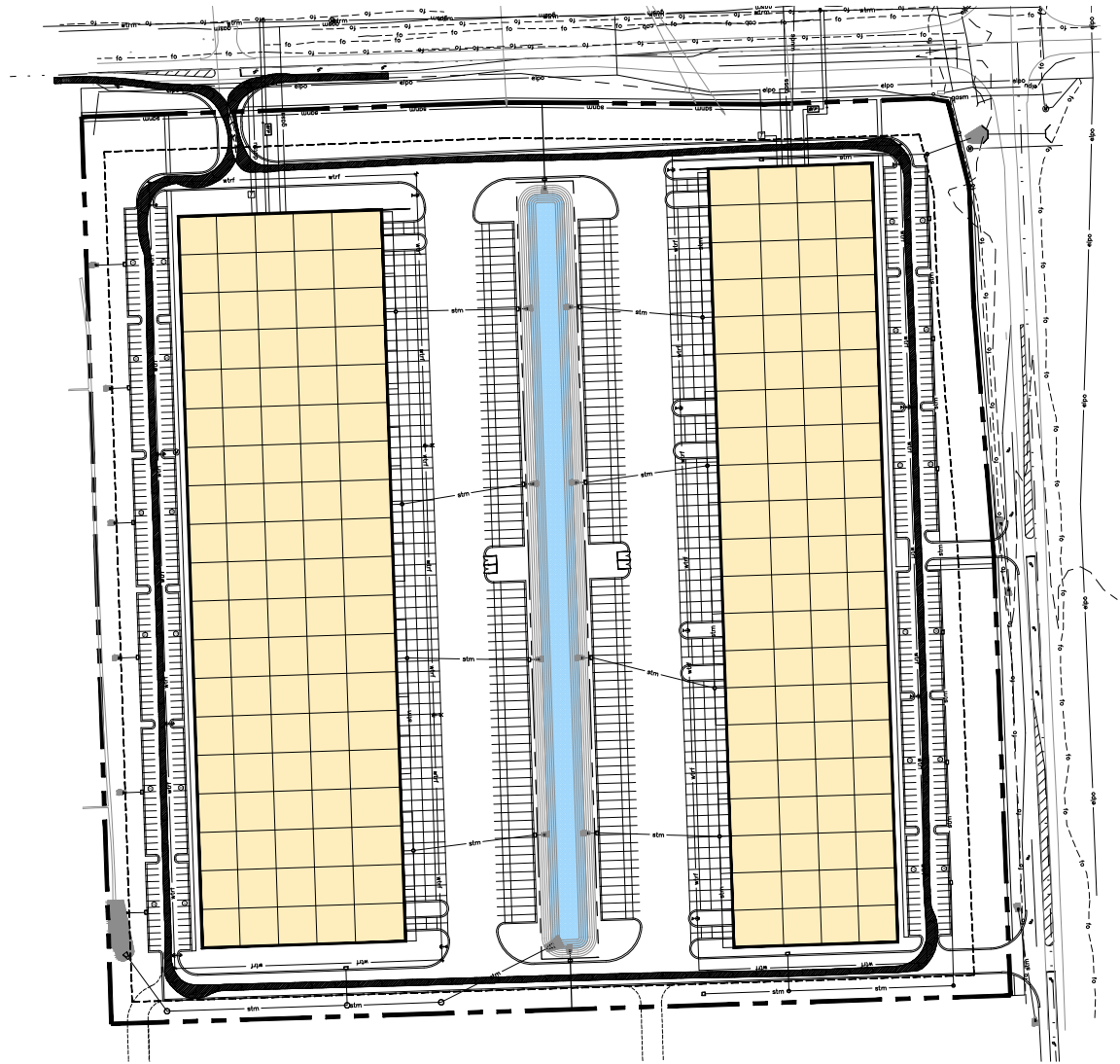
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Olathe Fire Truck	40.000ft
Overall Length	8.167ft
Overall Width	7.745ft
Overall Body Height	0.656ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	47.583ft
Wall to Wall Turning Radius	



1 Fire Truck Turning Exhibit
 Scale: 1" = 80'



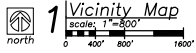
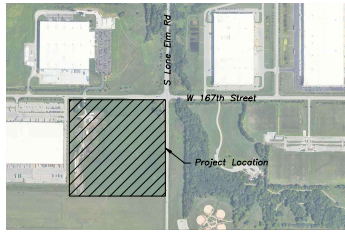
Know what's below.
 Call before you dig.

a new development for
DRG Olathe
 21855 W. 167th Street
 Olathe, KS

Date: 02.18.2026
 Drawn by: DJL
 Checked by: DAE
 Revisions:
 03.16.2026 1
 04.01.2026 2

Sheet Number:
C1.4
 Drawing Type:
 preliminary
 Project Number:
 25110

Preliminary Plat
DRG 167th and Lone Elm
Section 22, Township 14S, Range 23E
In The City of Olathe, Johnson County, Kansas



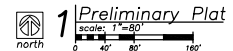
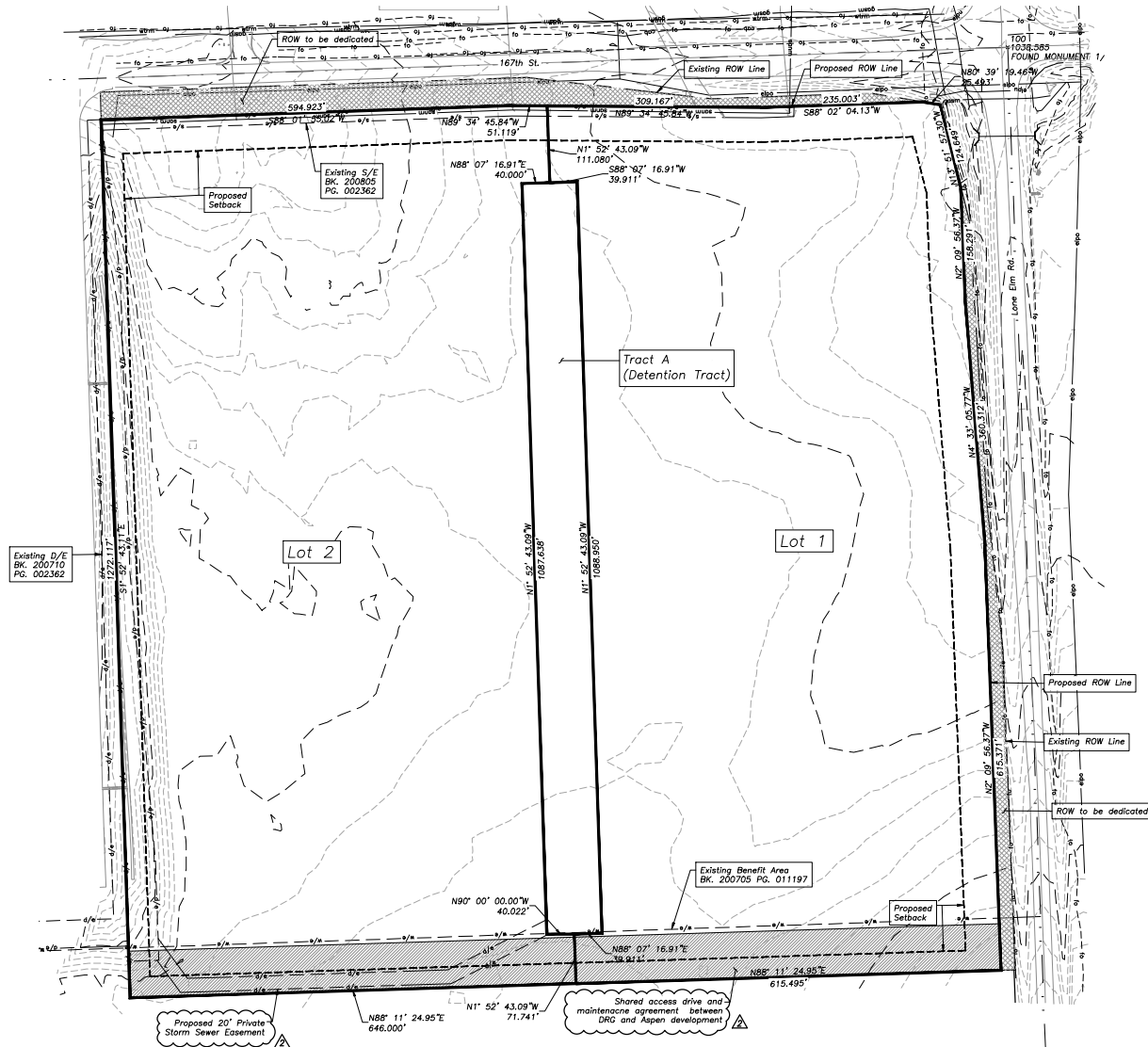
LEGAL DESCRIPTION:

ALL OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 14, RANGE 23, JOHNSON COUNTY, KANSAS, EXCEPT PART IN ROAD.
AND EXCEPT: A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 14, RANGE 23, JOHNSON COUNTY, KANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 22, TOWNSHIP 14, RANGE 23; THENCE N 88° 02' 04" E, ALONG THE NORTH LINE OF THE SAID NORTHEAST QUARTER A DISTANCE OF 1336.41 FEET TO A POINT; THENCE S 01° 52' 39" E, A DISTANCE OF 1332.12 FEET TO A POINT; THENCE S 88° 11' 21" W, A DISTANCE OF 1343.07 FEET TO A POINT; THENCE N 01° 35' 25" W, A DISTANCE OF 1328.52 FEET TO THE POINT OF BEGINNING.

Johnson County Benchmarks: JCVCN

Johnson County Benchmark No. 277
2" Aluminum Bertsen Disk Stamped "BM 277"
Located on 167th Street 0.0 mi east of Lone Elm Road.
Monument located approx. 120 feet east of street intersection,
set on top of SW corner wing wall of small bridge.
Elevation: 1038.09'

Data Table		
Area	Sqft	Ac.
Lot 1	721,236	16.56
Lot 2	778,900	17.88
Tract A	86,841	1.99
ROW Dedication	52,197	1.20
Total	1,639,174	37.63



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date
02.18.2026
drawn by
DJI
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DAE
revisions

03.16.2026 1
04.01.2026 2

sheet number
C1.5

drawing type
preliminary
project number
25110

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Property Legend

- right of way
- property lines
- easements
- setbacks

Utility Legend

- existing
- proposed

Linetypes

- sanm sanitary main
- ssm sanitary service
- sse storm sewer (existing)
- ssp storm sewer (solid wall, proposed)
- spm storm sewer (perforated, proposed)
- wmm water main
- wsf water service (fire)
- wsd water service (domestic)
- wsi water service (irrigation)
- gmm natural gas main
- gms natural gas service schematic
- epu underground primary electric
- esu underground secondary electric
- epe overhead electric
- cau underground cable/phone/data
- dsu underground cable/phone/data service
- fch fence-chainlink
- fwo fence-wood
- fwb fence-barbed wire
- treeline

Symbols

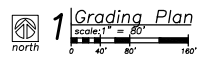
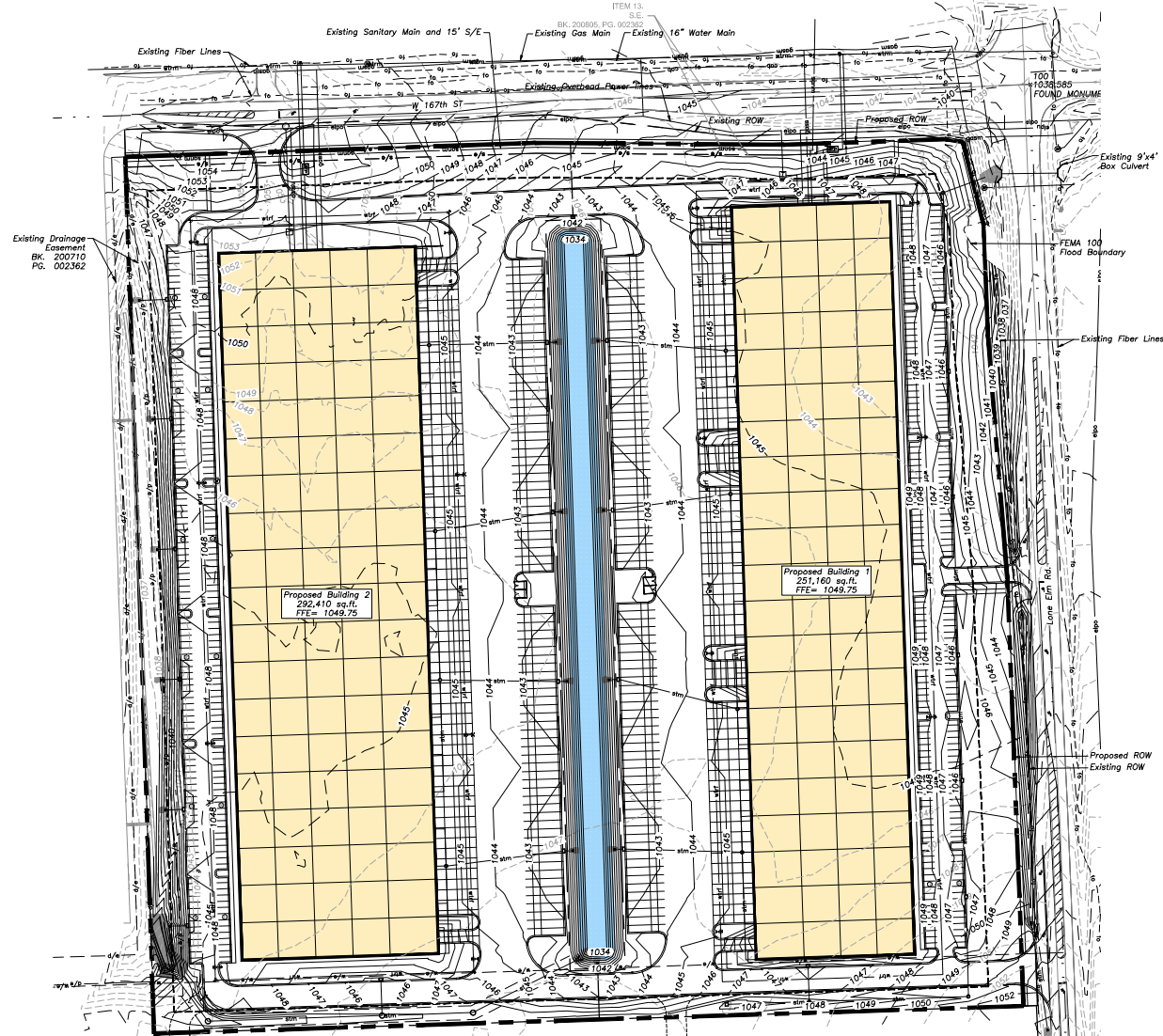
- ⊙ sanitary manhole
- ⊙ service cleanout
- ⊙ force main release valve
- rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
- ⊕ water meter
- [BFP] backflow preventer
- ⊕ natural gas meter
- ⊕ service transformer (pad mount)
- ⊕ primary switch gear
- ⊕ light pole
- ⊕ cable/phone/data junction box
- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- guy wire
- ⊕ end section



Know what's below.
Call before you dig.

Floodplain Note:

This property is located in Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) and within flood zone AE (Base Flood Elevations Determined) of the Flood Insurance Rate Map, Community Panel No. 200910108C which bears an effective date of August 3, 2009.



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checked by: DJL
revisions:
03.06.2026 1
04.01.2026 2

sheet number:
C2.1
drawing type:
preliminary
project number:
25110

Drainage Legend

- drainage area
- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Property Legend

- right of way
- property lines
- easements
- setbacks

Utility Legend

- existing
- proposed

Linetypes

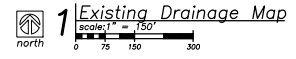
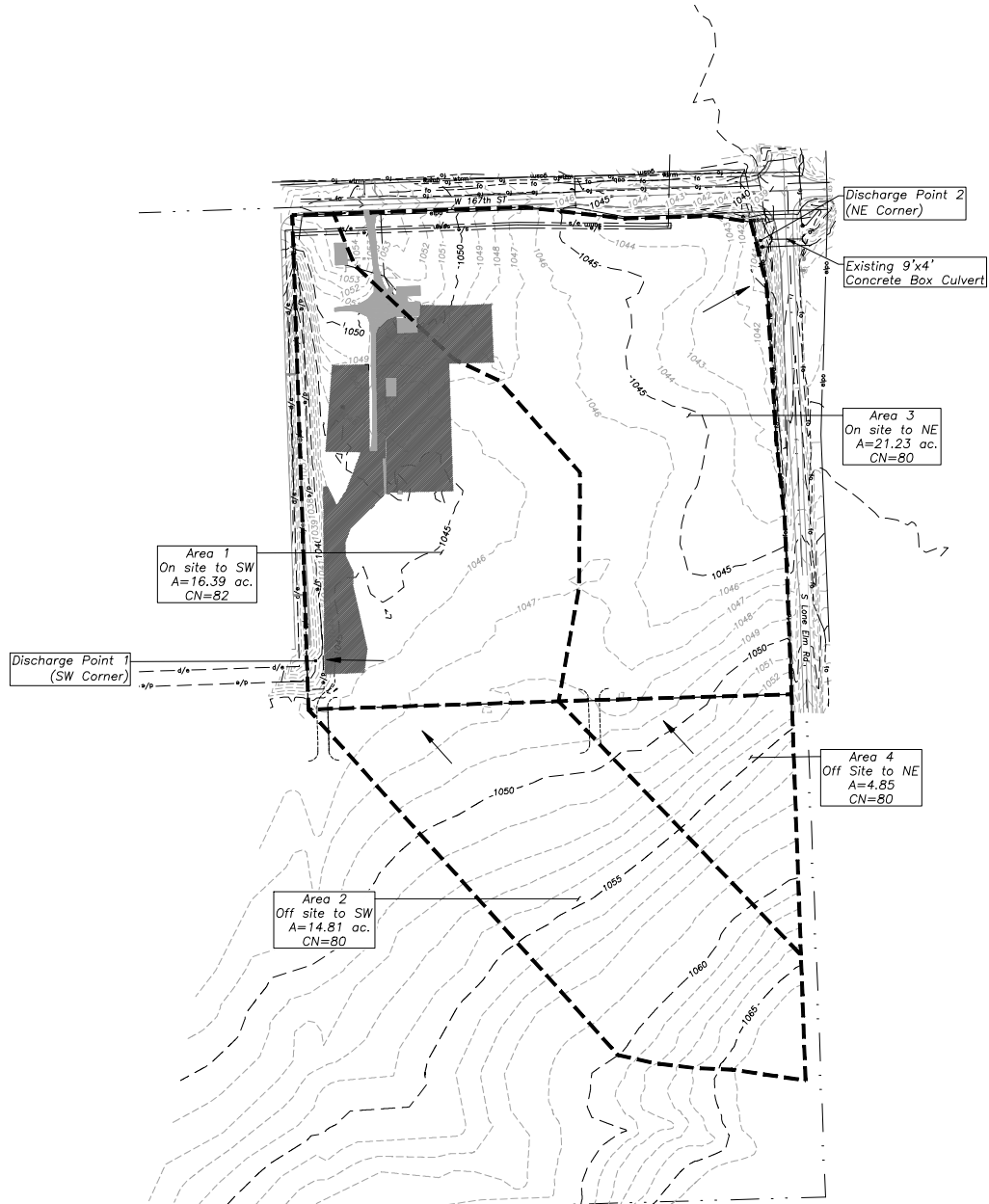
- sanitary main
- sanitary service
- storm sewer (existing)
- storm sewer (solid wall, proposed)
- storm sewer (solid wall, proposed)
- storm sewer (perforated, proposed)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground cable/phone/data
- underground cable/phone/data service
- fence-chainlink
- fence-wood
- fence-barbed wire
- treeline

Symbols

- ⊙ sanitary manhole
- ⊙ service cleanout
- ⊙ force main release valve
- ⊙ rectangular structure
- ⊙ circular structure
- ⊙ fire hydrant
- ⊙ water valve
- ⊙ water meter
- ⊙ backflow preventer
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- ⊙ light pole
- ⊙ cable/phone/data junction box
- ⊙ street light
- ⊙ pedestrian street light
- ⊙ electric pole
- ⊙ guy wire
- ⊙ end section

Pre-Construction On-Site Impervious Area Calculations

	Square Feet	Acres
Area of Site	1639598.40	37.63
Impervious Area	26799.03	0.61
Runoff Poor Cond.	178902.80	4.13
Pervious Area	1432688.40	32.89



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Drainage Legend

----- drainage area

Grading Legend

----- existing minor contour
----- existing major contour
----- proposed minor contour
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Property Legend

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Symbols

SM sanitary manhole
SC service cleanout
FM force main release valve
RS rectangular structure
CS circular structure
FH fire hydrant
WV water valve
WM water meter
BPP backflow preventer
NGM natural gas meter
ST service transformer (pad mount)
PS primary switch gear
LP light pole
CJ cable/phone/data junction box
SL street light
PSL pedestrian street light
E electric pole
GW guy wire
ES end section

Discharge Point	Peak Discharge Rate (cfs)			Tributary Area (acres)
	1-Year	10-year	25-year	
SW Corner (pre)	38.10	95.57	125.81	31.20
SW Corner (post)	36.08	88.54	117.18	46.13
Change	-3.42	-7.03	-8.64	+14.93
NE Corner (pre)	26.52	68.51	60.78	26.08
NE Corner (post)	23.97	59.84	64.57	11.15
Change	-2.55	-17.67	-26.21	-14.93
Total	-5.97	-24.70	-34.84	

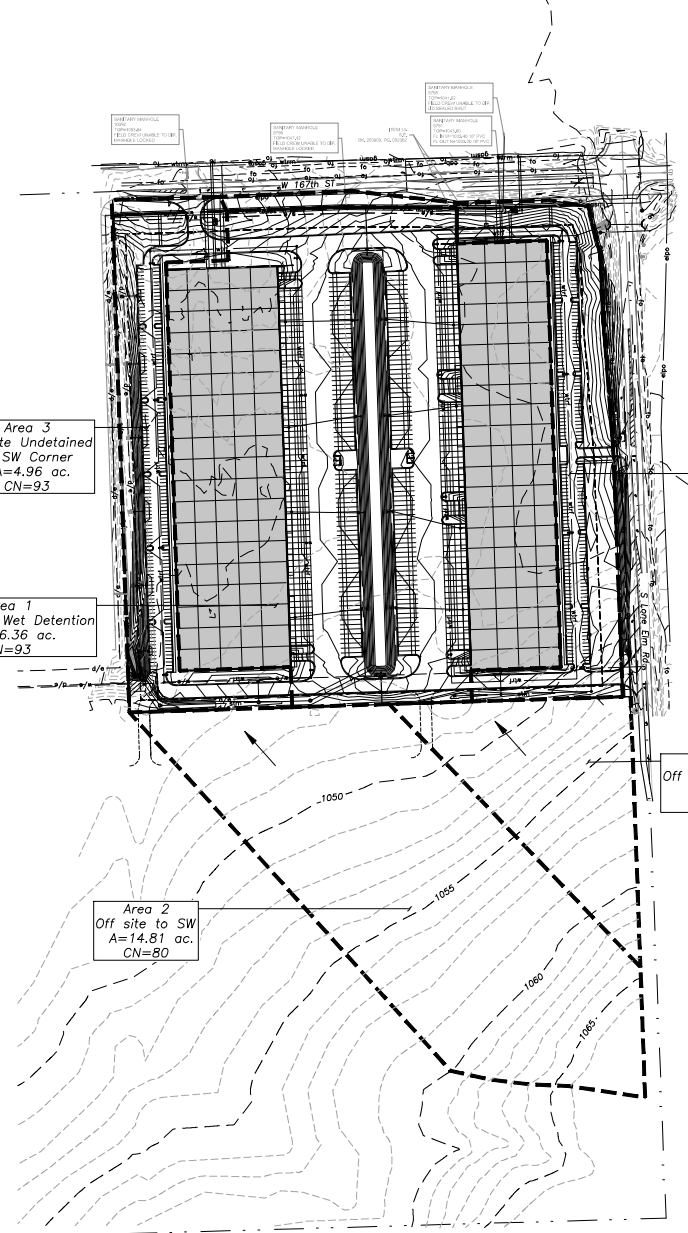
Area 3
On Site Undetained
to SW Corner
A=4.96 ac.
CN=93

Area 1
On Site to Wet Detention
A=26.36 ac.
CN=93

Area 2
Off site to SW
A=14.81 ac.
CN=80

Area 5
On Site Undetained
to NE Corner
A= 6.30 ac.
CN=93

Area 4
Off Site to NE
A=4.85
CN=80



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1 Proposed Drainage Map
Scale: 1" = 150'
0 75 150 300

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preliminary
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25110