



## STAFF REPORT

Planning Commission Meeting: November 18, 2024

<b>Application:</b>	<b>FP24-0028: Final Plat of Prairie Canyon, Second Plat</b>
<b>Location:</b>	Southwest of College Boulevard and K-7 Highway
<b>Owner:</b>	Clay Blair, Prairie Canyon LLC
<b>Developer:</b>	Frank Dean, Prairie Canyon LLC
<b>Engineer:</b>	Jake Hattock, PE, Schlagel and Associates
<b>Staff Contact:</b>	Taylor Vande Velde, Planner II

<b>Site Area:</b>	<u>38.7 ± acres</u>	<b>Proposed Use:</b>	<u>Residential, Single-Family Detached</u>
<b>Lots:</b>	<u>61</u>	<b>Existing Zoning:</b>	<u>R-1 (Residential Single-Family) District</u>
<b>Tracts:</b>	<u>8</u>	<b>Density:</b>	<u>1.58 units/acre</u>

### 1. Introduction

The following application is for the Final Plat of Prairie Canyon, Second Plat, which will establish lot lines and dedicate public easements and right-of-way for 61 single-family lots and eight (8) tracts.

The subject property was rezoned (Ord. 21-12) to the R-1 (Residential Single-Family) District and the preliminary plat for Prairie Canyon was approved in 2019 (RZ19-0012 & RZ19-0014). This final plat is consistent with the approved preliminary plat for Prairie Canyon, which includes a total of 142 single-family lots and 56 two-family units. The Prairie Canyon, First Plat (FP21-0026) includes Phase I of the single-family lots, and this plat will be the second phase for the single-family portion of this development.

### 2. Plat Review

- a. **Lots/Tracts** – The final plat includes 61 single-family lots and eight (8) tracts. The proposed lots range in size from 9,751 to 16,727 square feet with an average lot size of 11,534 square feet, exceeding the minimum of 7,200 square feet and minimum lot width of 60 feet. All Tracts will be owned and maintained by the homeowner’s association for landscaping, trails, traffic islands, and stormwater.
- b. **Streets/Right-of-Way** – This plat dedicates street right-of-way for Sunray Drive and Mesquite Street which connect to W. 115th Terr. to the west and the adjacent phase to the north which provides arterial access to College Blvd.

- c. **Public Utilities** – The subject property is located within the City of Olathe Sewer and WaterOne service areas. New utility (U/E), sanitary sewer (S/E), and drainage (D/E) easements will be dedicated by this plat to serve the development connecting to the first phase to the north.
- d. **Stormwater Management** – Tracts “H”, “I”, “J”, “K”, “N”, and “O” will be used for landscaping or BMPs which the HOA will maintain, and which are subject to the Stormwater Treatment Facility Maintenance Agreement. A stream corridor runs along the southern portion of the plat within Tract ‘N’ and is subject to the Stream Corridor Maintenance Agreement.
- e. **Landscaping/Amenities** – Tract ‘H’ and ‘N’ will include trails to serve the Prairie Canyon subdivision and will connect to future phases of the development. Tract ‘H’ will be a privately owned and maintained trail connecting Phase I and II. Tract ‘N’, located along the southern portion of the plat, will include a Public Recreation Easement (PR/E) to allow the construction of the future public trail by the City. The exact location of the trail and specific easements will be determined at the time of construction for the trail.
- f. **Tree Preservation** – Tree Preservation Easements (TP/E) will preserve mature trees in the western and southern portions of the plat in Tracts ‘J’ and ‘N’. Tree preservation areas must meet the requirements of UDO 18.30.240.



*Aerial view of the subject property is outlined in yellow.*

### 3. Staff Recommendation

- A. Staff recommends approval of FP24-0028, the final plat of Prairie Canyon Second Plat, with the following stipulation:
  - 1. A Tree Preservation plan meeting the requirements outlined in UDO 18.30.240 must be submitted and approved by staff prior to the City Council meeting.

# FINAL PLAT OF PRAIRIE CANYON, SECOND PLAT

## PART OF THE NE 1/4 OF SEC. 16-13-23 IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS

**DESCRIPTION:**

Part of the Northeast One-Quarter and Southeast One-Quarter of Section 16, Township 13 South, Range 23 East in the City of Olathe, Johnson County, Kansas, altogether being more particularly described as follows:  
Commencing at the Northwest corner of the said Northeast One-Quarter; thence along the West line of said Northeast One-Quarter, South 01 degree 42 minutes 34 seconds East, a distance of 1981.44 feet to a point on the South line of "PRAIRIE CANYON, FIRST PLAT"; a subdivision of land in the said City of Olathe, said point being the Point of Beginning; thence along said South line for the following four (4) courses, North 71 degrees 29 minutes 56 seconds East, a distance of 238.98 feet to a point of curvature; thence Southwesterly along a curve to the left having an initial tangent bearing of 133 degrees 37 minutes 43 seconds West, a radius of 300.00 feet, a central angle of 02 degrees 00 minutes 13 seconds and an arc length of 12.59 feet; thence South 67 degrees 22 minutes 29 seconds East, a distance of 50.00 feet to a point of curvature; thence Northwesterly along a curve to the right having an initial tangent bearing of North 22 degrees 37 minutes 31 seconds East, a radius of 310.00 feet, a central angle of 09 degrees 18 minutes 03 seconds and an arc length of 50.32 feet; thence South 02 degrees 29 minutes 43 seconds East, a distance of 134.37 feet; thence North 40 degrees 53 minutes 54 seconds East, a distance of 144.94 feet; thence South 00 degrees 30 minutes 59 seconds East, a distance of 85.88 feet; thence South 37 degrees 47 minutes 02 seconds East, a distance of 305.84 feet; thence South 19 degrees 46 minutes 20 seconds East, a distance of 280.75 feet; thence South 47 degrees 20 minutes 05 seconds East, a distance of 164.90 feet; thence South 22 degrees 03 minutes 04 seconds East, a distance of 140.90 feet; thence South 15 degrees 35 minutes 09 seconds East, a distance of 161.88 feet; thence South 81 degrees 20 minutes 48 seconds East, a distance of 133.84 feet; thence North 61 degrees 14 minutes 32 seconds East, a distance of 113.45 feet to the Southeast corner of said "PRAIRIE CANYON, FIRST PLAT"; thence South 84 degrees 10 minutes 29 seconds East, a distance of 32.03 feet; thence South 02 degrees 32 minutes 39 seconds East, a distance of 593.04 feet to the Northeast corner of said "TIMBERSTONE RIDGE"; a subdivision of land in the said City of Olathe; thence along the North line of said "TIMBERSTONE RIDGE" for the following four (4) courses, South 50 degrees 43 minutes 29 seconds West, a distance of 324.38 feet; thence South 37 degrees 53 minutes 33 seconds West, a distance of 214.52 feet; thence South 08 degrees 12 minutes 27 seconds West, a distance of 179.86 feet; thence North 89 degrees 17 minutes 27 seconds West, a distance of 370.21 feet to the Northwest corner of said "TIMBERSTONE RIDGE"; and also being a point on the East line of "WOODS AT SOUTHGLEN, SECOND PLAT"; a subdivision of land in the said City of Olathe; thence along the East line of said "WOODS AT SOUTHGLEN, SECOND PLAT" for the following four (4) courses, North 05 degrees 03 minutes 33 seconds West, a distance of 107.84 feet; thence North 41 degrees 54 minutes 06 seconds West, a distance of 177.11 feet; thence North 34 degrees 53 minutes 52 seconds West, a distance of 91.45 feet; thence North 12 degrees 18 minutes 10 seconds West, a distance of 94.59 feet to the Northeast corner of said "WOODS AT SOUTHGLEN, SECOND PLAT" also being the Southwest corner of "WOODS AT SOUTHGLEN, FIRST PLAT"; a subdivision of land in the said City of Olathe; thence along the East line of said "WOODS AT SOUTHGLEN, FIRST PLAT" for the following seven (7) courses, North 01 degrees 03 minutes 11 minutes 42 seconds East, a distance of 180.28 feet; thence North 23 degrees 25 minutes 27 seconds West, a distance of 226.30 feet; thence North 20 degrees 04 minutes 01 seconds East, a distance of 79.92 feet; thence North 24 degrees 14 minutes 28 seconds East, a distance of 130.00 feet; thence North 12 degrees 06 minutes 20 seconds West, a distance of 60.00 feet to a point of curvature; thence Southwesterly along a curve to the left having an initial tangent bearing of South 77 degrees 03 minutes 50 seconds West, a radius of 200.00 feet, a central angle of 10 degrees 26 minutes 50 seconds and an arc length of 19.40 feet; thence North 16 degrees 33 minutes 00 seconds West, a distance of 12.37 feet to a point on the South line of said Northeast One-Quarter; thence along said South line, North 87 degrees 40 minutes 12 seconds East, a distance of 65.92 feet; thence North 01 degree 57 minutes 15 seconds South, a distance of 284.75 feet; thence North 20 degrees 55 minutes 21 seconds West, a distance of 272.57 feet to a point on the West line of said Northeast One-Quarter; thence North 33 degrees 03 minutes 13 seconds West, a distance of 102.00 feet to the East line of said "SOUTHGLEN OF CEDAR CREEK, EIGHTH PLAT"; a subdivision of land in the said City of Olathe; thence along the East line of said "SOUTHGLEN OF CEDAR CREEK, EIGHTH PLAT" for one (1) course, North 21 degrees 01 minutes 09 seconds West, a distance of 84.92 feet to the Southwest corner of said "PRAIRIE CANYON, FIRST PLAT"; thence along the South line of said "PRAIRIE CANYON, FIRST PLAT" for the following one (1) course, North 71 degrees 29 minutes 56 seconds East, a distance of 65.95 feet to the Point of Beginning, and containing 38,710.95 acres, more or less.

**DEDICATIONS:**

The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereinafter be known as "PRAIRIE CANYON, SECOND PLAT".  
The undersigned proprietor of said property shown on this plat does hereby dedicate those portions of the streets and roadways shown hereon, together with all other parcels and parts of land indicated on this plat, and not herebefore dedicated, as streets, avenues, roads, drives, lanes, avenues, courts, drives, etc., for public use as public ways or thoroughfares; subject to the right hereby reserved to the present owner and its successors and assigns for the location, construction and maintenance of conduits, water, gas and sewer pipes, poles and wires under, over and along said roadways.  
An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance of use of conduits, water, gas, electrical, sewer pipes, poles, wires, drainage facilities, ditches and cables, and similar utility facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E," is hereby granted to the City of Olathe, Johnson County, and other governmental entities as may be authorized by state law to use such easement for said purposes.  
An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to enter upon, locate, construct and maintain pipes, inlets, manholes, surface drainage facilities relative to storm water drainage and sidewalks upon, over, or under the areas outlined and designated on this plat as "Drainage Easement" or "D/E".  
An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to locate, construct and maintain or authorize the location, construction or maintenance and use of sanitary sewer pipes and structures upon, over and under the areas outlined and designated on this plat as "Sanitary Easement" or "S/E".  
An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to locate, construct or maintain or authorize the location, construction or maintenance and use of the future multi-use trail shall be located in the field at the time of final design and construction of the trail. Maintenance of the trail, once constructed will be the responsibility of the City of Olathe.  
An easement or license is hereby granted to the City of Olathe, Kansas, to enter upon, locate, construct a multi-use trail within Tract "N". The exact location of the future multi-use trail shall be located in the field at the time of final design and construction of the trail. Maintenance of the trail, once constructed will be the responsibility of the City of Olathe.  
An easement or license is hereby granted to the City of Olathe, Kansas, to enter upon, locate, construct a multi-use trail within Tract "N". The exact location of the future multi-use trail shall be located in the field at the time of final design and construction of the trail. Maintenance of the trail, once constructed will be the responsibility of the City of Olathe.

**RESTRICTIONS:**

All landscaping and related materials that are planted or constructed within the adjacent Street right-of-way shall be maintained by the Property Owners or their authorized representatives therefrom.  
Tracts "H", "I", "J", "K", "L", "M" and "N" shall be owned and maintained by the Homeowners Association or their authorized representatives therefrom and used for landscaping purposes or water quality/sustainable BMP purposes.  
Tracts "L" and "M" are public street right of way used for landscaping purposes.  
All landscaping and related materials that are planted or constructed within Tracts "Y", "X", "L", and "M" and within other islands in street right of way shall be maintained by the Homeowners Association or their authorized representatives therefrom. However, in the event that the Homeowners Association is not lawfully existing or fails to maintain these areas, then maintenance shall be the responsibility of the owners of all lots within the plat area.  
The undersigned proprietor of the described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such island proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the tax and other obligations of the land, and the amount of the tax and other obligations shall be determined by the Board of County Commissioners and the City of Olathe on the remaining or unimproved or such dedicated public ways or thoroughfares.  
The use of all lots and properties in this subdivision shall hereafter be subject to the Declarations, which instruments are to be recorded in the Office of the Registrar of Deeds of Johnson County, Kansas, as provided above, and which shall hereby become a part of the dedication of this plat as though set forth herein.

**EXCUTION:**

IN TESTIMONY WHEREOF, Prairie Canyon, LLC, has caused this instrument to be executed, this \_\_\_\_ day of July, 2024.  
Prairie Canyon, LLC:  
By: Clay C. Blair, III,  
ACKNOWLEDGMENT:  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
BE IT REMEMBERED that on this \_\_\_\_ day of July, 2024, before me, the undersigned, a Notary Public in and for said County and State, same Clay C. Blair, III,  
I have personally known and known the person who executed the foregoing instrument of writing on behalf of said public, and such duly acknowledged the execution of the same to be the act and deed of said.

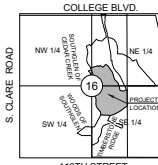
**NOTARIAL:**

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal on the day and year last above written.  
Notary Public: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
Print Name: \_\_\_\_\_

**APPROVALS:**

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, THIS \_\_\_\_ day of \_\_\_\_\_, 2024.  
Chairman, WAYNE JANNER  
APPROVED BY THE GOVERNING BODY OF THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, THIS \_\_\_\_ day of \_\_\_\_\_, 2024.  
Mayor, JOHN BACON City Clerk, BRENDA D. SWEARINGIN

LOT #	AREA (SF)
45	10,715.70
46	10,887.94
47	10,949.78
48	11,035.33
49	11,018.38
50	10,862.47
51	12,797.63
52	13,638.23
53	10,918.10
54	10,784.42
55	10,635.99
56	11,618.72
57	10,829.08
58	12,205.34
59	14,456.16
60	11,014.84
61	10,613.88
62	10,607.84
63	10,323.64
64	12,020.17
65	11,267.04
66	10,263.05
67	11,183.86
68	14,624.72
69	13,646.15
70	12,205.24
71	11,282.42
72	10,260.41
73	9,866.25
74	10,971.66
75	10,606.61
76	13,567.03
77	9,751.23
78	28,243.35
79	380.13
80	102,203.32



SECTION 16-13-23  
LOCATION MAP  
SCALE 1" = 2000'

- LEGEND:**
- FOUND MONUMENT AS NOTED
  - FOUND 1/2" REBAR WITH KSL'S AS CAP UNLESS OTHERWISE NOTED
  - SET 1/2" REBAR WITH KSL'S AS CAP UNLESS OTHERWISE NOTED
  - EXISTING PLAT AND R/W LINES
  - EXISTING LOT AND PROPERTY LINES
  - BUILDING LINE
  - DRAINAGE EASEMENT
  - RIGHT-OF-WAY
  - SANITARY SEWER EASEMENT
  - UTILITY EASEMENT

Line # / Curve #	Length	Direction / Delta	Radius	Initial Tangent Bearing
C1	73.34	042°10'34"	190.00	N41°23'34"W
C2	168.76	048°20'41"	200.00	S19°29'44"W
L1	24.56	S83°24'39"E		

**NOTES/NOTICES:**

1. Based on fieldwork and final engineering design, the exact location of easements are subject to change prior to the plat recording.
  2. Exterior ground mounted or building mounted equipment including, but not limited to, mechanical equipment, utilities meter banks and coolers must be screened from public view with three (3) sided landscaping or with an architectural treatment compatible with the building architecture.
  3. All new on-site wiring and cables must be placed underground.
  4. Above ground electrical equipment and telephone cabinets must be placed in the rear yard.
  5. Sidewalks in cut-die-backs will terminate at a driveway.
- Note: This property is located within or contains a designated Stream Corridor, as defined and regulated in the City of Olathe, Kansas, Municipal Code. Restrictions on the use or alteration of land within the Stream Corridor may apply. This property is also subject to the obligations and requirements of the Stream Corridor Maintenance Agreement approved by the City.
- Note: This site includes Stormwater Treatment Facilities, as defined and regulated in the Olathe Municipal Code. Restrictions on the use or alteration of the said Facilities may apply. This property is also subject to the obligations and requirements of the Stormwater Treatment Facility Maintenance Agreement approved by the City.

I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION BASED ON A FIELD SURVEY PERFORMED ON 7-22-2024. THE DETAILS SHOWN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
Aaron T. Kiser - Lead Surveyor  
KSL'S-1429



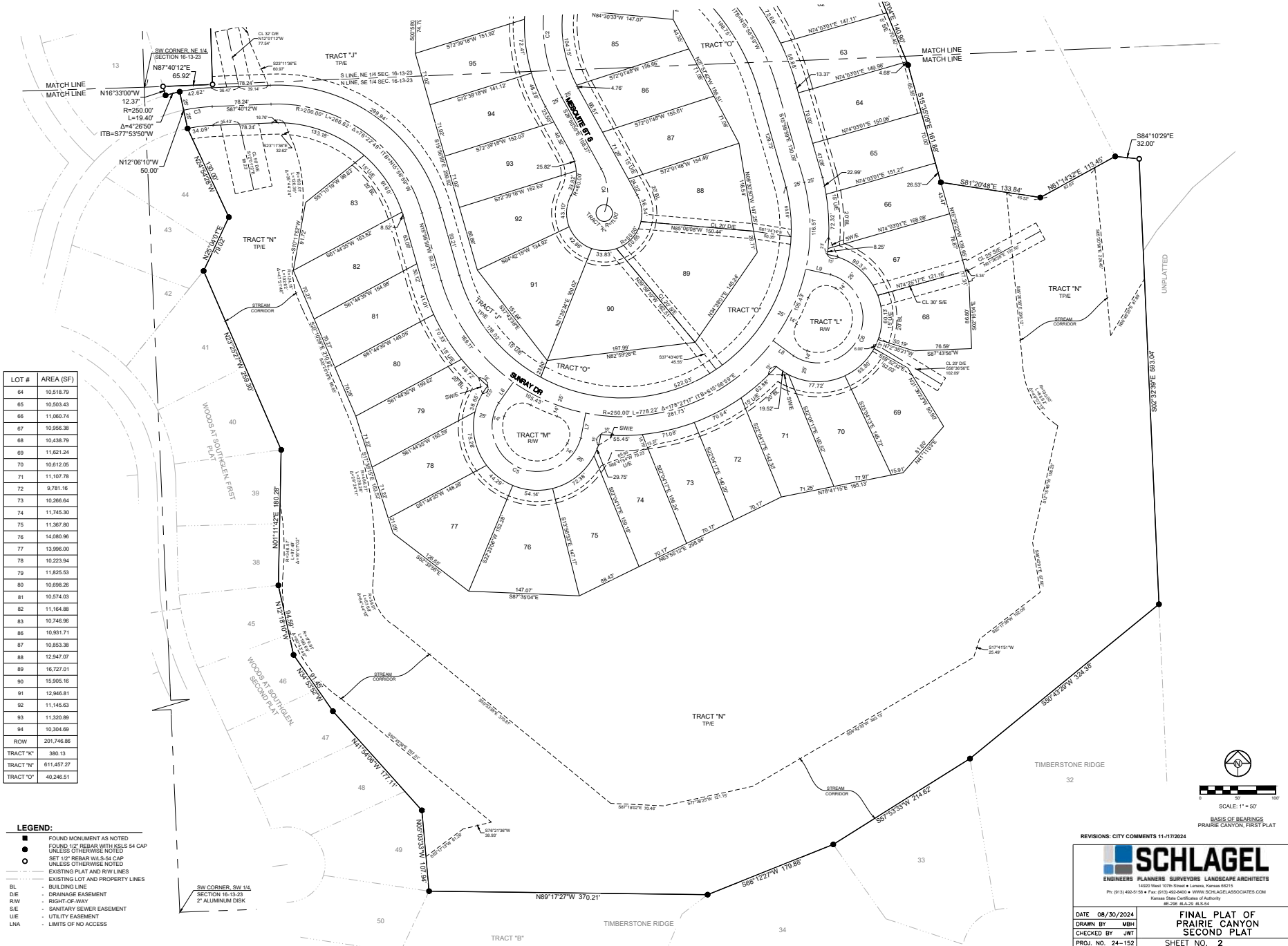
DATE 08/30/2024  
DRAWN BY MBI  
CHECKED BY JMT  
PROJ. NO. 24-1152  
SHEET NO. 1



# FINAL PLAT OF PRAIRIE CANYON, SECOND PLAT

PART OF THE NE 1/4 OF SEC. 16-13-23  
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS

Line and Curve Table			
Line # / Curve #	Length	Direction / Delta	Radius / Initial Tangent Bearing
C3	38.35	009°45'29"	225.00 S87°39'49"W
C4	59.65	048°49'29"	70.00 S28°50'55"E
C5	205.67	196°23'54"	60.00 S15°00'40"W
C6	205.67	196°23'54"	60.00 S73°43'12"E
L6	33.73	N35°17'32"E	
L7	33.73	S11°07'42"W	
L8	33.73	N53°28'20"W	
L9	33.73	S77°36'09"E	



LOT #	AREA (SF)
64	10,518.79
65	10,503.43
66	11,060.74
67	10,956.38
68	10,438.79
69	11,621.24
70	10,612.05
71	11,107.78
72	9,791.16
73	10,266.64
74	11,745.30
75	11,367.80
76	14,080.96
77	13,996.00
78	10,223.94
79	11,825.53
80	10,698.26
81	10,574.03
82	11,164.88
83	10,746.96
84	10,631.71
85	10,853.38
86	12,947.07
87	16,727.01
88	15,905.16
89	12,946.81
90	11,145.63
91	11,320.89
92	10,304.69
93	201,746.86
ROW	380.13
TRACT "K"	611,457.27
TRACT "N"	40,246.51

- LEGEND:**
- FOUND MONUMENT AS NOTED
  - FOUND 1/2" REBAR WITH XLSLS S4 CAP UNLESS OTHERWISE NOTED
  - SET 1/2" REBAR W/LSLS S4 CAP UNLESS OTHERWISE NOTED
  - EXISTING PLAT AND RW LINES
  - - - EXISTING LOT AND PROPERTY LINES
  - BL BUILDING LINE
  - D/E DRAINAGE EASEMENT
  - R/W RIGHT-OF-WAY
  - S/E SANITARY SEWER EASEMENT
  - U/E UTILITY EASEMENT
  - LNA LIMITS OF NO ACCESS

SCALE: 1" = 50'  
BASIS OF BEARINGS: PRAIRIE CANYON, FIRST PLAT

REVISIONS: CITY COMMENTS 11-17-2024

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
4400 West 107th Street • Lenexa, Kansas 66215  
Ph: (913) 492-5150 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM  
Kansas State Certificate of Authority: ME-209, R.A.-23, R.S.-54

DATE 08/30/2024	DRAWN BY MBI	<b>FINAL PLAT OF PRAIRIE CANYON SECOND PLAT</b> SHEET NO. 2
CHECKED BY JMT		
PROJ. NO. 24-112		