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vicinity map:



code review:

governing municipality: Olathe, Kansas
governing code: 2018 IBC, 2018, IEBC, 2018 IMC, 2018 IPC, 2017 NEC, 2018 IFC, 2017 A117.1 accessible & usable buildings & facilities
building areas:
carwash: 3,055 sq. ft.
coffee shop: 510 sq. ft. (calculated to exterior face of perimeter walls)
fire sprinkler: no
occupancy group: B

project description:

A new commercial development for Brogden Properties. The project primarily consists of the construction of a new coffee shop, car wash, and canopy for pay stations.

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Architectural
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A3.1 car wash elevations
A3.2 coffee shop elevations
Photometrics
PH1.0 site photometrics plan

client:

Brogden Properties
350 N Ridgeview Rd
Olathe, Kansas 66061

architect:

Chris Hafner, AIA
Davidson Architecture & Engineering, LLC
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p: 913.451.9390
e: chris@davidsonae.com

civil engineer:

Dominic LaRocca, PE
Davidson Architecture & Engineering, LLC
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p: 913.451.9390
e: dominic@davidsonae.com

landscape architect:

Nick Ferrera, PLA
GBA
9801 Renner Boulevard
Lenexa, KS 66219
p: 913.577.8466
e: nferrera@gbateam.com

MEP engineer:

Richard Curry
BC Engineers
5720 Reeder St.
Shawnee, KS 66203
p: 913.262.1772
e: richard@bcengineer.com

a proposed carwash & coffee shop for

Brogden Properties

N Ridgeview Rd
Olathe, Kansas 66061

date: 02.18.2026
drawn by: kka
checked by: DAE
revision: 01
03.16.2026

sheet number:
A0.0
drawing type:
preliminary
project number:
23285

Local Benchmarks: BM-#
BM-1: (NW Corner Existing Curb Inlet)
Elevation: 1036.77'
N: 217300.6980
E: 2223943.1060

Floodplain Note:
According to "Flood Insurance Rate Map" community Panel No. 2009100790, map revised August 3, 2009, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Property Legend
— right of way
- - - property lines
- - - easements
- - - setbacks

Grading Legend
- - - existing minor contour
- - - existing major contour
- - - proposed minor contour
- - - proposed major contour

Utility Legend
— existing
- - - proposed

Linetypes

—	sanitary main
—	sanitary service
—	storm sewer (existing)
—	storm sewer (solid wall, proposed)
—	storm sewer (perforated, proposed)
—	water main
—	water service (fire)
—	water service (domestic)
—	water service (irrigation)
—	natural gas main
—	natural gas service schematic
—	underground primary electric
—	underground secondary electric
—	overhead electric
—	underground cable/phone/data
—	underground cable/phone/data service
—	fence—chainlink
—	fence—wood
—	fence—barbed wire
—	treetline

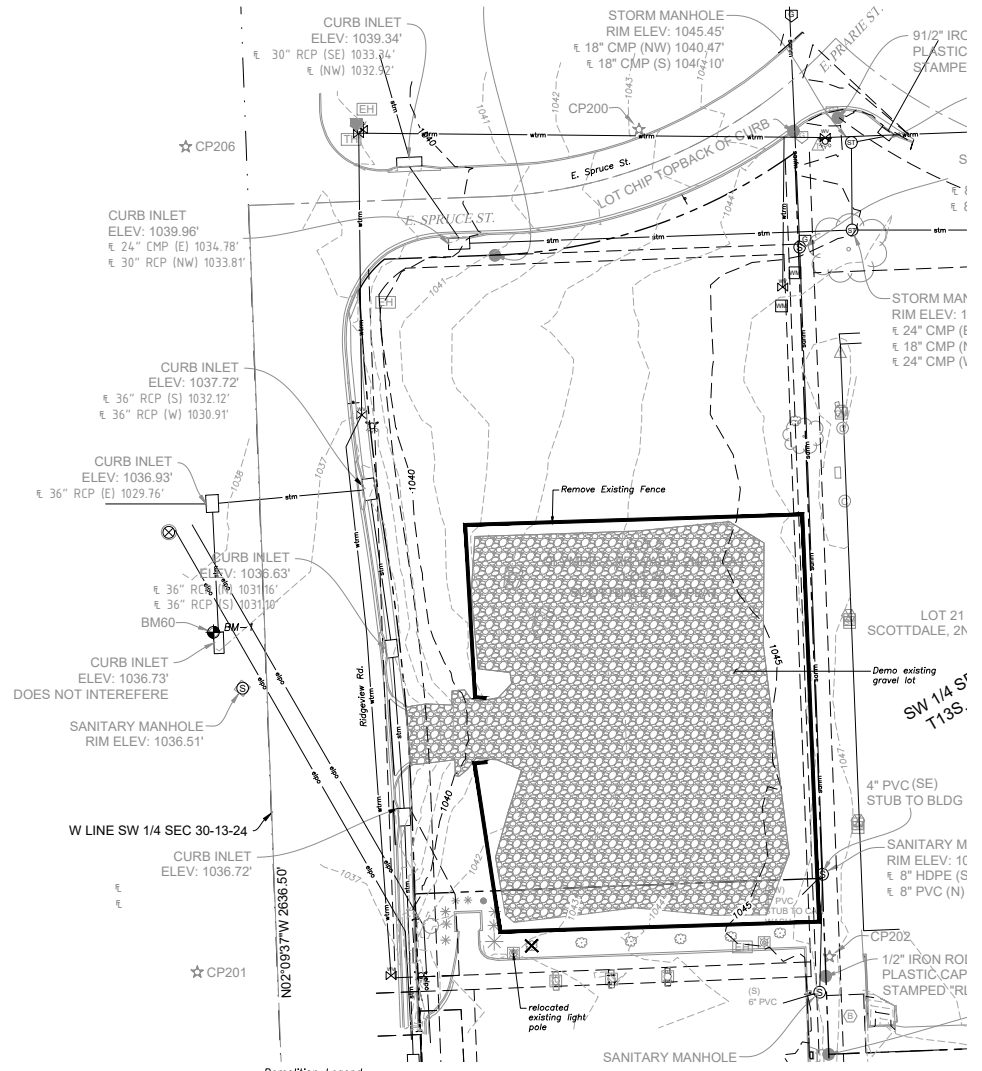
Symbols

⊙	sanitary manhole
⊙	service cleanout
⊙	force main release valve
□	rectangular structure
○	circular structure
⊕	fire hydrant
⊕	water valve
⊕	water meter
⊕	backflow preventer
⊕	natural gas meter
⊕	service transformer (pad mount)
⊕	primary switch gear
⊕	light pole
⊕	cable/phone/data junction box
⊕	street light
⊕	pedestrian street light
⊕	electric pole
⊕	guy wire
⊕	end section



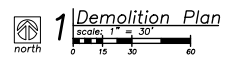
Demolition Legend

⊗	remove existing structures and associated pipe	—	existing building demolition
⊗	remove existing power/light pole and associated wiring	—	remove full depth existing pavement and curb & gutter
⊗	remove existing trees	—	remove existing retaining wall/fence
—		—	remove existing sidewalk & landscaping
—		—	Saw cut



Demolition Legend

—	Coordinate removal of existing/former gas main with utility.
—	Coordinate removal of existing/former sanitary sewer lines with city.
—	Coordinate removal of existing/former water lines with utility.
—	Remove full existing storm sewer lines and structures as shown.
—	Coordinate removal of existing/former telecom/data with utility
—	Coordinate removal of existing primary & secondary electrical with utility



a proposed carwash and coffee shop for
Brogden Properties
N Ridgeview Rd
Olathe, Kansas 66061

02.18.2026
DAE
03.16.2026
01

sheet number
C1.1
drawing type
preliminary
project number
22258

Local Benchmarks: BM-#

BM-1: (NW Corner Existing Curb inlet)
 Elevation: 1036.77'
 N: 217300.6980
 E: 2223943.1060

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 2009100790, map revised August 3, 2009, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Utility Legend

_____ existing
 _____ proposed

Utility Legend

_____	existing sanitary main
_____	existing water main
_____	existing storm sewer
_____	existing gas main
_____	existing underground electric
_____	existing overhead electric
_____	existing underground data
_____	proposed sanitary main
_____	proposed sanitary service
_____	proposed water main
_____	proposed fire line
_____	proposed water service
_____	proposed private storm sewer
_____	proposed public storm sewer
_____	proposed gas main
_____	proposed gas service
_____	proposed underground primary electric
_____	proposed underground secondary electric
_____	proposed overhead electric
_____	proposed underground data

Symbols

⊙	sanitary manhole
⊙	service cleanout
⊙	force main release valve
⊙	rectangular structure
⊙	circular structure
⊙	fire hydrant
⊙	water valve
⊙	water meter
⊙	backflow preventer
⊙	natural gas meter
⊙	service transformer (pad mount)
⊙	primary switch gear
⊙	light pole
⊙	cab/e/phone/data junction box
⊙	street light
⊙	pedestrian street light
⊙	electric pole
⊙	guy wire
⊙	end section

Construction Legend

_____	concrete pavement
_____	standard asphalt
_____	heavy duty asphalt
_____	concrete sidewalk
_____	standard curb & gutter
_____	standard dry curb & gutter
_____	temporary asphalt curb

Property Legend

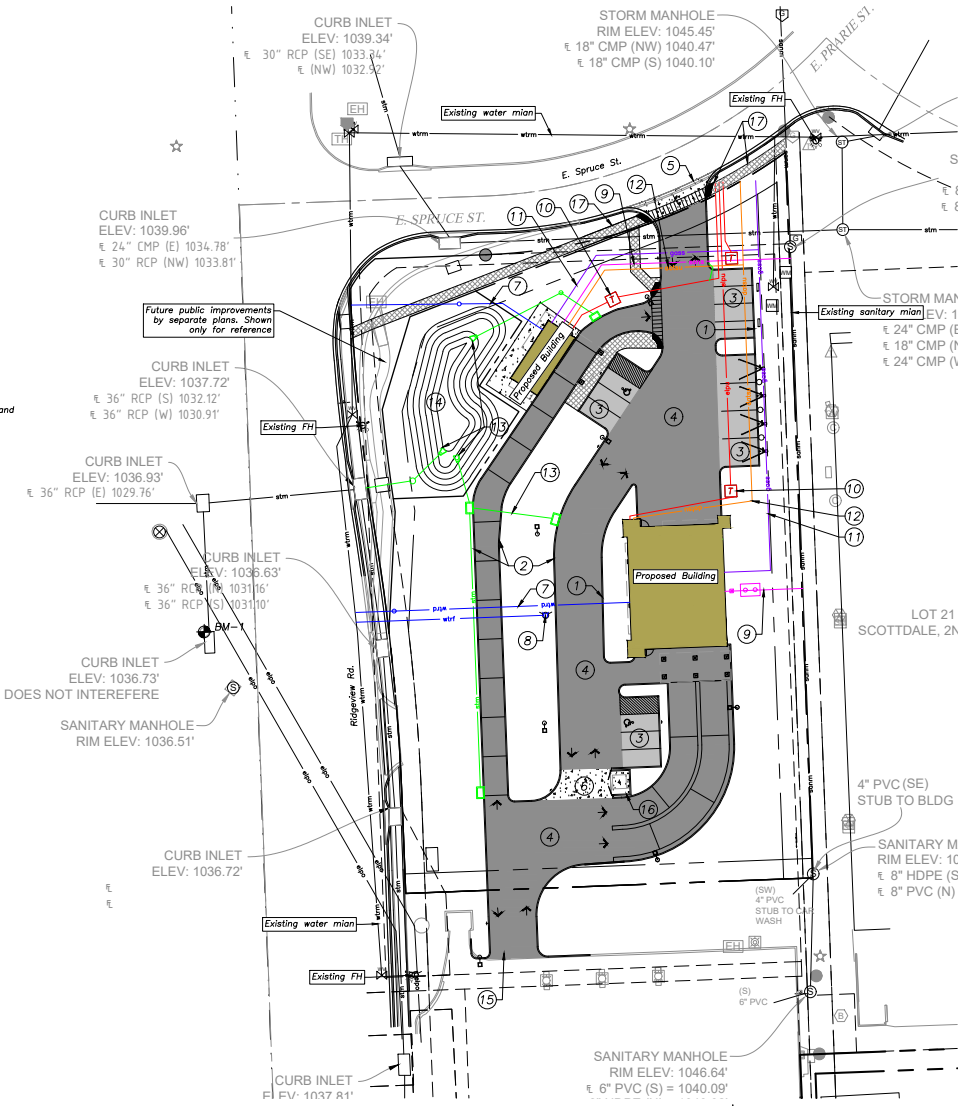
_____	right of way
_____	property lines
_____	easements
_____	setbacks

Grading Legend

_____	existing minor contour
_____	existing major contour
_____	proposed minor contour
_____	proposed major contour

Construction Notes:

1. Construct type "CC-1 dry" curb & gutter where indicated (see legend).
2. Construct type "CC-1 wet" curb & gutter where indicated (see legend).
3. Construct standard asphalt pavement where indicated (see legend).
4. Construct heavy duty asphalt pavement where indicated (see legend).
5. Construct concrete commercial drive entrance per city of Olathe standards. existing curb and gutter, shall be removed to all for entrance construction.
6. Construct heavy duty concrete pavement where indicated (see legend).
7. Proposed domestic water service line.
8. Proposed private fire hydrant.
9. Proposed sanitary sewer service line with sand/oil separator.
10. Proposed electrical service, to be coordinated with Evergy.
11. Proposed natural gas service line, to be coordinated with local provider.
12. Proposed data/telecom service line, to be coordinated with local provider.
13. Proposed private storm sewer.
14. Proposed detention basin.
15. Existing light pole to be relocated.
16. Proposed trash enclosure, Re: Arch.
17. Proposed sidewalk and ADA ramps.



1 Civil Site & Utility Plan
 scale: 1" = 30'
 north



Know what's below.
 Call before you dig.

a proposed carwash and coffee shop for

Brogden Properties

N Ridgeview Rd
 Olathe, Kansas 66061

date: 02.18.2026
 drawn by: DAE
 checked by: DAE
 revise: DAE
 03.16.2026 01

sheet number
C1.2
 drawing type
 preliminary
 project number
 25265

Local Benchmarks: BM-#

BM-1: (NW Corner Existing Curb inlet)
 Elevation: 1036.77'
 N: 217300.6980
 E: 2223943.1060

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 2009100790, map revised August 3, 2009, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Utility Legend

_____ existing
 _____ proposed

Linetypes

_____	sanitary main
_____	sanitary service
_____	storm sewer (existing)
_____	storm sewer (solid wall, proposed)
_____	storm sewer (solid wall, proposed)
_____	storm sewer (perforated, proposed)
_____	water main
_____	water service (fire)
_____	water service (domestic)
_____	water service (irrigation)
_____	natural gas main
_____	natural gas service schematic
_____	underground primary electric
_____	underground secondary electric
_____	overhead electric
_____	underground cable/phone/data
_____	underground cable/phone/data service
_____	fence-chainlink
_____	fence-wood
_____	fence-barbed wire
_____	treeline

Symbols

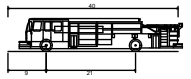
- ⊙ sanitary manhole
- ⊕ service cleanout
- ⊕ force main release valve
- ▭ rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
- ⊕ water meter
- ⊕ backflow preventer
- ⊕ natural gas meter
- ⊕ service transformer (pad mount)
- ⊕ primary switch gear
- ⊕ light pole
- ⊕ cable/phone/data junction box
- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- guy wire
- ⊕ end section

Property Legend

- _____ right of way
- _____ property lines
- _____ easements
- _____ setbacks

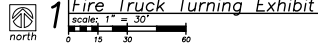
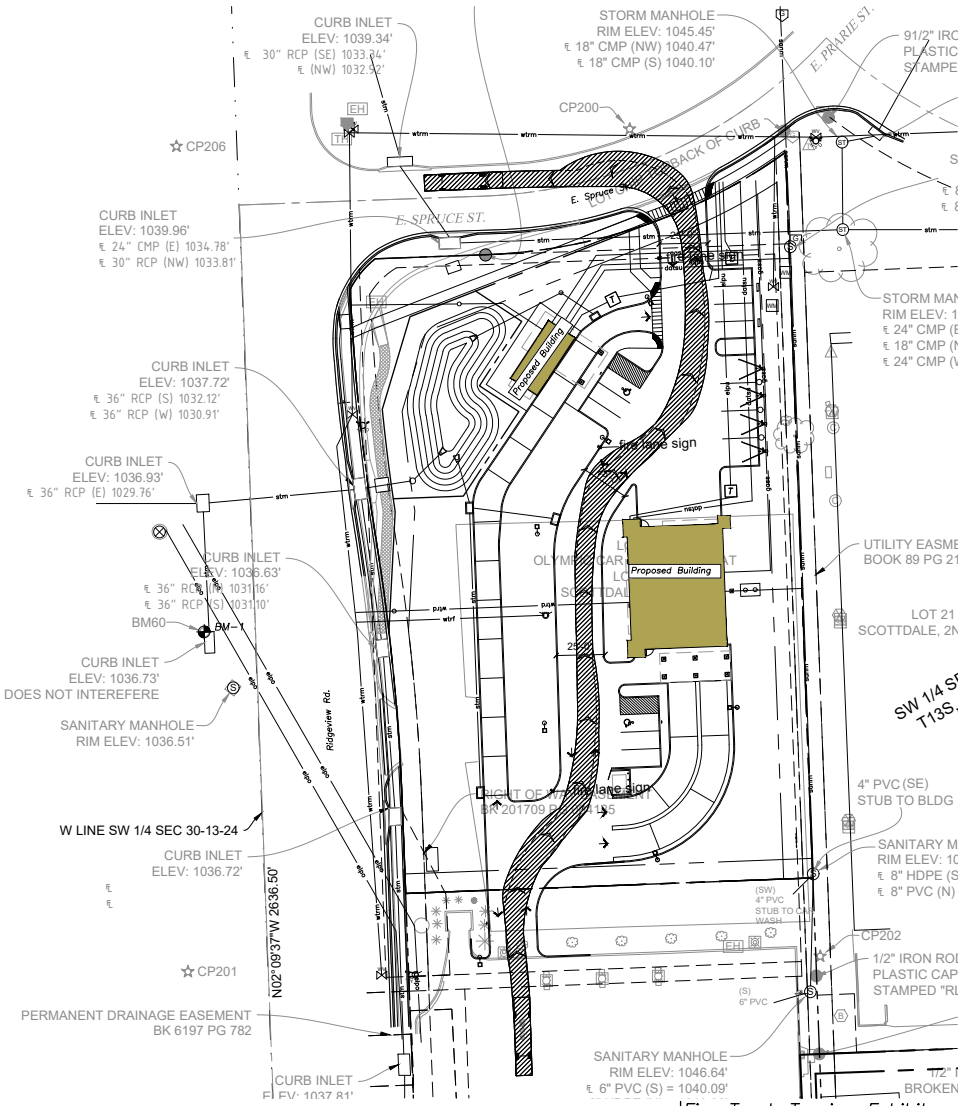
Grading Legend

- _____ existing minor contour
- _____ existing major contour
- _____ proposed minor contour
- _____ proposed major contour



Olathe Fire Truck

Overall Length	40.00ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.06s
Wall to Wall Turning Radius	47.56ft



Know what's below.
 Call before you dig.

a proposed carwash and coffee shop for

Brogden Properties

N Ridgeview Rd
 Olathe, Kansas 66061

date: 02.18.2026
 drawn by: DAE
 checked by: DAE
 date: 03.16.2026

sheet number: **C1.3**
 drawing type: preliminary
 project number: 25265

Local Benchmarks: BM-#

BM-1: (NW Corner Existing Curb Inlet)
 Elevation: 1036.77'
 N: 217300.6980
 E: 2223943.1060

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 2009100792, map revised August 3, 2009, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

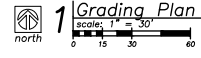
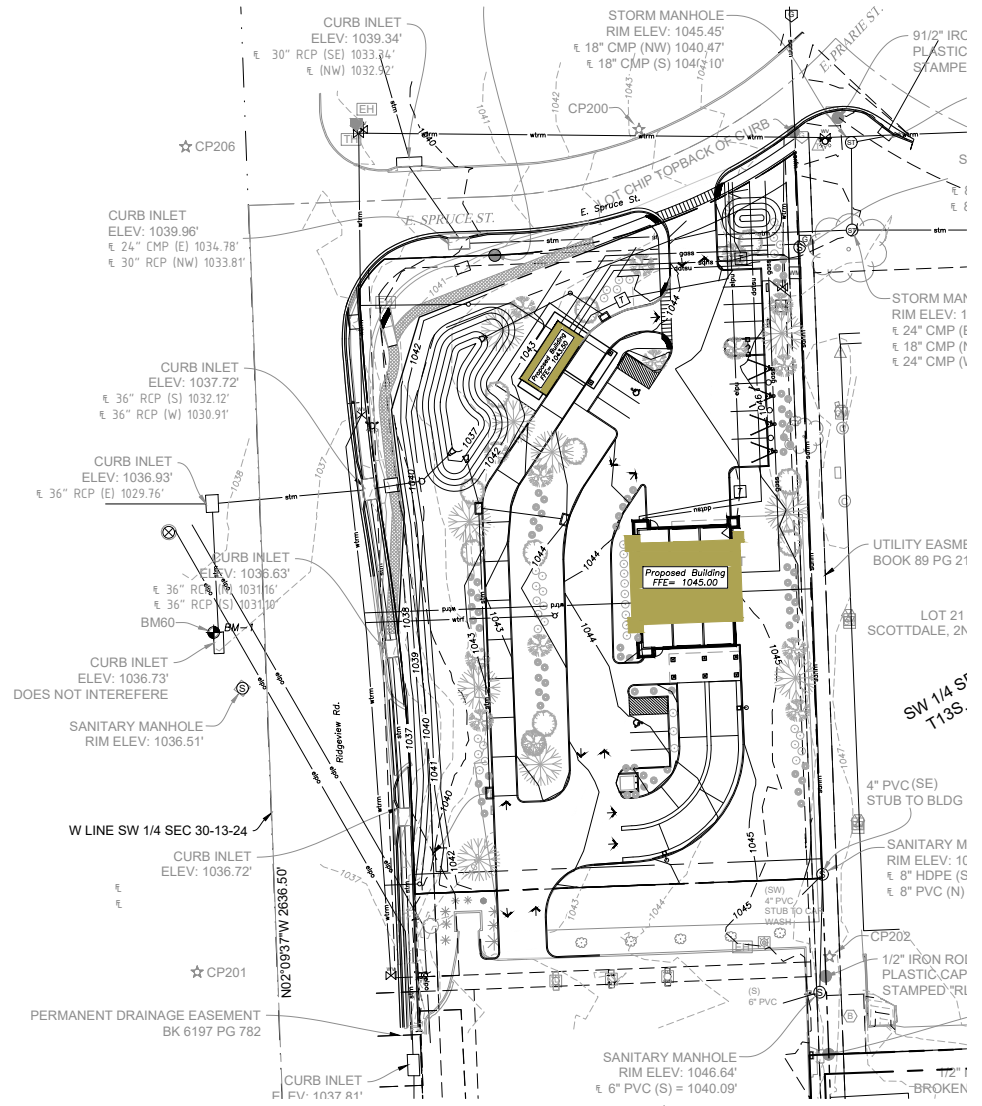
- existing
- proposed

Linetypes

- sanitary main
- sanitary service
- storm sewer (existing)
- storm sewer (solid wall, proposed)
- storm sewer (perforated, proposed)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground cable/phone/data
- underground cable/phone/data service
- fence-chainlink
- fence-wood
- fence-barbed wire
- treeline

Symbols

- ⊙ sanitary manhole
- ⊙ service cleanout
- ⊙ force main release valve
- rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
- ⊕ water meter
- ⊕ backflow preventer
- ⊕ natural gas meter
- ⊕ service transformer (pad mount)
- ⊕ primary switch gear
- ⊕ light pole
- ⊕ cable/phone/data junction box
- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- ⊕ guy wire
- ⊕ end section



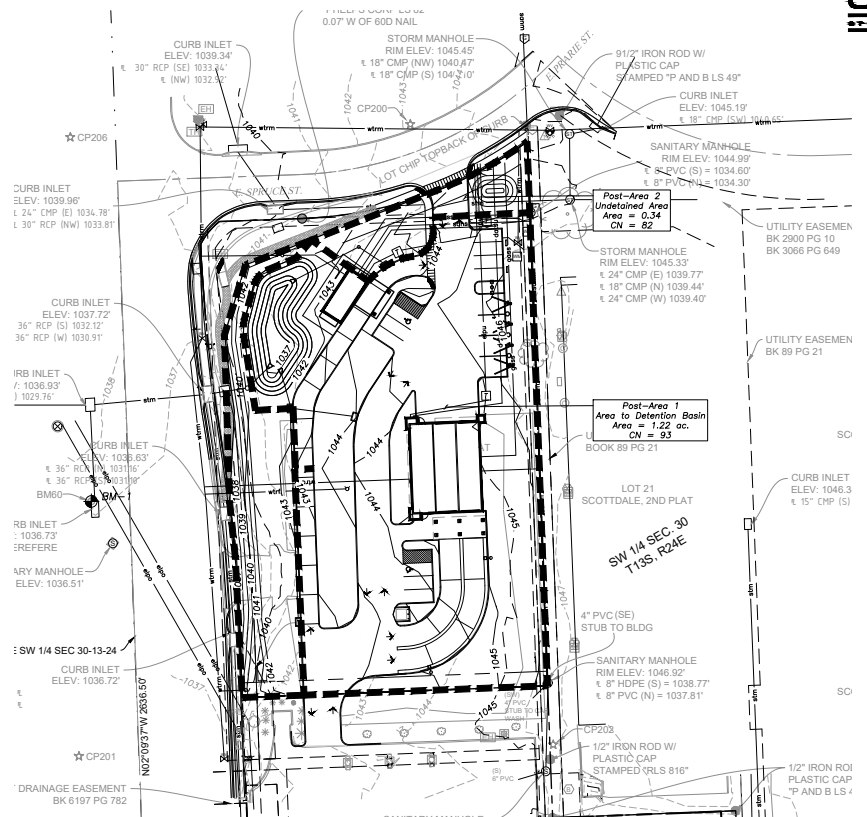
a proposed carwash and coffee shop for
Brogden Properties
 N Ridgeview Rd
 Olathe, Kansas 66061

02.18.2026
 DAE
 DAE
 DAE
 revisions
 03.16.2026



Know what's below.
 Call before you dig.

sheet number
C2.1
 drawing type
 preliminary
 project number
 22258



1 Existing Drainage Area Map
 Scale: 1" = 40'
 north

2 Proposed Drainage Area Map
 Scale: 1" = 40'
 north

Local Benchmarks: BM-#

BM-1: (NW Corner Existing Curb Inlet)
 Elevation: 1036.77'
 N: 217300.6980
 E: 2223943.1060

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 2009100790, map revised August 3, 2009, as published by the Federal Emergency Management Agency, this property lies within flood zone "X" (areas of minimal flooding).

Symbol Legend

- | | | | |
|---|--------------------------|---|---------------------------------|
| ⊙ | sanitary manhole | T | service transformer (pad mount) |
| ⊙ | service cleanout | □ | primary switch gear |
| ⊙ | force main release valve | ⊙ | light pole |
| □ | rectangular structure | ⊙ | cable/phone/data junction box |
| ○ | circular structure | ⊙ | street light |
| ⊙ | fire hydrant | ⊙ | pedestrian street light |
| ⊙ | water valve | ⊙ | electric pole |
| M | water meter | → | guy wire |
| ⊙ | backflow preventer | ⊙ | end section |
| ⊙ | natural gas meter | | |

Utility Legend

- | | | | |
|-------|----------|---|--------------------------------------|
| — | existing | — | sanitary main |
| - - - | proposed | — | sanitary service |
| — | | — | storm sewer (existing) |
| — | | — | storm sewer (solid wall, proposed) |
| — | | — | storm sewer (perforated, proposed) |
| — | | — | water main |
| — | | — | water service (fire) |
| — | | — | water service (domestic) |
| — | | — | water service (irrigation) |
| — | | — | natural gas main |
| — | | — | natural gas service schematic |
| — | | — | underground primary electric |
| — | | — | underground secondary electric |
| — | | — | overhead electric |
| — | | — | underground cable/phone/data |
| — | | — | underground cable/phone/data service |
| — | | — | fence-chainlink |
| — | | — | fence-wood |
| — | | — | fence-barbed wire |
| — | | — | treeline |

Drainage Legend

- drainage area

Property Legend

- right of way
 - - - property lines
 - - - easements
 - - - setbacks

Grading Legend

- - - existing minor contour
 - - - existing major contour
 - - - proposed minor contour
 - - - proposed major contour

a proposed carwash and coffee shop for

Brogden Properties

N Ridgeview Rd
 Olathe, Kansas 66061

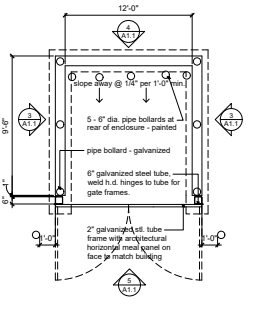
02.18.2026
 checked by
 DAE
 03.16.2026

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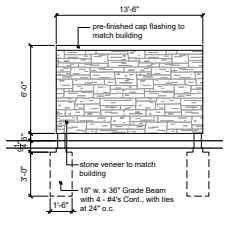


Know what's below.
 Call before you dig.

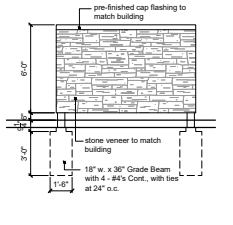
sheet number
C3.1
 drawing type
 preliminary
 project number
 22258



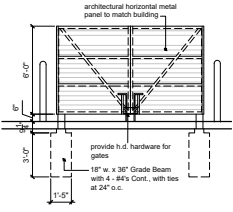
2 trash enclosure plan
scale: 1/4" = 1'-0"



3 trash enclosure detail
scale: 1/4" = 1'-0"



4 trash enclosure plan
scale: 1/4" = 1'-0"



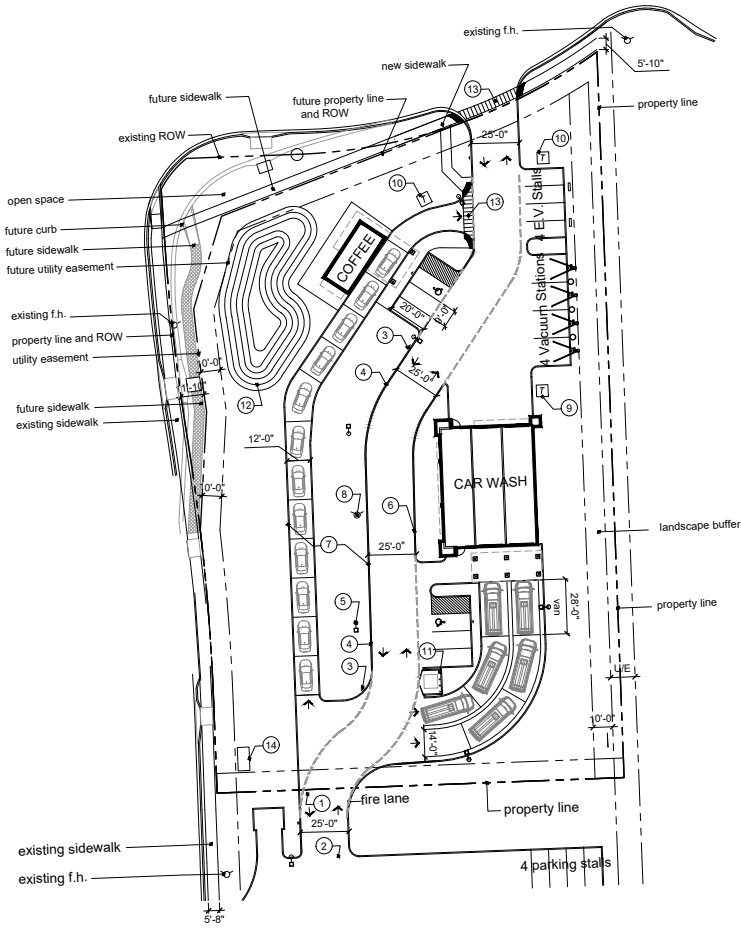
5 trash enclosure details
scale: 1/4" = 1'-0"

site data				
site data	existing	proposed	alternative requested	approved
zoning	C-3	C-3	no	
gross land area				
in square feet	0	88,066	no	
in acres	0	0.82	no	
impervious area				
in square feet	0	38,931	no	
in acres	0	.89	no	
percentage	0	54%	no	
open space				
in square feet	0	29,135	no	
in acres	0	.67	no	
percentage	0	46%	no	
right of way dedication				
in square feet	0	4,356	no	
in acres	0	.10	no	
right of way vacation				
in square feet	0	0	no	
in acres	0	0	no	
net land area				
in square feet	0	29,135	no	
in acres	0	0.82	no	
building area (sq. ft.)	0	3,565	no	
floor area ratio	0	5%	no	
lots				
residential	0	0	no	
public/civic	0	0	no	
commercial	0	2	no	
industrial	0	2	no	
other	0	0	no	

building data				
building data	required	proposed	alternative requested	approved
front setback (optional st. row)	42'-0"	42'-0"	no	
front setback (other st. row)	15'-0"	15'-0"	no	
side setback	10'-0"	10'-0"	no	
paving setback (from st. row)	15'-0"	15'-0"	no	
paving setback (from prop. line)	33'-0"	33'-0"	no	
height (carwash)	25'-0"	25'-0"	no	

parking data					
parking data	vehicle spaces		bike spaces		alternative requested
	required	proposed	required	proposed	
proposed use(s)					
commercial	4	4 (2 ADA and 4 E.V.)	-	-	no
short term bicycle	-	-	3	0	yes
long term bicycle	-	-	1	0	yes
total	0	14	4	0	yes

development summary data								
name	use	height	no. floors	usage	area (sf)	employees	parking spaces required	parking spaces provided
Brogden Coffee Shop	commercial	20'	1	coffee shop	510	2	2	2 (+ 1 ADA)
total					510	2	2	2 (+ 1 ADA)



1 site plan
scale: 1" = 30'-0"

General Notes:

- All construction shall conform to the standards and specifications of the city of Olathe, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping and shall be painted to match the primary adjacent wall color.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.
- GC shall provide fire extinguishers as required per the city of Olathe.
- GC shall provide unit #'s and bldg's per ownership and the city of Olathe requirements.
- All signage must comply with UDO and must be approved administratively through a separate application.

Construction Notes:

- Furnish and install concrete drive per civil and Geotech requirements.
- Coordinate access drive with existing paving conditions and match existing elevations per Civil Engineer.
- Furnish and install permanent sign stating "NO PARKING - FIRE LANE" per IFC Section D103.6. Verify quantity and final location with Fire Marshal.
- Furnish and install a painted yellow stripe on curb with the words "NO PARKING - FIRE LANE" no more than 100' apart per OMC 16.05.20, IFC amended Section 503.3.
- Furnish and install exterior pole mounted light per MEP.
- Lighting to meet City of Olathe standards and to match existing.
- Furnish and install standard depth concrete curb and dry gutter per civil.
- Furnish and install standard depth concrete curb and wet gutter per civil.
- Furnish and install new fire hydrant, refer to civil, provide bollard protection as required.
- Transformer per Civil and Electrical.
- Future transformer per Civil and Electrical.
- Trash enclosure per details.
- On site detention: refer civil.
- Pedestrian crosswalk striping.
- Monument signage.

a proposed carwash and coffee shop for
Brogden Properties
N Ridgeview Rd
Olathe, Kansas 66061

02.18.2026
kka
DAE
03.16.2026

sheet number
A1.1
drawing type
preliminary
project number
25285