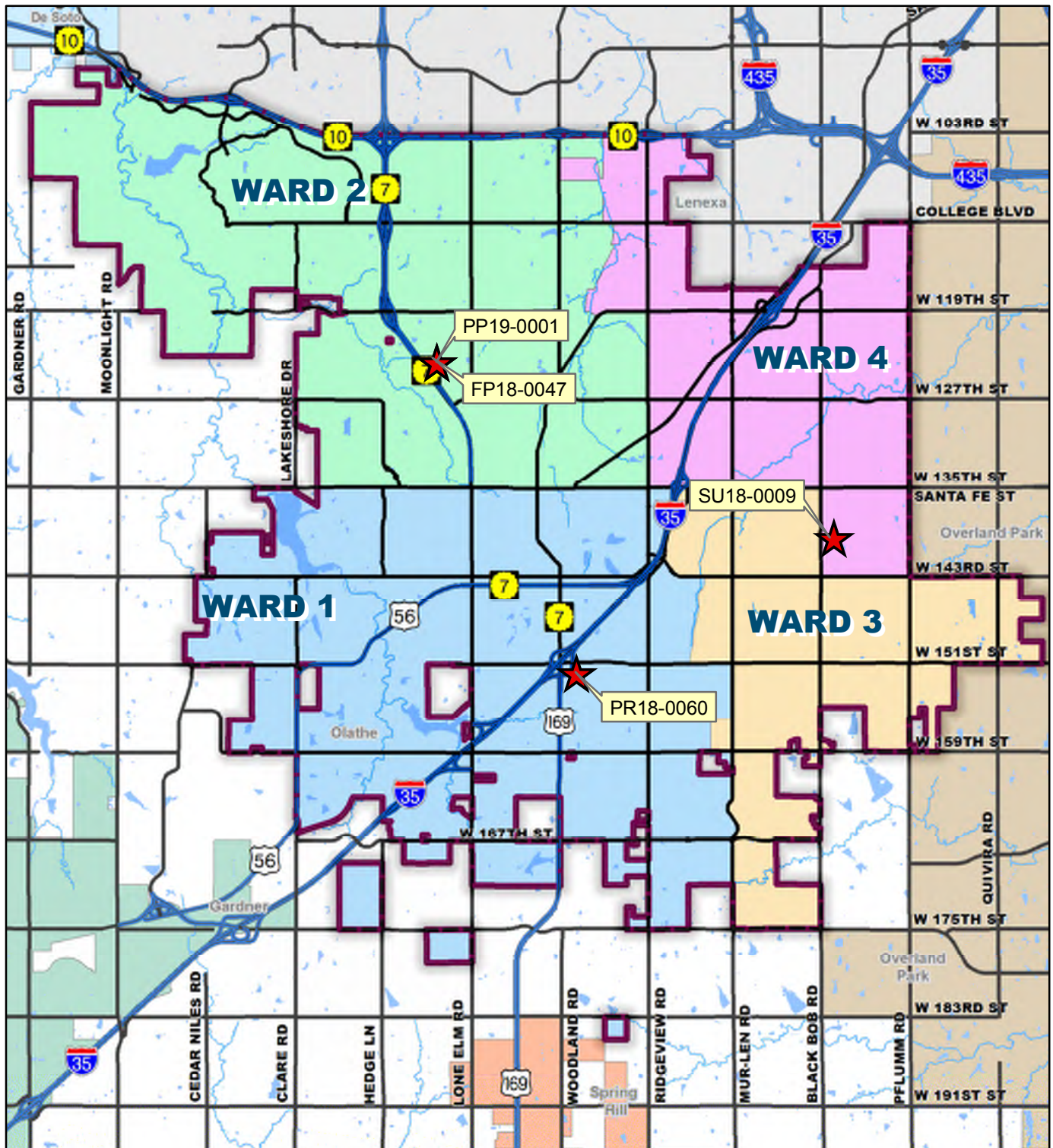


FEBRUARY 25, 2019

OLATHE PLANNING COMMISSION

CASE LOCATIONS



User: jaredmd
Date: 02/20/2019





CALL TO ORDER

PLEDGE OF ALLEGIANCE

QUORUM ACKNOWLEDGEMENT

CONSENT AGENDA

- A. **MN19-0211:** Standing approval of the minutes as written from the February 11, 2019 Planning Commission meeting.
- B. **PR18-0060:** Request approval for a preliminary site development plan for **Shield Storage of Olathe** on 3.09± acres; located southeast of the intersection of W. 151st Street and US 169 Highway.
Owner: Greg Prieb, Prieb Properties, LLC.
Applicant: Justin Lee, Greenscape Development Partners
Architect: Brett Napier, Napier Engineering

REGULAR AGENDA-NEW BUSINESS

- A. **PP19-0001:** Request approval for a preliminary plat for **Parkview Apartments** containing 1 lot and 1 tract for Apartments on 29.87± acres; located in the vicinity of 124th Street and South Aurora Street.
Owner / Applicant: Greg Prieb, Prieb Homes
Engineer: Judd Claussen, Phelps Engineering
- B. **FP18-0047:** Request approval for a final plat for **Parkview Apartments** containing 1 lot and 1 tract for Apartments on 29.87± acres; located in the vicinity of 124th Street and South Aurora Street.
Owner / Applicant: Greg Prieb, Prieb Homes
Engineer: Judd Claussen, Phelps Engineering
- C. **PUBLIC HEARING**
SU18-0009: Request approval for a special use permit to allow Funeral Home in the AG District; **Oak Lawn Memorial Cemetery**, located at 13901 S. Black Bob Road.
Owner/Applicant: Patrick McGilley, D.W. Newcomer's & Sons
Engineer: Jeff Skidmore, Schlagel & Associates

ANNOUNCEMENTS

ADJOURNMENT



City of Olathe Planning Commission Minutes

100 E. Santa Fe

Planning Division Conference Room

Monday | February 11, 2019 | 6:00PM

CALL TO ORDER

Present: Vakas, Rinke, Nelson, Munoz, Freeman, and Fry

Absent: Sutherland and Corcoran

Others in attendance were Aimee Nassif, Chief Planning and Development Officer, and Rachelle Breckenridge, Assistant City Attorney II.

EXECUTIVE SESSION

- A.** Consideration of a motion to recess into an executive session for consultation with the City's attorney which would be deemed privileged in the attorney-client relationship pursuant to exception in K.S.A. 75-4319(b)(2) pertaining to a rezoning and special use permit application.

Motion by Chair Vakas, seconded by Fry, to recess into an executive session for consultation with the City's attorney which would be deemed privileged in the attorney-client relationship pursuant to exception in K.S.A. 75-4319(b)(2) pertaining to a rezoning and special use permit application. The motion carried by the following vote:

Yes: Rinke, Nelson, Munoz, Freeman

Absent: Sutherland and Corcoran

The open meeting will resume at 7:00 p.m. in Council Chambers

RECONVENED FROM EXECUTIVE SESSION

The meeting reconvened, Chair Vakas announced the executive session would continue at a later point in the meeting.



City of Olathe

City Planning Division

MINUTES – Opening Remarks

Planning Commission Meeting: February 11, 2019

The Planning Commission convened at 7:00 p.m. to meet in regular session with Chairman Dean Vakas presiding. Commissioners Michael Rinke, Jeremy Fry, Jose Munoz, Jr., Ryan Nelson and Ryan Freeman were present. Commissioner Chip Corcoran and Commissioner Barry Sutherland were absent.

Recited Pledge of Allegiance.

The Chair made introductory comments. Regarding *ex parte* communication, the Chair asked that if a commissioner had something to report, that they specify the nature of the *ex parte* communication as that item is reached in the agenda.

A motion to approve MN19-0128, the meeting minutes from January 28, 2019, was made by Comm. Fry and seconded by Comm. Freeman and passed with a vote of 6-0.



City of Olathe
City Planning Division

MINUTES

Planning Commission Meeting: February 11, 2019

Application:	<u>RZ18-0022</u> Rezoning from CTY RUR to R-3 district and preliminary site development plan for Brentwood Senior Apartments
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Dan Fernandez, Planner II, appeared before the Planning Commission, summarizing this request to rezone from County Rural to R-3, and presenting a preliminary site development plan for Brentwood Senior Apartments. He noted that the subject property is located in the vicinity of 155th Street and Brentwood Street. The preliminary site development plan includes a 2-story senior living apartment building with 48 units. The site is currently vacant.

Mr. Fernandez reported that a neighborhood meeting was held and attended by approximately 31 people. Staff also received letters from two residents concerned about this project, which are included in the packet. Issues brought up at the meeting and in the letters include landscape buffers, stormwater, lighting, and utility box screening.

Mr. Fernandez presented a picture of the vacant site and the site plan, indicating four-plexes, single-family homes, and an existing church adjacent to the property. The property is surrounded by R-1 single-family zoning on the north and east as well as RP-3 low density multifamily development. Mr. Fernandez also indicated M-2 industrial in the area, as well.

Mr. Fernandez presented the landscape plan and noted that per UDO requirements, a Type 3 buffer is required for properties zoned R-3 when adjacent to R-1 zoned property, which in this case is to the north and the east. Therefore, a Type 3 buffer will be installed on the north and east elevations, including a six-foot fence to the north and a six-foot berm on the east elevation. Mr. Fernandez noted there is no landscape buffer requirement for properties that are R-3 to R-3, which is to the south. However, the applicant added a 20-foot buffer with a line of deciduous and evergreen trees. He added that staff stipulated that additional evergreen trees be planted on the south side because they feel evergreens provide better screening.

Mr. Fernandez presented photometric elevations showing zero foot-candles at the property lines, which complies with UDO standards. Also, two stormwater detention basins will be included for stormwater detention. Also, per UDO requirement, all mechanical equipment will be screened.

Mr. Fernandez added that the City is currently developing policies and practices aimed at aging in place, called Communities for All Ages initiative. Therefore, when senior housing projects such as these come up, staff strives to ensure that the goals of that initiative are met.

Mr. Fernandez reported that the building meets Category B Design Guideline requirements for features such as horizontal and vertical articulation, focal point element, and exceeding the building material requirements. He added that two waivers are being requested. One is for the

amount of glass on the north and west elevations. As proposed, those elevations have 16 percent glass where 25 percent is required. The second waiver is for the residential finished floor elevation being a minimum of 18 inches above the sidewalk. Mr. Fernandez stated that staff is supportive of both waiver requests. In summary, **Mr. Fernandez** said staff recommends approval of this rezoning. He was available for questions.

Comm. Rinke asked if there will be carports. **Mr. Fernandez** responded that there will not be any carports. All parking will be surface parking.

Chair Vakas opened the public hearing and asked the applicant to come forward. **Kim Lingle, MBL Development**, 16405 Turnberry, approached the podium. Mr. Lingle commented he has been in the senior housing business for 25 years and says senior housing is an acute problem. He believes there is a tremendous need for housing such as this in Olathe. He says he has worked diligently with staff and feels they have met or exceeded all guidelines.

Chair Vakas asked if anyone present wished to speak on this item. **Gloria Rowlett**, 15557 Hillside Street, approached the podium. She said she built her villa three months ago and paid \$300,000 for her home. She said they are not "duplexes," this is her home. She said the south side of this property where her villa is located has not been addressed. She would like to see a privacy fence or berm on the south side. She wants the existing residents to the south to be taken into consideration and protected. In response, **Mr. Fernandez** said he has spoken to the applicant about the south side of the property, which slopes down. Staff suggested raising that area or adding a berm or fence to help with screening. He said the applicant is agreeable to look at these proposals.

There were no further comments. **Chair Vakas** called for a motion to close the public hearing.

Motion by Comm. Freeman, seconded by Comm. Nelson, to close the public hearing.

Motion passes 6-0.

Chair Vakas noted that this application is fairly straightforward. He asked Mr. Fernandez to again state the solution to Mr. Rowlett's concern and ask if staff's recommendations need to be modified. **Mr. Fernandez** said no because at this time it's unknown what type of screening will be provided. He said noting on the record the Planning Commission's request for that to be addressed at the final site development plan will suffice. He will contact Ms. Rowlett with whatever solution is determined to be best.

Motion by Comm. Munoz, seconded by Comm. Freeman, to recommend approval of RZ18-0022, for the following reasons:

- (1) The proposed development complies with the policies and goals of the *Comprehensive Plan* for Housing and Neighborhoods (Principle HN-1.8 HN-2.1 and HN-2.5).
- (2) The requested rezoning to R-3 district meets the *Unified Development Ordinance (UDO)* criteria for considering zoning applications.
- (3) The proposed development as stipulated meets composite design standards for **Site Design Category 3** (*UDO 18.15.115*) and **Building Design Category B** (*UDO 18.15.030*).

Comm. Munoz's motion included recommending that the following stipulations, as stated in the Staff's report, be included in the ordinance:

- (1) A final plat shall be approved and recorded, and all excise fees paid prior to issuance of a building permit.
- (2) A final site development plan shall be approved prior to submitting for building permit.

Comm. Munoz's motion included recommending approval of the preliminary site development plan with the following stipulations to be addressed with revised preliminary site development plans or final site development plans, as stated in Staff's report:

- (1) A waiver shall be granted to permit a minimum of 16% glass on the primary elevations (west and north).
- (2) A waiver shall be granted to permit the residential finished floor elevation to be less than 18 inches as required by Site Design Category 3.
- (3) The dormers shall be in proportion and match the roof pitch of the building with a full appearance of being functional and operational.
- (4) Additional evergreen trees shall be included along the south property line for additional screening with the final site development plan.
- (5) Shrubs shall be added to the west side of the large detention basin with the final site development plan as required by the *UDO*.
- (6) All mechanical equipment (building, ground or roof mounted) shall be screened per *UDO* requirements.

Aye: Freeman, Nelson, Rinke, Fry, Munoz, Vakas (6)

No: (0)

Motion was approved 6-0.



City of Olathe
City Planning Division

MINUTES

Planning Commission Meeting: February 11, 2019

Application:	<u>SU18-0009</u> Special use permit for a funeral home (Oak Lawn Cemetery)
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The applicant did not schedule the neighborhood meeting at least 20 days prior to the original Planning Commission date for this application so the case needs to be continued for this UDO requirement to be met.

Motion by Commissioner Nelson, seconded by Commissioner Munoz, to continue SU18-0009 to a future Planning Commission meeting.

Motion passes 6-0.



City of Olathe
Planning Division

DISCUSSION MINUTES

Planning Commission Meeting: February 11, 2019

Subject:	Discussion of Unified Development Ordinance Amendments
Applicant:	City of Olathe
Staff Contact:	Zachary Moore, Planner II

Zachary Moore, Planner II, gave an update on proposed changes to the Unified Development Ordinance's architectural regulations, Chapter 18.15, currently known as Composite Building Design standards. Key objectives for updating this chapter include increasing clarity, update examples, ensure the building materials code is up to date with industry standards, and to continue to achieve the quality of development that is desired.

Mr. Moore provided a proposed outline of the revised Chapter and provided brief overviews of each subsection.

Mr. Moore provided a timeline of next steps, noting that a workshop will be held on Wednesday morning, February 13th, with the local development community. On February 25th, there will be a workshop with Planning Commissioners, seeking input and feedback. A public hearing is scheduled for March 2019, moving on to City Council in April 2019.

Mr. Moore noted that no action is needed this evening by the Planning Commission. He was available for questions.

Comm. Fry recalled when the UDO was created, one of the ideas was creating the composite standards model to make it easier for developers to know what the City expected. Comm. Fry is nervous about moving away from the idea of composite standards as a purpose for design. He wants to make sure that is the most appropriate philosophic change to make. **Mr. Moore** said staff is taking elements of the composite standards into consideration, and are looking to take the best parts of the composite standards and enhance them.

There were no other questions or comments. **Chair Vakas** noted that after the regular meeting adjourns, they would reconvene in executive session.

Aimee Nassif, Chief Planning and Development Officer, thanked everyone and looks forward to the upcoming workshop.



City of Olathe
City Planning Division

MINUTES – Other Matters

Planning Commission Meeting: February 11, 2019

Chair Vakas noted that the next Planning Commission meeting is scheduled for Monday, February 25, 2019, at 7:00 p.m.

Meeting adjourned.



EXECUTIVE SESSION

- B.** Consideration of a motion to return to Executive Session to continue discussing earlier executive session item and entertained a motion.

Motion by Chair Vakas, seconded by Fry, to return into executive session for 30 minutes to continue discussion of the earlier executive session item. Motion carried by the following votes:

Yes: Rinke, Nelson, Munoz, Freeman

Absent: Sutherland and Corcoran

Meeting recessed into executive session at 7:30 p.m.

- C.** Consideration of a motion to extend executive session for 15 minutes.

Motion by Chair Vakas, seconded by Munoz, to extend executive session for 15 minutes. Motion carried by the following votes:

Yes: Rinke, Nelson, Fry, Freeman

Absent: Sutherland and Corcoran

RECONVENE FROM EXECUTIVE SESSION

The meeting reconvened at 8:15 p.m.

There were no motions coming out of executive session and Chair Vakas noted that the Planning Commission met in executive session and received information from staff, but the Planning Commission is not taking any action regarding that information.



City of Olathe
City Planning Division

STAFF REPORT

Planning Commission Meeting: February 25, 2019

Application:	<u>PR18-0060:</u> Preliminary Site Development Plan for Shield Storage
Location:	Southeast of the intersection of W. 151 st Street and US 169 Highway
Owner/Applicant:	Justin Lee; Greenscape Development Partners
Engineer:	Brett Napier; Napier Engineering
Staff Contact:	Zachary Moore, Planner II

Site Area: 3.08± acres **Proposed Use:** Mini-warehouse storage facility with storage lot for boats and recreational vehicles

Zoning: M-2

Building Area: 124,800 square feet **Plat:** McCray Lumber, 2nd Plat

	Plan Olathe Land Use Category	Use	Current Zoning	Site Design Category	Building Design Category
Site	Industrial Area	Vacant	M-2	6	F
North	Industrial Area/ Employment Area	Warehouse	M-2	-	-
South	Industrial Area	Warehouse/office and Outdoor Storage	M-2	-	-
East	Industrial Area	Office and Landscape Supply	M-2	-	-
West	Industrial Area	Interstate-35 Right-of-Way	M-2	-	-

1. Proposal:

The applicant is requesting approval of a preliminary site development plan for a three-story indoor self-storage building with associated outdoor recreational vehicle and boat storage.

Mini-Warehouse buildings and storage lots are allowed uses in the M-2 (Heavy Industrial) District. Preliminary site development plans are required for all proposed nonresidential uses, unless a preliminary site development plan for the proposed development was already approved as part of the existing zoning district. There has never been a preliminary site development plan approved for the subject property, therefore, this application is required. Preliminary site development plans for uses that are permitted by right in their applicable zoning district require approval by the Planning Commission.

The proposed development consists of a 3-story mini-warehouse facility for indoor storage with an outdoor storage lot with stalls for recreation vehicles and boats. The storage lot includes fencing and landscaping for screening.

2. History:

The subject property was annexed into the City in 1980 and was subsequently zoned to M-2, Heavy Industrial District in 1981. The northern 2.33± acres of the subject property was platted as a part of the McCray Lumber 2nd Plat in 2006 (P-06-082), and the southern 0.75± acres of the subject property is part of the McCray Lumber 1st Plat. Subsequently, there was a final plat application for the Great Plains Business Park (P-08-005) that was approved by the Planning Commission and accepted by the City Council, but was not recorded within the two-year expiration period and is therefore deemed invalid.

A stipulation has been added to require that a replat of the two parcels must be approved prior to approval of a final site development plan, to legally form one lot for the improvements to be located on.

3. Neighborhood Notice/Correspondence:

No neighborhood meeting was required for this preliminary site development plan application as there is no residential development within 500 feet of the subject property, however, the applicant did mail letters to property owners within 500 feet to inform them of the pending application, as required by *UDO, Section 18.40.030.A.3*.

Staff has not received any correspondence from any citizens regarding this rezoning request.

4. Existing Conditions/ Site Photos:

The subject property is currently undeveloped. The southeastern corner of the subject property is paved and is adjacent to the McCray Lumber storage yard. Based on aerial imagery, it appears that the paved area on the subject property has been separated from the McCray Lumber storage yard by barricades. This paved area at the southeast corner of the subject property will be redeveloped with landscaping and a drive aisle with approval of this application and subsequent related applications.



View of subject property looking southeast from 151st Street ramp



Aerial view of the subject property outlined in navy

5. Zoning Requirements:

- a. **Building Height** – The maximum height allowed for buildings in the M-2 District is 55 feet tall. The 3-story building proposed with this preliminary site development plan is 46 feet tall and is therefore compliant with the building height standards of the M-2 District.

- b. **Setbacks** – Pending approval of the replat application that will combine the two parcels into one lot, the proposed development will meet the required setbacks for buildings in the M-2 district. Buildings in the M-2 District are subject to the following setbacks: Front Yard (minimum) – 30 feet, Side Yards – 10 feet, and Rear Yard – 10 feet. Parking and paving areas in the M-2 District are to be setback a minimum 30 feet from street right-of-way and a minimum 10 feet from property lines.

6. Site Design Standards:

The subject property is located in the future land use designation of Industrial Area according to the *Comprehensive Plan* and the development is subject to **Site Design Category 6** (*UDO 18.15.130*). The following is a summary of the composite site requirements.

- a. **Parking Pod Size** – Parking for developments in Site Design Category 6 must be separated into pods no greater than 320 stalls. The largest parking pod that is provided on site is 49 stalls, and that is the area where the Recreational Vehicles and boats will be stored and will have permeable pavement that is used.
- b. **Drainage Features Designed as Amenities** – A drainage best management practices easement is located between the proposed building and W. 151st Terrace to the west. This area will be landscaped to appear as an attractive focal point.

7. Building Design Standards:

The subject property is located in the future land use designation of Industrial Area according to the *Comprehensive Plan* and the development is subject to **Building Design Category F** (*UDO, Section 18.15.050*)

<i>Building Design Standard</i>	<i>UDO Requirement (Category F)</i> Proposed Design
<i>Primary Façade Expression</i>	<i>All buildings in Category F must incorporate façade expression to add visual interest. Buildings greater than two stories in height must provide two options.</i> The proposed building provides primary façade expression on the north and west façade by providing variations of the building height as viewed from the street and also by providing increased material quality on both the north and west façades.

Proposed Building Materials

Primary façades on buildings within **Building Design Category F** are required to have a minimum of 20% Category 1 materials, minimum 60% Category 2 materials, and a maximum 20% Category 3 materials. Secondary façades on buildings within **Building Design Category F** are required to have a minimum 20% Category 1 or 2 materials, and a maximum 80% Category 3 materials.

The north and west façades of the proposed building are primary façades. The north façade is comprised of 61.5% Category 1 materials (glass and stucco), and 38.5% Category 2 materials (block, fiber cement panels, and architectural metal panels). The west façade is comprised of 58.9% Category 1 materials (glass and stucco) and 41.1% Category 2 materials (Block, fiber cement panels, and architectural metal panels).

The east and south façades of the proposed building are secondary façades. The east elevation is comprised of 69.1% Category 1 materials (stucco), 16.1% Category 2 materials (block and fiber cement panels), and 14.8% Category 3 materials (metal garage doors). The south façade is comprised of 57.7% Category 1 materials (glass and stucco) and 42.3% Category 2 materials (block and fiber cement panels).

Each façade on the proposed building meets or exceeds the minimum material requirements of Building Design Category F.

8. Parking:

Parking for mini-warehouse storage buildings is required at a rate of 3 parking stalls per the facility. The preliminary site development plan is proposing a total of 4 parking stalls for passenger vehicles at the northwest corner of the proposed building, with one of those spaces being an ADA space. The preliminary site development plan also includes 49 spaces that are intended for recreational vehicle and/or boat storage.

9. Landscaping/Screening:

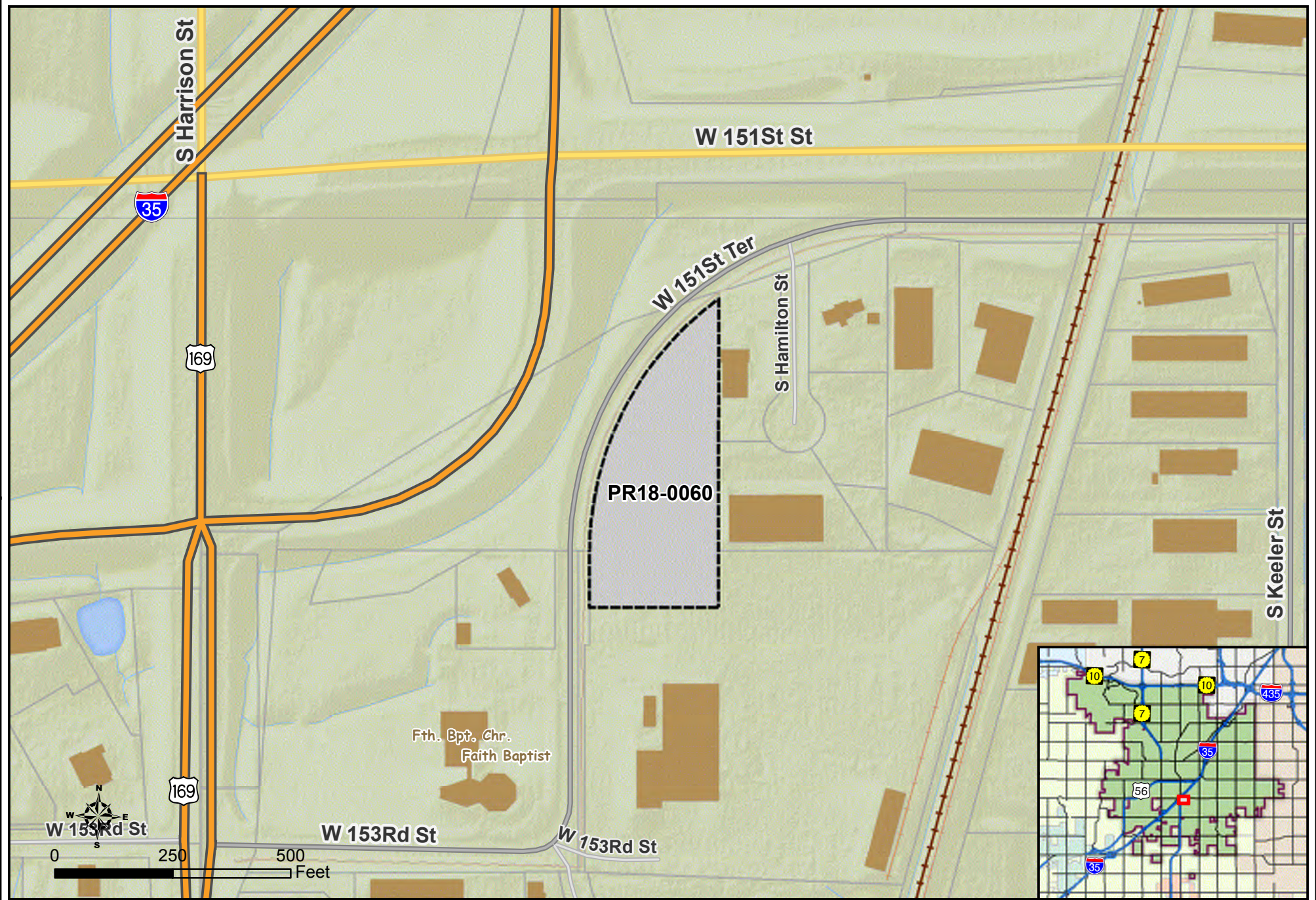
The applicant has provided a landscape plan with the preliminary site development plan. The applicant is providing the required 10-foot wide buffer to the east and south between industrial properties. The required nonresidential perimeter landscaping is being provided on the subject property, adjacent to W. 151st Terrace. Additional landscaping will be provided along the fence/wall at the north and west of the site to help screen the fence/wall from the roadway. All exterior ground or building mounted equipment, including but not limited to mechanical equipment, utility meter banks and coolers will be screened from public view with landscaping. All parking areas will be screened a minimum of 3 feet in height from public view.

A stipulation has been added regarding the design of the masonry wall which will be utilized to screen the RV and boat storage area. This masonry wall will be architecturally treated to lessen the visual impact of the wall along W. 151st Terrace. Heavy landscaping will also be added in the area just northwest of the wall, between it and W. 151st Terrace. A mixture of plant materials and species is stipulated to be provided so as to mitigate the visual impact of the wall.

10. Staff Recommendation:

- A. Staff recommends approval of the preliminary site development plan (PR18-0060) with the following stipulations:
 - 1. The property shall be replatted prior to approval of the final site development plan, and the replat shall be recorded prior to issuance of a building permit.
 - 2. A final site development plan and final plat shall be submitted and approved prior to issuance of a building permit.

3. Final details on the wall at the north of the subject property will be coordinated prior to final site development plan approval. The wall shall be made of a masonry and/or decorative metal material and shall require design features such as columns, steps, mixture of materials, banding, etc. No portion of the wall shall be shorter than 6 feet in height or taller than 8 feet as measured from grade.
4. Final details for landscaping to be provided at the north of the subject property will be coordinated prior to final site development plan approval. Heavy landscaping will be required along the wall with a mixture of species and plant materials, including a combination of evergreen trees and deciduous shade trees. The landscape plan submitted with the final site development plan shall be sealed by a Kansas-licensed landscape architect.
5. As required by the *UDO*, all exterior ground or building mounted equipment, including but not limited to mechanical equipment, utility meter banks and coolers, shall be screened from public view with landscaping or an architectural treatment compatible with the building architecture.
6. A Fire Department Connections (FDC) is required within 100 feet of a hydrant for sprinklered buildings. The FDC is required to be accessible from a fire apparatus access road. The City of Olathe Fire Code Amendment 16.05.340 requires a 4-inch Storz quick coupling connection.
7. Access control will be required for the Fire Department at entry gates to the property. Automatic entry devices to control access gates are required. These devices are required to be activated by the apparatus signal or OPTICOM signal from the fire apparatus. A Knox Box with keys/electronic key cards is required. Details shall be provided at the time of building permit submittal.
8. The parking area provided to the northwest of the building shall be located outside of the minimum 30-foot parking/paving setback.
9. All outdoor storage areas shall comply with requirements for screening per *UDO, Section 18.30.130.I*.
10. Any/all roof-top units shall be screened from public view per *UDO, Section 18.15.020.F*.
11. All new on-site wiring and cables shall be placed underground.
12. All signage on site shall comply with the requirements of *UDO, Section 18.50.190*.



SHIELD STORAGE OF OLATHE
PR18-0060



User: jaredmd
Date: 02/20/2019



PRELIMINARY DEVELOPMENT PLAN
Shield Storage

Legal Description of Parcel:
Lot 1 & 2, MCCRAY LUMBER 2ND PLAT, a subdivision of land in the City of Olathe, Johnson County. Contains 3.08 acres more or less.

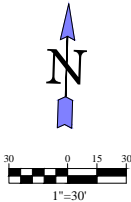
General Notes:
1. All utility boxes shall be screened with landscaping.



LOCATION MAP
SECTION 12--714--R23

LEGEND	
	PROPOSED NUMBER OF PARKING STALLS
	DENOTES CURB & GUTTER
	DENOTES 5" CONCRETE PAVEMENT
	DENOTES 4" SIDEWALK
	DENOTES PERMEABLE PAVEMENT
	DENOTES 8" REINFORCED CONCRETE
	DENOTES OPEN SPACE
	DENOTES LANDSCAPE AREAS
	DENOTES PROPOSED SELF ENCLOSED STORAGE UNITS

SITE SUMMARY	
Total Site Area:	3.08± acres
Current Zoning:	M-2
No. of Stories:	3
Max Height of Building:	46 ft
Square Footage of Building:	43,500 sf
Square Footage of Storage:	129,500 sf
Square Footage of Office:	1,000 sf
Square Footage of Outdoor Storage:	28,545 sf
RV, Trailer, Boat Stalls	49
Open Space (28.2%):	0.68 ± acres
No. of Required Parking Spaces:	4
(3.0 per 1,000 sq-ft office)	
No. of Parking Spaces:	3
No. of ADA Parking Spaces:	1



Sheet - C1
Site Plan
2018-55
Shield Storage
151st Terrace
Preliminary Development Plan

PREPARED FOR:
GREENSCAPE DEV. PARTNERS
C/O JUSTIN LEE
3450 TRUMPH BLVD., SUITE 102
LEHI, UT 84043
(801) 753-5660
JUSTIN@GSDP.NET

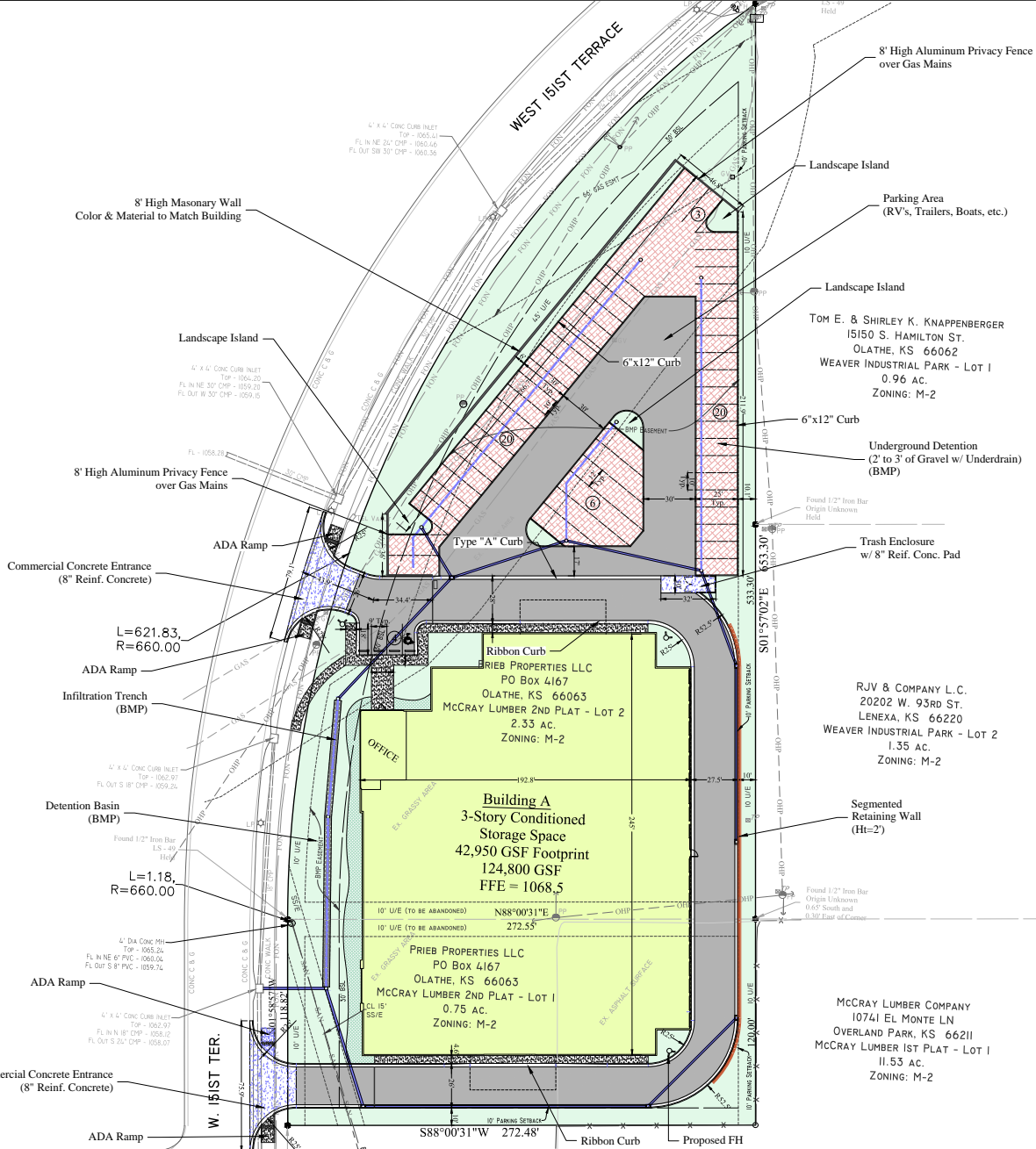
NAPIER
ENGINEERING, LLC

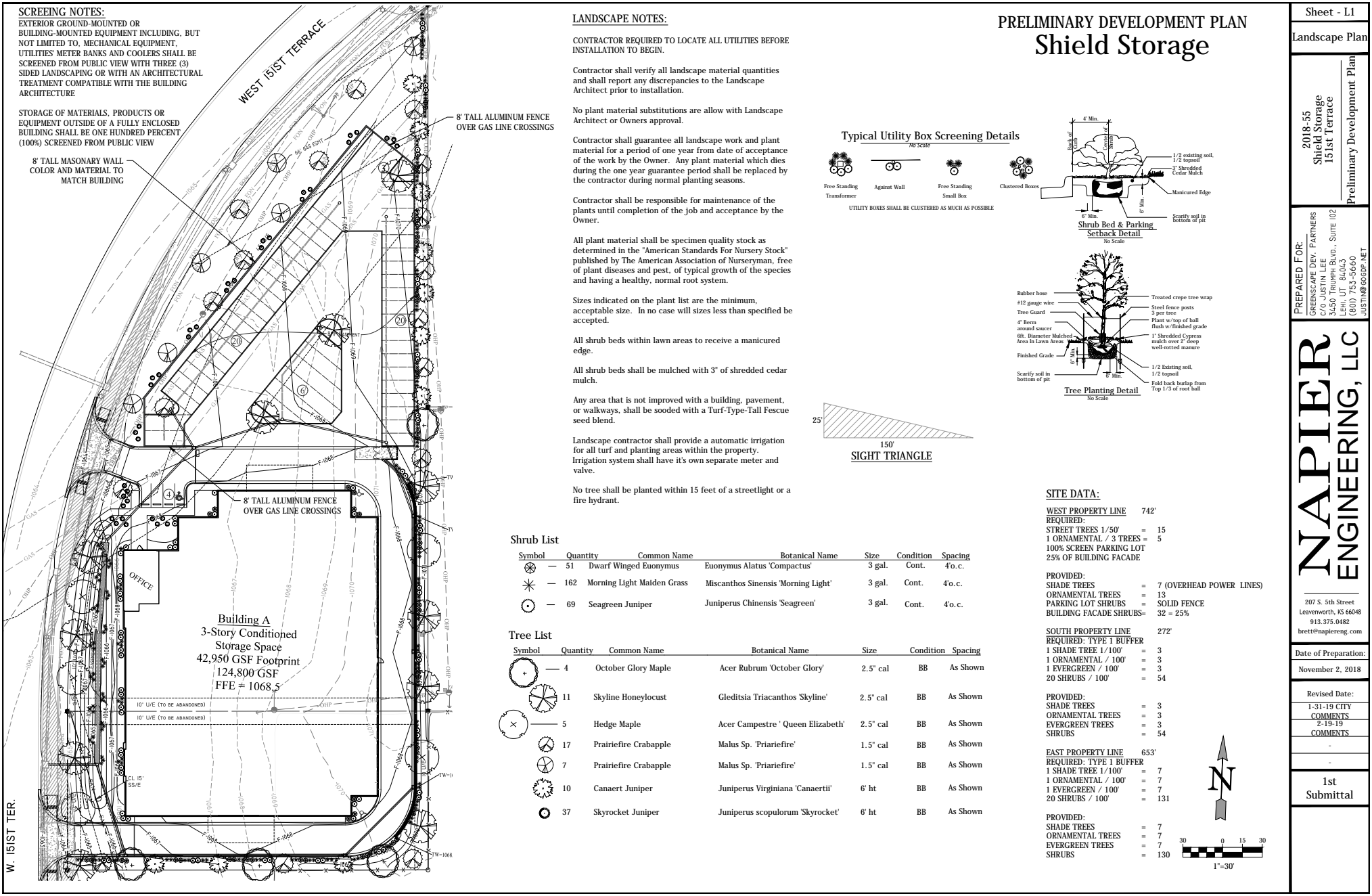
207 S. 5th Street
Lavenworth, KS 66648
913.375.0482
brett@napiereng.com

Date of Preparation:
November 1, 2018

Revised Date:
February 4, 2019

2nd
Submital





SCREENING NOTES:
EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES METER BANKS AND COOLERS SHALL BE SCREENED FROM PUBLIC VIEW WITH THREE (3) SIDED LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE

STORAGE OF MATERIALS, PRODUCTS OR EQUIPMENT OUTSIDE OF A FULLY ENCLOSED BUILDING SHALL BE ONE HUNDRED PERCENT (100%) SCREENED FROM PUBLIC VIEW

8' TALL MASONARY WALL COLOR AND MATERIAL TO MATCH BUILDING

8' TALL ALUMINUM FENCE OVER GAS LINE CROSSINGS

WEST 151ST TERRACE

OFFICE

Building A
3-Story Conditioned
Storage Space
42,950 GSF Footprint
124,800 GSF
FFE = 1068.5

W. 151ST TER.

LANDSCAPE NOTES:

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow with Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

Any area that is not improved with a building, pavement, or walkways, shall be sooded with a Turf-Type-Tall Fescue seed blend.

Landscape contractor shall provide a automatic irrigation for all turf and planting areas within the property. Irrigation system shall have it's own separate meter and valve.

No tree shall be planted within 15 feet of a streetlight or a fire hydrant.

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	51	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	3 gal.	Cont.	4'o.c.
	162	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	3 gal.	Cont.	4'o.c.
	69	Seagreen Juniper	Juniperus Chimensis 'Seagreen'	3 gal.	Cont.	4'o.c.

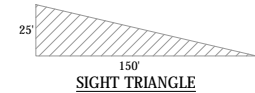
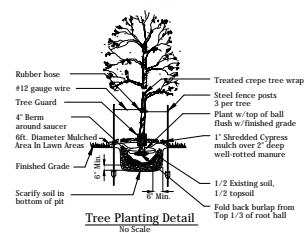
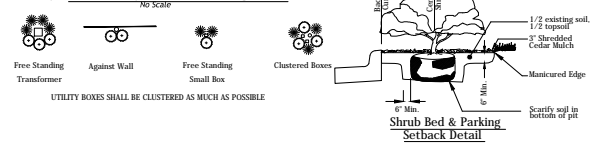
Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	4	October Glory Maple	Acer Rubrum 'October Glory'	2.5" cal	BB	As Shown
	11	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	2.5" cal	BB	As Shown
	5	Hedge Maple	Acer Campestre 'Queen Elizabeth'	2.5" cal	BB	As Shown
	17	Prairiefire Crabapple	Malus Sp. 'Prariefire'	1.5" cal	BB	As Shown
	7	Prairiefire Crabapple	Malus Sp. 'Prariefire'	1.5" cal	BB	As Shown
	10	Canaert Juniper	Juniperus Virginiana 'Canaertii'	6' ht	BB	As Shown
	37	Skyrocket Juniper	Juniperus scopulorum 'Skyrocket'	6' ht	BB	As Shown

PRELIMINARY DEVELOPMENT PLAN

Shield Storage

Typical Utility Box Screening Details



SITE DATA:

WEST PROPERTY LINE 742'
REQUIRED:
STREET TREES 1/50' = 15
1 ORNAMENTAL / 3 TREES = 5
100% SCREEN PARKING LOT
25% OF BUILDING FACADE

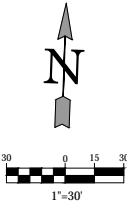
PROVIDED:
SHADE TREES = 7 (OVERHEAD POWER LINES)
ORNAMENTAL TREES = 13
PARKING LOT SHRUBS = SOLID FENCE
BUILDING FACADE SHRUBS = 32 = 25%

SOUTH PROPERTY LINE 272'
REQUIRED: TYPE 1 BUFFER
1 SHADE TREE 1/100' = 3
1 ORNAMENTAL / 100' = 3
1 EVERGREEN / 100' = 3
20 SHRUBS / 100' = 54

PROVIDED:
SHADE TREES = 3
ORNAMENTAL TREES = 3
EVERGREEN TREES = 3
SHRUBS = 54

EAST PROPERTY LINE 653'
REQUIRED: TYPE 1 BUFFER
1 SHADE TREE 1/100' = 7
1 ORNAMENTAL / 100' = 7
1 EVERGREEN / 100' = 7
20 SHRUBS / 100' = 131

PROVIDED:
SHADE TREES = 7
ORNAMENTAL TREES = 7
EVERGREEN TREES = 7
SHRUBS = 130



Sheet - L1

Landscape Plan

2018-55
Shield Storage
151st Terrace

Preliminary Development Plan

PREPARED FOR:
GREENSCAPE DEV. PARTNERS
C/O JUSTIN LEE
3450 TRUMPH BLVD., SUITE 102
LEHI, UT 84003
(801) 753-5660
JUSTIN@GOGDP.NET

NAPIER
ENGINEERING, LLC

207 S. 5th Street
Leavenworth, KS 66048
913.375.0482
brett@napiereng.com

Date of Preparation:
November 2, 2018

Revised Date:
1-31-19 CITY
COMMENTS
2-19-19
COMMENTS
-

1st
Submittal

NORTH ELEVATION

CATEGORY 1 MATERIALS:

MINIMUM REQ. 20%
 ACTUAL 81.5%
 CLEAR GLAZING: 9.5%
 STUCCO: 58.5%

CATEGORY 2 MATERIALS:

BLOCK: 19.4%
 FIBER CEMENT PANEL: 12.4%
 ARCH. METAL PANEL: 3.4%

CATEGORY 3 MATERIALS:

0

TRANSPARENCY:

11%

SIGNAGE:

7.2% OF WALL AREA

FAÇADE EXPRESSION TOOLS:

- WALL PROJECTION
- VARIATION IN HEIGHT
- WALL OFFSET
- INCREASE MATERIAL QUALITY

SOUTH ELEVATION

CATEGORY 1 MATERIALS:

MINIMUM REQ. 20%
 ACTUAL 87.2%
 CLEAR GLAZING: 6.6%
 STUCCO: 51.1%

CATEGORY 2 MATERIALS:

BLOCK: 21.7%
 FIBER CEMENT PANEL: 20.6%

CATEGORY 3 MATERIALS:

0

TRANSPARENCY:

6.6%

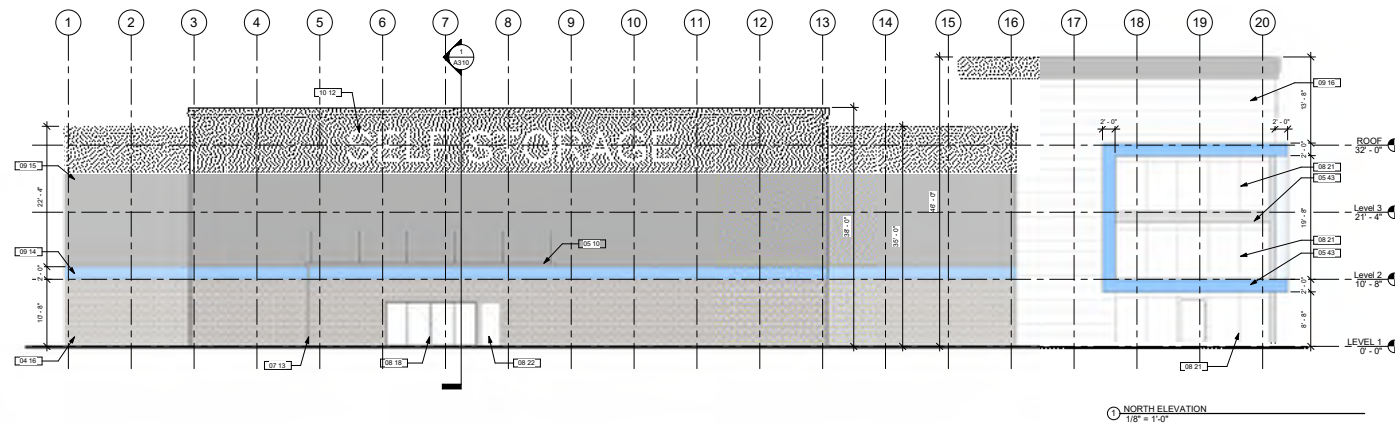
SIGNAGE:

1.5%

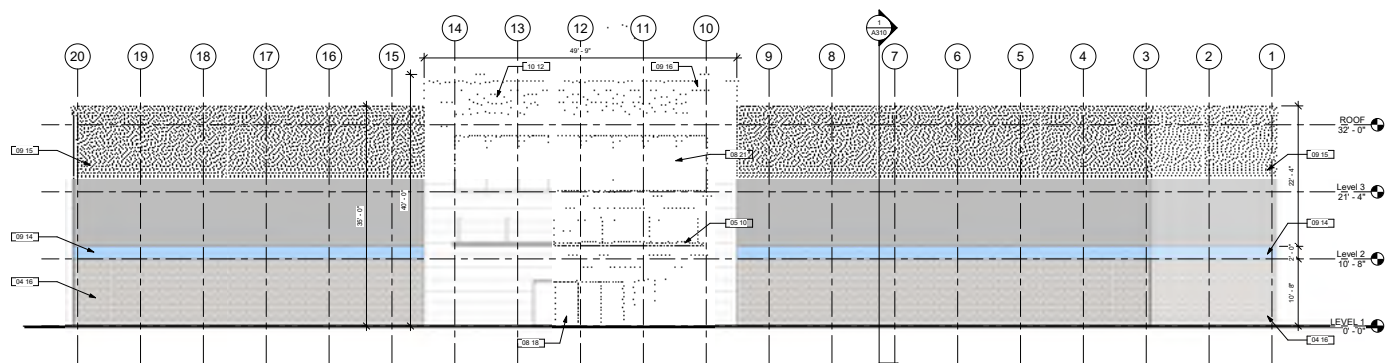
FAÇADE EXPRESSION TOOLS:

- WALL PROJECTION
- VARIATION IN HEIGHT
- INCREASE MATERIAL QUALITY

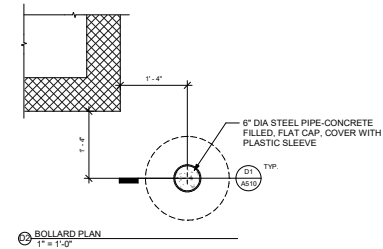
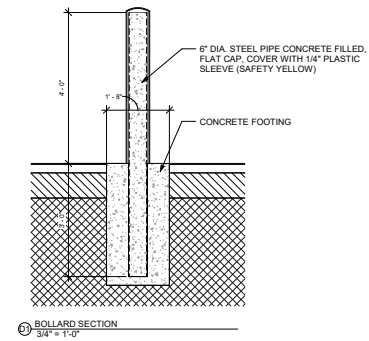
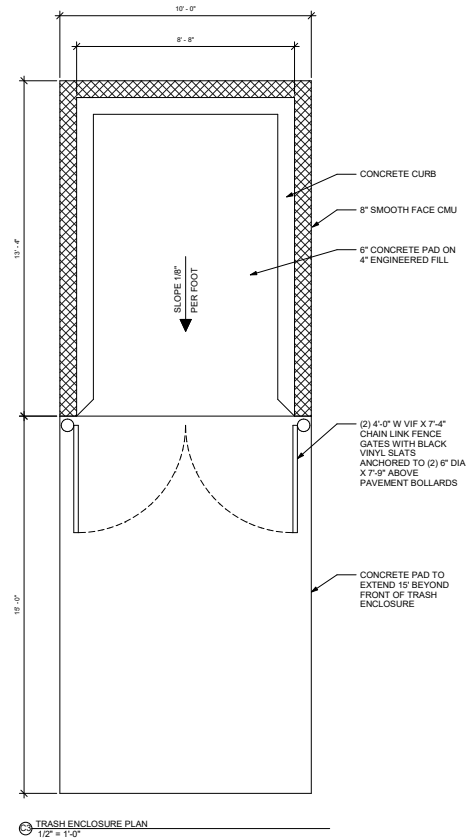
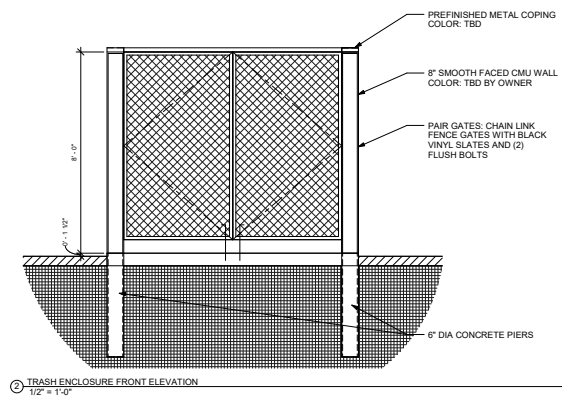
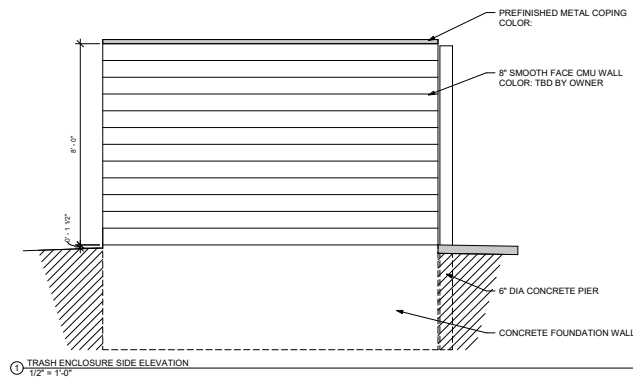
Keynote Legend	
Key Value	Keynote Text
04 16	8"X8"X16" SPLIT FACE BLOCK C.M.U., "BUEHNER BLOCK". PROVIDE REINFORCING PER STRUCTURAL ENGINEER. PROVIDE WEEPS AT BASE @ 32" O.C. COLOR:
05 10	METAL AWNING W/ TURN BUCKLES OVER LIGHT GAUGE GALVANIZED FRAMING W/ METAL PANEL SOFFIT. PROVIDE SOLID BLOCKING IN WALL FOR AWNING SUPPORT. TURN BUCKLE & FASCIA COLOR: BRONZE. SOFFIT COLOR:
05 43	21 GA. ALUMINUM PANEL (COLOR: TO BE SELECTED BY ARCHITECT)
07 13	PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT. CONNECT TO DRAINS AS SHOWN, TYPICAL. COLOR: TO MATCH STUCCO
08 15	8'-0" W X 8'-0" H EXTERIOR MANUAL OVER-HEAD COILING DOOR. COVER GAP BETWEEN MASONRY AND STEEL FRAMING ALUMINUM W/ FLASHING W/ROLLED EDGE. COLOR: TO BE SELECTED BY ARCHITECT
08 18	ALUMINUM STOREFRONT SLIDING DOOR, "KAWNEER" OR APPROVED EQUAL, W/ CLEAR, DOUBLE GLAZING. PROVIDE BACKER ROD AND SEALANT ALL AROUND AND GALV. FLASHING AT HEAD, TYP. COLOR:
08 21	ALUMINUM STOREFRONT, "KAWNEER" OR APPROVED EQUAL, W/ CLEAR, DOUBLE GLAZING. PROVIDE BACKER ROD AND SEALANT ALL AROUND AND GALV. FLASHING AT HEAD, TYP. COLOR:
08 22	INSULATED EXTERIOR STEEL MAN DOOR W/ STEEL DOOR FRAME. COLOR:
09 14	STUC-O-FLEX PERM-FLEX ASSEMBLY (OR APPROVED EQUAL) (ACCENT COLOR: TO BE SELECTED BY ARCHITECT)
09 15	STUC-O-FLEX PERM-FLEX ASSEMBLY (OR APPROVED EQUAL) (COLOR: TO BE SELECTED BY ARCHITECT)
09 16	FIBER CEMENT PANEL, (NICHHA "ILLUMINATION" PRODUCT OR APPROVED EQUAL) COLOR: WHITE
10 12	EXTERIOR SIGNAGE NOT IN CONTRACT. PROVIDE POWER TO THIS LOCATION.



① NORTH ELEVATION
 1/8" = 1'-0"



② SOUTH ELEVATION
 1/8" = 1'-0"





Property Owner

Street Address

City, state zip code

Dear Property Owner,

You are cordially invited to attend a meeting of the City of Olathe Planning Commission on Monday, February 25, 2019 at 7 pm. The meeting will take place in City Hall, 100 East Santa Fe Street, Olathe, KS 66061. You are being notified of a planning application within 500 feet of your property near 151st Terrace in Olathe, KS. The planned project is to be built on the parcel where 151st Terrace curves to the south as one drives from Knappenberger Veterinary Clinic to McCray Lumber. Please see the attached elevations and site plan.

Sincerely,

A handwritten signature in black ink that reads "Justin Lee".

Justin Lee

CDO

GREENSCAPE DEVELOPMENT PARTNERS

3450 Triumph Blvd

Suite 102

Lehi, Utah 84043



JUSTIN@GOGDP.NET



JUSTIN LEE





City of Olathe

City Planning Division

STAFF REPORT

Planning Commission Meeting: February 25, 2019

Application:	PP19-0001, Preliminary Plat for Parkview Apartments		
Location:	In the vicinity of 124 th St. and Aurora St.		
Owner/Applicant:	Greg Prieb, Prieb Homes		
Applicant:	Judd Claussen, Phelps Engineering		
Staff Contact:	Dan Fernandez, Planner II		

Site Area:	<u>29.87± acres</u>	Proposed Use:	<u>Multi-family</u>
Lots:	<u>1</u>	Current Zoning:	<u>RP-3</u>
Tracts:	<u>1</u>		

1. Comments:

The following application is a preliminary plat for Parkview Apartments containing 1 multi-family lot and 1 common tract. An associated final plat (FP18-0047) is also on tonight's agenda. The preliminary and final plats are being submitted for an apartment development which is described in the following section.

2. Site History:

The subject site was rezoned (RZ17-02) to RP-3 in July 2002 and the associated preliminary site development plan that included 98 rowhouses and 352 apartments. A final site development plan (PR08-0017) was approved in June 2008 for 368 apartments. Final site development plans are valid for two years so the plan from 2008 has expired. A final plat was never submitted for the subject property, so a new preliminary plat and final plat are required prior to development.

A new final site development plan will be required and the plans shall substantially conform to the approved preliminary site development plan. Major changes would require a revised preliminary site development plan to be reviewed by the Planning Commission.

Per *Section 18.40.120* of the *Unified Development Ordinance (UDO)*, major changes include, but are not limited to items such as an increase of density by more than 5%, increase in lot coverage of more than 5%, increase in height by more than 10% and changes in architectural style and building materials.



Site Aerial



View looking north from Aurora Street

3. Plat Review:

- a. **Lots/Tracts** – The plat includes 1 multi-family lot and 1 common tract. The lot meets all dimensional requirements for R-3 Districts.

Tract A is located along the north property line and will be used for stormwater detention, stormwater quality BMP's, landscaping, trails and private open space.

A public trail is proposed within Tract A. A blanket easement shall be dedicated with the final plat prior to recording in order to permit the City to locate the trail within the tract.

- b. **Buildings/Setbacks** – The preliminary plat includes 16 2 and 3-story buildings which is consistent with the preliminary site development plan approved with rezoning. The preliminary plat complies with the required building setbacks established for RP-3 Districts and the layout of the buildings and parking is consistent with the preliminary site development plan.
- c. **Streets/ Right-of-Way** – The development will have an access drive onto Aurora Street and Aurora Street has sufficient right-of-way so no additional right-of-way is being dedicated with the plat.
- d. **Stormwater/Detention** – The streamway and vegetation in Tract A is being preserved and utilized for stormwater detention and quality. Drainage easements will be dedicated with the final plat.
- e. **Public Utilities** – The subject property is located within the City of Olathe water and sanitary sewer service areas. Water and sewer easements will be dedicated with the final plat.
- f. **Amenities** – The development will include a clubhouse and sidewalk in the interior of the development and a public recreation easement will be dedicated for a future public trail in Tract A.
- g. **Phasing** – The applicant has stated that this development will be phased. A phasing plan will be required with the final site development plan submittal.
- h. **Tree Preservation** – The trees and stream within Tract A will remain in its natural state for stormwater detention and quality. However, staff is also stipulating that a 25-foot tree preservation easement be dedicated along the north property line within Tract A. Also, a new landscape plan is required with the submittal of the new final site development plan for additional screening around and within the property.

4. **Neighborhood Meeting/Correspondence:**

Per *UDO* requirements, preliminary plats require neighborhood meetings for residential properties within 500 feet of the subject site. The applicant held a neighborhood meeting on January 28, 2019. There were 6 attendees and issues discussed included tree removal, lighting, rents, construction timeline, traffic and building height. The meeting minutes have been included in the Planning Commission packet for your review.

Staff has received letters, emails and a petition concerning the proposed apartment development at this site. All correspondence has been included in the Planning Commission packet for your review. Staff responded to all inquiries and provided information on the application process and plans when requested.

5. **Staff Recommendation:**

Staff recommends approval of PP19-0001 with the following stipulations:

1. A final site development plan shall be submitted and approved prior to submitting for building permits. The final site development plan shall be consistent with the approved preliminary site development plan in accordance with Section 18.40.110 of the *UDO*

2. A public recreation easement within Tract A shall be dedicated prior to recording the plat in order to locate a future public trail within the tract.
3. A 25-foot tree preservation easement shall be dedicated along the north property line within Tract A with the final plat.
4. A phasing plan shall be submitted with the final site development plan submittal.



PARKVIEW APARTMENTS
PP19-0001

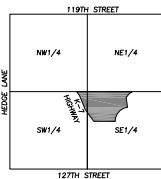
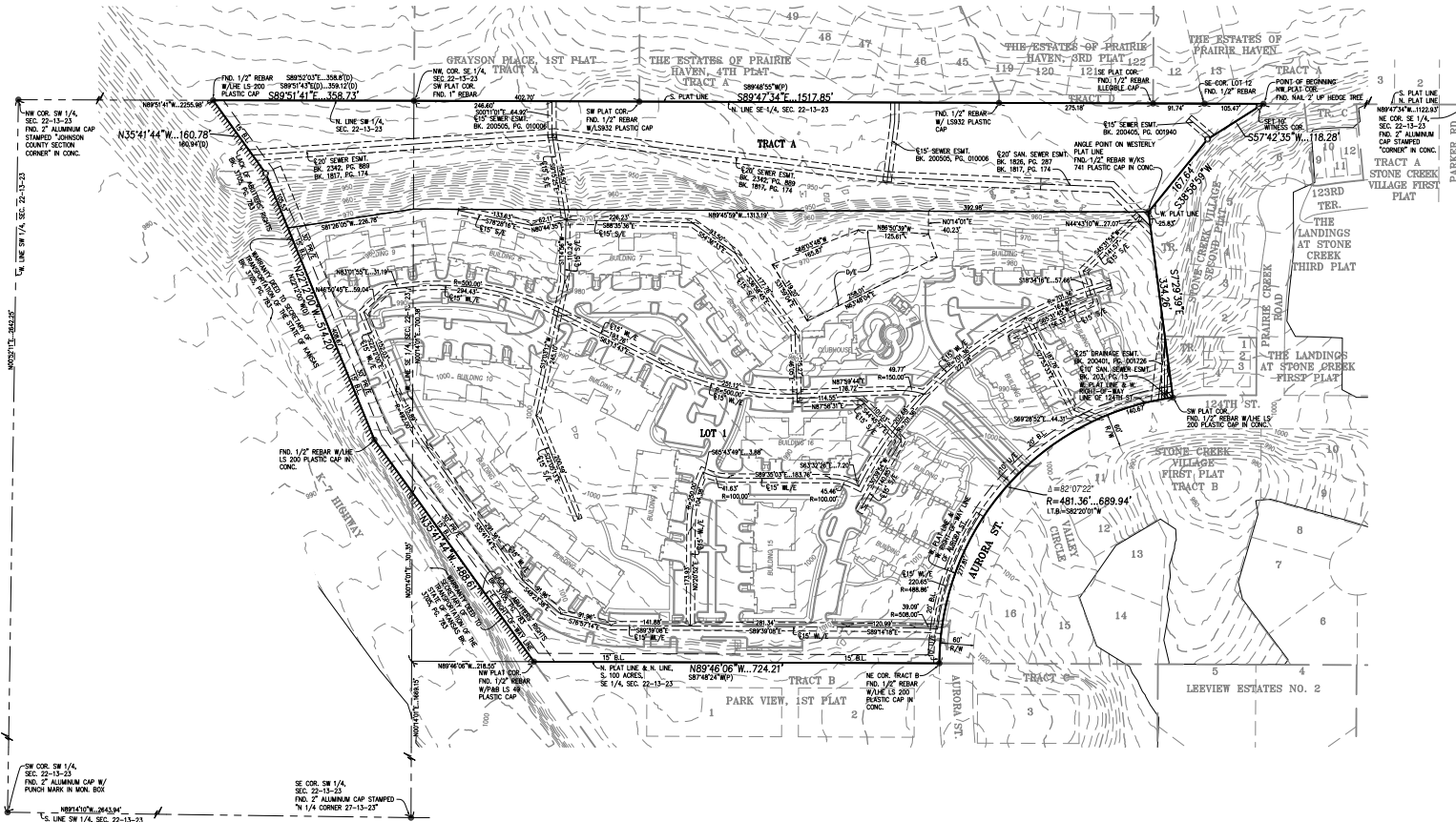


User: jaredmd
Date: 02/20/2019



PRELIMINARY PLAT OF
PARKVIEW APARTMENTS

A SUBDIVISION OF LAND IN THE SOUTH ONE-HALF OF
SECTION 22, TOWNSHIP 13 SOUTH, RANGE 23 EAST,
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS



SCALE: 1"=200'

VICINITY MAP
SEC. 22-13-23



SCALE: 1"=100'

BEARING BASE: RECORDED PLAT OF
"STONE CREEK VILLAGE FIRST PLAT"

- LEGEND**
- DENOTES SET 1/2" X 1/4" REBAR W/HELIXES CORR.
CL5-82 PLASTIC CAP IN CONCRETE
 - DENOTES FOUND 1/2" REBAR W/HELIXES CORR.
CL5-82 PLASTIC CAP IN CONCRETE,
UNLESS OTHERWISE NOTED
 - U/E DENOTES UTILITY EASEMENT
 - B/L DENOTES BUILDING LINE
 - (P) DENOTES PLAT
 - M/E DENOTES WATER EASEMENT
 - S/E DENOTES SANITARY SEWER EASEMENT
 - D/E DENOTES DRAINAGE EASEMENT
 - P/R/E DENOTES PERMANENT RECREATION EASEMENT

LEGAL DESCRIPTION:

ALL THAT PART OF THE SOUTH ONE-HALF OF SECTION 22, TOWNSHIP 13 SOUTH, RANGE 23 EAST, IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, SAID POINT ALSO BEING THE NORTHEAST PLAT CORNER OF STONE CREEK VILLAGE FIRST PLAT, AND THE SOUTHEAST PLAT CORNER OF THE ESTATES OF PRAIRIE HAVEN FIRST PLAT, BOTH BEING PLATTED SUBDIVISIONS OF LAND IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS; THENCE N 89°41'44" W, ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 22, AND ALONG THE SOUTH PLAT LINE OF SAID THE ESTATES OF PRAIRIE HAVEN FIRST PLAT AND THE NORTH PLAT LINE OF SAID STONE CREEK VILLAGE FIRST PLAT, A DISTANCE OF 1123.85 FEET TO THE NORTHWEST PLAT CORNER OF SAID STONE CREEK VILLAGE SECOND PLAT, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE ALONG THE WESTERLY PLAT LINE OF SAID STONE CREEK VILLAGE SECOND PLAT, FOR THE FOLLOWING THIRTEEN (13) COURSES, THENCE S 87°02'30" W, A DISTANCE OF 1153.85 FEET, THENCE N 10°00'00" W, A DISTANCE OF 167.64 FEET, THENCE S 72°02'30" E, ALONG THE WESTERLY PLAT LINE OF THE LANDINGS AT STONE CREEK FIRST PLAT, A PLATTED SUBDIVISION OF LAND IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, AND ITS NORTHERLY EXTENSION, A DISTANCE OF 134.36 FEET TO THE SOUTHWEST PLAT CORNER OF SAID THE LANDINGS AT STONE CREEK FIRST PLAT, SAID POINT ALSO BEING ON THE NORTHERN RIGHT-OF-WAY LINE OF 124TH STREET, AS NOW ESTABLISHED, ON A CURVE TO THE LEFT, SAID CURVE HAVING AN INITIAL TANGENT BEARING OF S 82°20'00" W AND A RADIUS OF 481.36 FEET, THENCE N 89°41'44" W, A DISTANCE OF 167.64 FEET TO THE SOUTHWEST PLAT CORNER OF SAID STONE CREEK VILLAGE FIRST PLAT, SAID POINT ALSO BEING ON THE NORTH PLAT LINE OF SAID STONE CREEK VILLAGE FIRST PLAT, SAID POINT ALSO BEING ON THE NORTH PLAT LINE OF SAID PARK VIEW, 1ST PLAT, A DISTANCE OF 174.31 FEET TO THE NORTHWEST PLAT CORNER OF SAID PARK VIEW, 1ST PLAT, SAID POINT ALSO BEING A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF K-7 HIGHWAY, AS NOW ESTABLISHED, THENCE ALONG THE EASTERN RIGHT-OF-WAY LINE OF SAID K-7 HIGHWAY, FOR THE FOLLOWING THIRTEEN (13) COURSES, THENCE N 39°41'44" W, A DISTANCE OF 481.36 FEET, THENCE N 22°20'00" W, A DISTANCE OF 514.00 FEET, THENCE N 39°41'44" W, A DISTANCE OF 167.64 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, THENCE N 89°41'44" E, ALONG THE NORTH LINE OF SAID PARK VIEW, 1ST PLAT, A DISTANCE OF 384.73 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, SAID POINT ALSO BEING ON THE SOUTH PLAT LINE OF THE ESTATES OF PRAIRIE HAVEN, 4TH PLAT AND THE ESTATES OF PRAIRIE HAVEN, 3RD PLAT, BOTH BEING PLATTED SUBDIVISIONS OF LAND IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, AND THE SOUTH PLAT OF SAID THE ESTATES OF PRAIRIE HAVEN, A DISTANCE OF 1351.85 FEET TO THE POINT OF BEGINNING, CONTAINING 28.8673 ACRES, MORE OR LESS, OF UNPLATTED LAND.

GROSS AREA = 28.8673 ACRES / 1,261,000 SQ. FT.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, MAP NO. 2009000700, DATED AUGUST 2, 2009.

LOT 1-APARTMENTS

Lot Data	
Site Area (Gross)	29.87 AC
Existing Zoning	RP-3

LOT AREAS		
PARCEL	AREA (S.F.)	AREA (AC)
LOT 1	96903.67	22.2460
PLAT 1	130107.71	29.8673
TRACT A	339178.30	7.6212

PREPARED BY:

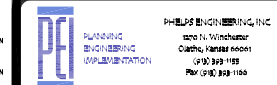
PHILIPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KANSAS 66061
(913) 393-1155
(913) 393-1155 FAX

PROPERTY OWNER/DEVELOPER:

GO PROPERTIES &
INVESTMENTS LLC
PO BOX 4557
OLATHE, KS 66063
(913) 780-3399
(913) 780-2591 (FAX)

ARCHITECT:

WEBSTER ARCHITECTS
2505 WEST VALLEY PARKWAY,
SUITE 110
OLATHE, KS 66061
(913) 390-4663
(913) 790-4664 (FAX)





Meeting Date: January 28, 2019, 6:00 PM

Location of Meeting: Olathe Community Center
1205 E Kansas City Rd.
Olathe, KS

Project: Summerfield at Copper Creek – Preliminary Plat

Project/File No.: 170230

Neighborhood Attendees: See attached Sign in Sheet

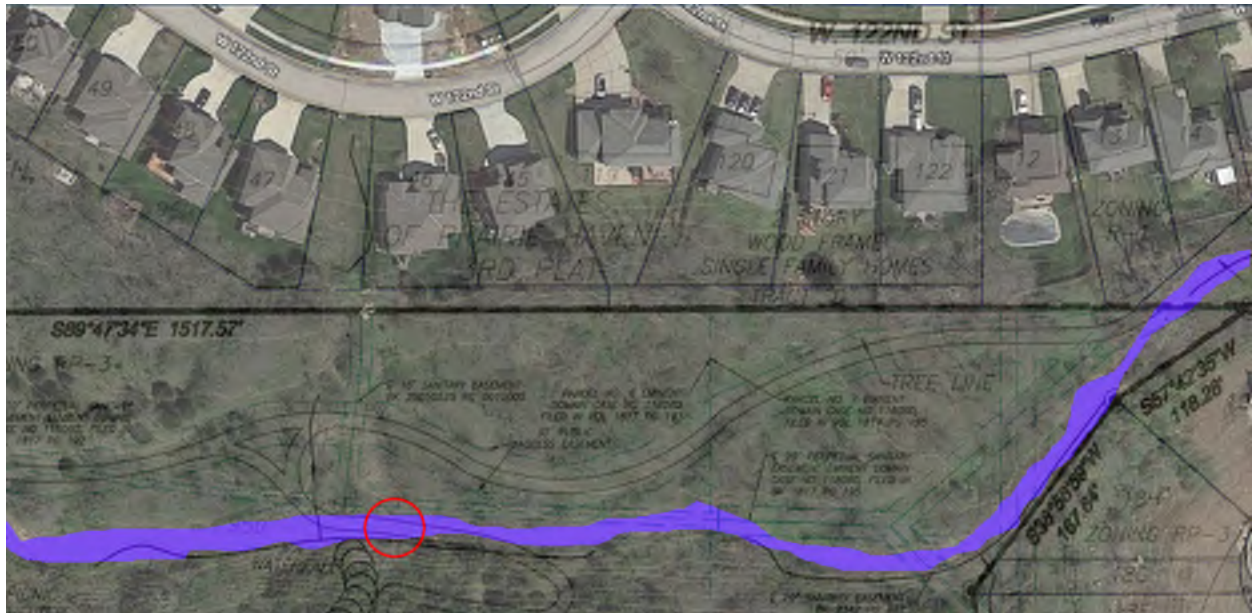
Development Team: Greg Prieb – Prieb Homes
Doug Ubben, Jr., P.E. – Phelps Engineering, Inc.
Judd Claussen, P.E. – Phelps Engineering, Inc.

Copy: Dan Fernandez, Olathe Planning Department

-
1. Greg and Judd welcomed the attendees. Attendees signed the sign-in sheet. A brief presentation was given about the project, which consisted of what is proposed with the project. With the presentation it was stated that the proposed plan matches the plan that was previously approved in 2003 and the numbers of units proposed with the project matches that from the plan in 2003. It was also noted that one building was removed along Aurora Street to 4 buildings instead of 5 buildings along Aurora Street. There was no objection from the neighbors on the preliminary plat or final plat. The main concern / questions from the neighbors were about building heights and proximity of the buildings to houses to the north.
 2. Questions / Responses:
 - a. How many trees will be removed/saved?
 - The majority of the trees along the streamway between the buildings and the north property line will be saved. Some trees will need removed to tie into the sanitary sewer and discharge the storm sewer to the creek.
 - b. How much is rent?
 - Average of \$1,200/month range.
 - c. What kinds of lights will the apartments have?
 - Light poles will have full cut off fixtures with no light spillover at property line. There will also be lights on the buildings.
 - d. Will there be patio/deck on backs of buildings?

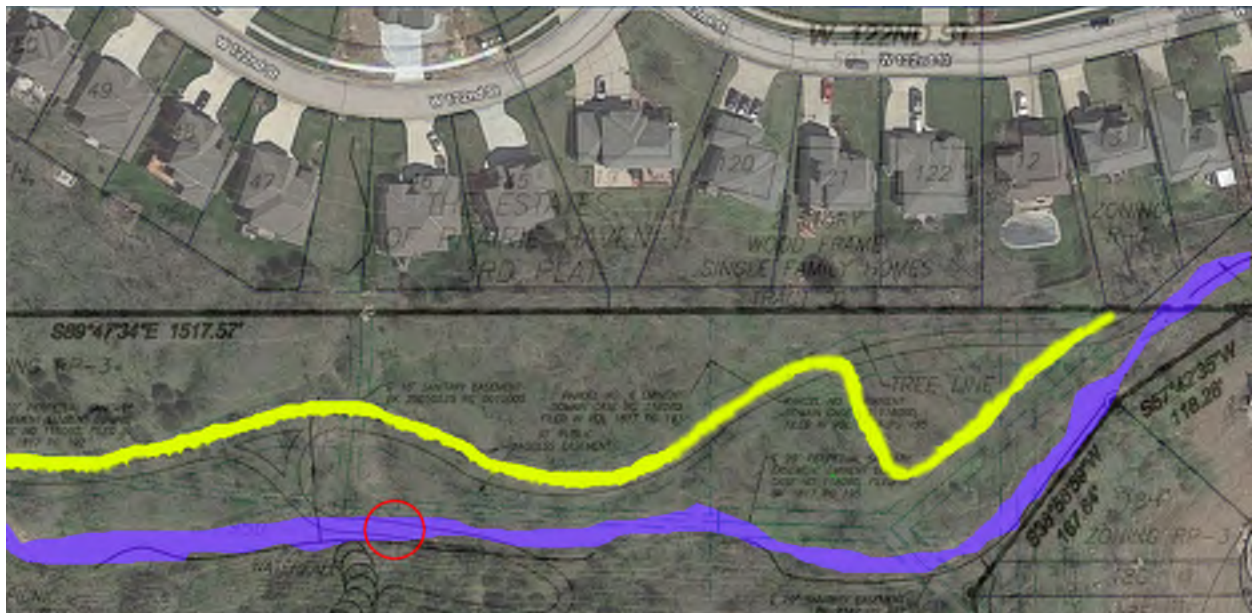
- Yes. Showed the neighbors building elevations.
- e. Construction Timeline?
 - Start April/May of this year. Full building out will take 3 +/- years to complete.
- f. What is distance from Greyson Place lots to Apt. buildings?
 - Ranges from 220 feet to feet from the backs of the apartment buildings to the rear lot lines of Greyson Place.
- g. How tall are the buildings backing up to the creek?
 - Approximately 40' tall.
- h. Is Neighborhood Meeting required?
 - Yes, explanation of process for public hearing.
- i. How many approvals have been made by city to this point?
 - Several Meetings
 - Matching old plan
- j. Construction traffic, how to get ahold of owner if problems?
 - Signs with leasing numbers are put up. Any complaints shall be made to the leasing office.
- k. Any proposed traffic improvements?
 - No, perimeter streets adequate and were set up with this apartment project in mind.
- l. Are there background checks?
 - Yes
- m. Is it a gated community?
 - No
- n. Will the construction of the apartments be phased?
 - 4 buildings along Aurora Street anticipated to be built first.
- o. Will you see parking from street?
 - No, parking is internal to site.
- 3. After all questions had been answered those in attendance were told the City Planning Commission public hearing for consideration of the preliminary plat will be on Monday, February 25, 2019, at City Hall, at 7:00 PM.
- 4. This concluded the meeting.

Summerfield proposal overlaid on a satellite image with the creek bed highlighted.



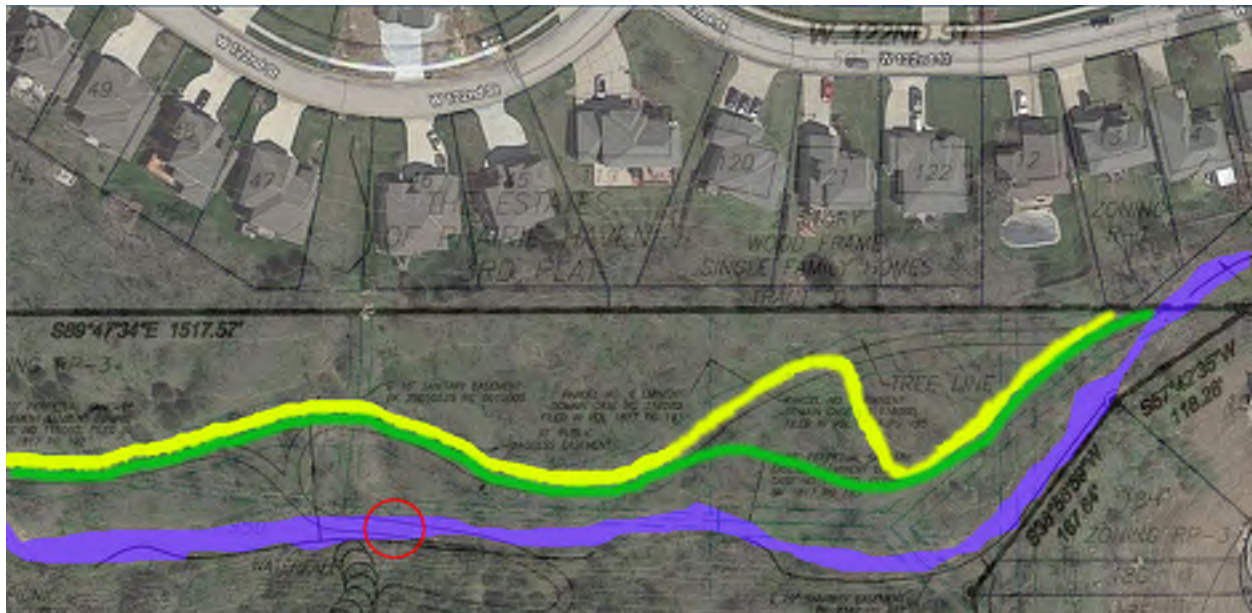
The walking path from the Summerfield proposal follows the original road-cut which was cleared for maintenance to the piping buried in the city's perpetual sanitary easement.

Most Recent Road Cut



In 2016, maintenance was performed to piping buried along the perpetual sanitary easement. The contractors cut a different road at that time. The current path of least resistance is shown here in Yellow. I presume this change was made because the contractor identified the improvements to the land in that area behind our home and decided to clear their road around rather than through the improved area.

Proposed Nature Trail



The path shown in green offers the following benefits:

- 1) The nature path will display, "Nature" on both sides of the path, keeping the creek in view and woods on the opposite side of the path rather than walking within an arms-reach of privacy fences.
- 2) The existing mature trees and perennial flowers which now reside in the path of the original road-cut can be preserved and their beauty can be shared with those using the path rather than being paved beneath it.
- 3) The proposed path (in green) will require less material to construct than following the most recent road-cut (ie. Path of least resistance in yellow) and a de minimis difference in materials between it and the Summerfield proposed path.
- 4) The proposed path (in green) tracks along the creek which is far more interesting and welcoming than a sidewalk bordered by privacy fences.
- 5) The property owners have long been accustomed to the only visitors behind our fences being deer, squirrels, raccoons, rabbits, opossum, and turkeys. Seeing people back there will be much easier on us if they aren't interacting like "Wilson" from "Home Improvement."



Questions-

1. Red Circle superimposed on the Summerfield Plan- The Summerfield path and the creek seem to cross here in a way that doesn't clearly suggest a bridge will be constructed. What are the plans for this crossing?
2. Will any of the construction adversely impact the aquatic life currently residing in the creek? Chorus frogs and several species of fish have been observed there as well as signs that beaver have been present as recently as summer 2018.

From: robe1943 <robe1943@gmail.com>
Sent: Monday, February 18, 2019 9:40 AM
To: Dan Fernandez
Subject: Summerfield at copper creek

I have concern about more traffic at Harold and 7 highway also are they going to keep the green space intact for the buffer area tract A

Charles Robert's
22035 w 12wnd St
Olathe, Ks 66061
robe1943@gmail.com
913 732 2550

Sent from my Galaxy Tab A

From: Terry Westerhold <terrylwesterhold@gmail.com>
Sent: Tuesday, February 19, 2019 1:00 PM
To: Dan Fernandez
Subject: Petition to support lower density housing
Attachments: petition_signer_comments.pdf; petition_supplement.pdf;
petition_with_signatures.pdf

Hi Dan,

I have attached 3 files which I wish for the Planning Commission to review.

The file **petition_with_signatures.pdf** is a petition with signatures to support lower density housing than what Prieb has proposed. More signatures are being added every hour as people learn about what is going on. Here is a link to the original petition:

<https://www.change.org/p/support-lower-density-housing-in-our-community>

The file **petition_signer_comments.pdf** contains comments made by several people who have signed the petition.

The file **petition_supplement.pdf** expands on the information in the petition and includes references assertions that were made in the petition about school capacity, traffic, crime, etc.

I'll send you updated copies of **petition_with_signatures.pdf** as more signatures come in through out the week prior to the meeting on 2/25, I just wanted to make sure I got you the bulk of the material as soon as I could.

Thanks,

Terry Westerhold

660 909 8575

From: Dan Fernandez
Sent: Tuesday, February 19, 2019 5:03 PM
To: Terryl Westerhold
Subject: RE: Petition to support lower density housing

Thanks,

[Dan Fernandez](#), *City Planner II*

(913) 971-8664 | OlatheKS.org

Public Works | City of Olathe, Kansas

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From: Terryl Westerhold <terrylwesterhold@gmail.com>
Sent: Tuesday, February 19, 2019 4:55 PM
To: Dan Fernandez <DJFernandez@OLATHEKS.ORG>
Subject: Re: Petition to support lower density housing

Hi again Dan. The petition has received a lot of signature activity today. 20 more signatures just since I last sent you the files. I also added an "Additional Arguments" section to **petition_supplement.pdf** file. I just attached the files in a zip this time so they are easier to keep track of.

Thanks,

Terryl Westerhold

On Tue, Feb 19, 2019 at 1:16 PM Dan Fernandez <DJFernandez@olatheks.org> wrote:

Thanks Terryl. This will be included in the Planning Commission packet. Also, attached is the approved plan.

[Dan Fernandez](#), *City Planner II*

(913) 971-8664 | OlatheKS.org

Public Works | City of Olathe, Kansas

Setting the Standard for Excellence in Public Service



From: Terry! Westerhold <terrylwesterhold@gmail.com>

Sent: Tuesday, February 19, 2019 1:00 PM

To: Dan Fernandez <DJFernandez@OLATHEKS.ORG>

Subject: Petition to support lower density housing

Hi Dan,

I have attached 3 files which I wish for the Planning Commission to review.

The file **petition_with_signatures.pdf** is a petition with signatures to support lower density housing than what Prieb has proposed. More signatures are being added every hour as people learn about what is going on. Here is a link to the original petition:

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I'll send you updated copies of **petition_with_signatures.pdf** as more signatures come in through out the week prior to the meeting on 2/25, I just wanted to make sure I got you the bulk of the material as soon as I could.

Thanks,

Terry! Westerhold

From: Patti Kolich <kolichpd@gmail.com>
Sent: Tuesday, February 19, 2019 8:50 PM
To: Dan Fernandez
Subject: Re: Summerfield at Copper Creek

I'm sorry this response is being made at this late hour. My concerns with this development are as follows:

- I have major concerns regarding traffic on the following roads - 119th as well as Lone Elm and even Parker.

These are two lane roads without curbs, sidewalks, etc.

There is already a 'funky' curve on 119th St that should have been eliminated when the road was repaved last summer in preparation for the new Middle school opening.

- more enrollment in the exiting schools. Is there room for growth without causing increased class sizes and affecting student services?

....

Thank you

Patricia Kolich

Sent from my iPhone

On Feb 19, 2019, at 2:02 PM, Dan Fernandez <DJFernandez@olatheks.org> wrote:

Good afternoon, Patti. Attached is the approved plan for the apartment development. The applications on the 2/25 Planning Commission agenda are for the plats which are not public hearings. However, you can send me an email voicing your concerns and I can include that in the Planning Commission packet for their review. I will need an email by tomorrow morning to include in the packet.

Please let me know if you have any questions. Thank you,

[Dan Fernandez](#), *City Planner II*

(913) 971-8664 | OlatheKS.org

Public Works | City of Olathe, Kansas

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<image001.png> <image002.png> <image003.png>

From: Patti Kolich <kolichpd@gmail.com>
Sent: Monday, February 18, 2019 12:38 PM
To: Dan Fernandez <DJFernandez@OLATHEKS.ORG>
Subject: Summerfield at Copper Creek

Patricia Kolich
21830 W 119th Ter #1501
Olathe KS 66061
kolichpd@gmail.com

I would like more information regarding this development and chance to make public comments at a future Planning Commission meeting.

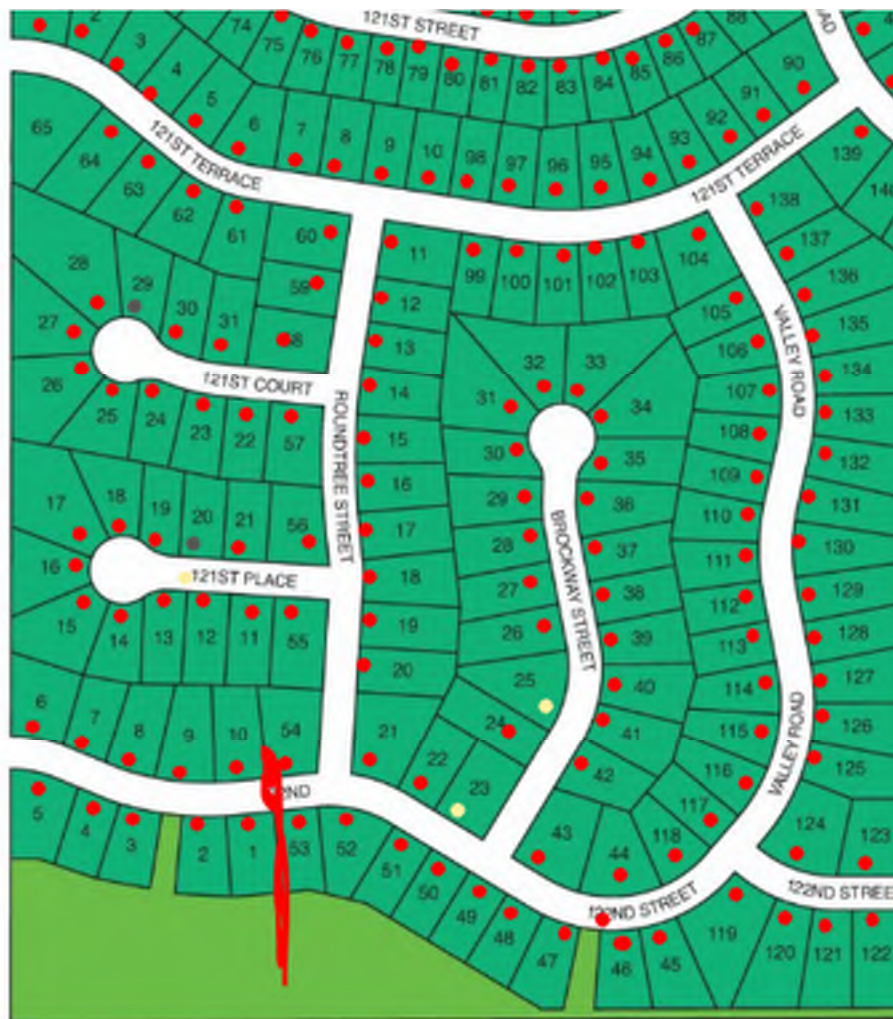
Sincerely

Patricia Kolich

<Summerfield Plan.pdf>

From: Aaron Pivonka <aaronpivonka@gmail.com>
Sent: Tuesday, February 19, 2019 2:32 PM
To: Dan Fernandez
Subject: Re: Summerfield at Copper Creek

Thank you for replying Dan. The concerns I have are around over crowding in the nearby schools, traffic for the existing infrastructure doesn't seem to be able to handle current volume effectively around the Harold and K7 intersection. Also, your plat map is inaccurate. I've attached the current plot map of Grayson Place and the homes that are currently built and where your map is cut off. This doesn't seem to take into account that there are homes much closer to the apartments than what is shown on your map. The red line is where your map cuts off of the current homes. I feel that the new homes and this new information needs to be taken into account and have the reassessed. Please let me know what the next steps are now since the map isn't correct.



Thanks!
Aaron

On Tue, Feb 19, 2019 at 2:14 PM Dan Fernandez <DJFernandez@olatheks.org> wrote:

Good afternoon, Aaron. Attached is the approved plan for the apartment development. The applications on the 2/25 Planning Commission agenda are for the plats which are not public hearings. However, you can send me an email voicing your concerns and I can include that in the Planning Commission packet for their review. I will need an email by tomorrow morning to include in the packet.

Please let me know if you have any questions. Thank you,

[Dan Fernandez](#), *City Planner II*

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Public Works | City of Olathe, Kansas

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From: Aaron Pivonka <aaronpivonka@gmail.com>

Sent: Tuesday, February 19, 2019 1:44 PM

To: Dan Fernandez <DJFernandez@OLATHEKS.ORG>

Subject: Summerfield at Copper Creek

Hi Dan --

My name is Aaron Pivonka and I live at 22243 W 121st Place and I would like more information about the development and a chance to make public comments at a future Planning Commission meeting regarding this development and the impact that it's going to have on the existing community.

Thank you!

From: Patricia Sherberg <psherberg@yahoo.com>
Sent: Monday, February 18, 2019 9:36 PM
To: Dan Fernandez
Subject: Summer field at Copper Creek

I would like information and a chance to make public comments at a future Planning Commission meeting regarding this project.

Thanks

Patricia Sherberg
22195 W 120th Ter
Olathe, KS 66061
Psherberg@yahoo.com

Include your name & address and a brief statement that you would like more information about the development and a chance to make public comments at a future Planning Commission meeting

Sent from my iPad

From: Reece Pulliam <reece.pulliam@gmail.com>
Sent: Tuesday, February 19, 2019 4:04 PM
To: Dan Fernandez
Cc: Planning Contact; Jim Randall
Subject: Summerfield at Copper Creek Development (Planning Commision 2/25)

To Whom It May Concern:

I reside at 12487 S Valley Cir, Olathe, KS which is directly south of the proposed development. From the information that was made public and the letter I received about this development the main entrance will be directly north and T into my cul-de-sac. This raises several concerns regarding the character and identity of our neighborhood due to noise pollution, light pollution, **increased traffic congestion**, and environmental impacts. I am requesting that the City of Olathe consider mandating that the developer take the following steps before plat approval and that the Planning Commission remove the plat approval from the consent agenda to consider additional public comments.

Requested Mitigation Steps:

1. Completion of an updated traffic study to better assess the impact of the development. Near the development entrance all roads are narrow, only support 2 lanes, and have little to no shoulder area. Widening Harold, Parker and Lone Elm streets and possibly placing a traffic signal at the intersection of Harold and Parker streets would mitigate the traffic impact significantly.
2. Planting a line of mature evergreen trees along Aurora/124th along the property to provide a sight and sound barrier.
3. Make S. Valley Circle a "Private Drive" to deter from the endless use of the cul-de-sac for turn around.

Since the development of the town homes has started our very small cul-de-sac has already experienced a huge increase in traffic used only to turn around. This includes people that live near, but more importantly, Prieb vehicles, constant construction traffic including large trucks and trailers, along with heavy equipment. On several occasions these commercial drivers and vehicles owned by Prieb are on their cell phones. As many cul-de-sacs the small turn about is of great concern for potential harm to those living on the street as the cul-de-sac is used by the children that live around them.

This type of development is also of concern due to the increased population in the Millbrooke School Boundary. Millbrooke has 463 students enrolled and is at capacity when enrollment reaches 696 students. This will require approximately 29 students per classroom, which at the elementary level is a high number of students per teacher.

I understand that originally this property was zoned "single family" and was recently changed to multi-family. Has the City of Olathe completed a traffic study for what happens when all the town homes, apartment complex, and the remainder of the quadplex/8plex buildings are completed that are just east of this development? Is there a plan for the potential increase in students to the school boundaries?

Thanks for your assistance in this matter.

--

~Reece~

From: Jerry Merrill <jerry@merrill.law>
Sent: Monday, February 18, 2019 8:44 AM
To: Dan Fernandez
Cc: Planning Contact; Jim Randall
Subject: Summerfield at Copper Creek Development (Planning Commission Meeting 2/25)

Dan,

I appreciate you taking the opportunity to speak with me last week. I did not realize that plat approval was simply on the consent agenda for the Planning Commission meeting and that we would not be able to submit or make public comments. Thank you for your offer to include correspondence from interested parties in the packet that the Planning Commission will review. I have cc'd Jim Randall in case he has any input or suggestions for me.

I reside at 22091 W. 122nd Street in the Grayson Place neighborhood which is north of the proposed development. Based on the neighborhood meeting the developer conducted, I understand that at least one of the 3 story apartment buildings will be located less than 100 yards from my property and many other properties in Grayson Place. This raises concerns regarding the character and identity of our neighborhood due to noise pollution, light pollution, increased traffic congestion, and environmental impacts. I am requesting that the City of Olathe consider mandating that the developer take the following steps before plat approval and that the Planning Commission remove the plat approval from the consent agenda to consider additional public comments.

Requested Mitigation Steps:

1. Completion of an updated traffic study to better assess the impact of the development. Near the development entrance all roads are narrow, only support 2 lanes, and have little to no shoulder area. Widening Harold, Parker and Lone Elm streets and possibly placing a traffic signal at the intersection of Harold and Parker streets would mitigate the traffic impact significantly.
2. Planting a line of mature evergreen trees along the northern boundary of the development to provide a sight and sound barrier.
3. Along with the trees, construction of a concrete wall with decorative veneer along the development property line to both delineate the development's property line and to provide additional sound mitigation.

Thank you for your time and attention to this matter. Please feel free to contact me if you have any questions.

Thanks, Jerry

Jerry Merrill
22091 W. 122nd Street
816.898.3133

From: Jeff <jeffrey_lemire@hotmail.com>
Sent: Wednesday, February 20, 2019 7:31 AM
To: Dan Fernandez
Subject: Summerfield at Copper Creek Development (Planning Commission Meeting 2/25)

Dan, Mr. Mayor & Council Member Randall,

I reside at **12161 S Brockway Street** in Grayson Place which is just north of the proposed Summerfield at Copper Creek Development that will be going before the 2/25 Planning Commission. Based on the neighborhood meeting the developer conducted, I understand that at least one of the 3 story apartment buildings will be located less than 100 yards from some properties within Grayson Place. This raises concerns regarding the character and identity of our neighborhood and community. The City of Olathe prides it's self on being a place where people want to live but recently it seems to be constructing more and more apartment complexes. There is a very large complex at Ridgeview and 119th that is still under construction that seems to meet those needs. I would like to see who and where the developer believes is going to fill these apartments. Is this going to stand vacant like the commercial property right there on 127th & K-7?

As a Professional Civil Engineer and Certified Flood Plain Administrator this development concerns me in many other ways besides just home values, schools, safety and privacy. I do not want to have a 3 story building looking right over our street and yards. The fact is this will affect the drainage issues already occurring in the area, eliminate animal habitat, create noise pollution, light pollution, increase traffic congestion and other environmental impacts to the area as well.

I would also like to know why this development is not required to follow the same requirements as the Grayson Place Developer pertaining to creek and drainage protection thru the creation of Tracts dedicated to Parklands for trails and/or Tree Preservation limits of 100' or more to create a natural buffer between residential and multi-family developments. This would be no different then what other areas of Olathe had to follow such as the Mill Creek and Indian Creek Parks/trail areas.

I am requesting that the developers proposal is withdrawn from the Consent Agenda at the planning commission meeting and the residents questions be answered before the City of Olathe approves a developer's request to construct multi-level apartments in a residential neighborhood setting.

Thanks,

Jeffrey LeMire, P.E., CFM

From: Neal Heckman <nealheckman@comcast.net>
Sent: Monday, February 18, 2019 10:21 AM
To: Dan Fernandez
Cc: Michael Copeland; nealheckman@comcast.net; Planning Contact
Subject: Summerfield at Copper Creek Development (Planning Commission Meeting 2/25)

Mr. Fernandez,

My wife and I want to express our concern about the Summerfield at Copper Creek Development that is on the consent agenda for the Olathe Planning Commission Meeting for Feb 25, 2019. I did not realize that plat approval was simply on the consent agenda for the Planning Commission meeting until today and that we would not be able to submit or make public comments. Thank you for including correspondence from interested parties in the packet that the Planning Commission will review. I have cc'd Mayor Copeland in case he has any input or suggestions for me.

We reside at 22174 W 121st ST in the Grayson Place neighborhood which is north of the proposed development. Based on the neighborhood meeting the developer conducted, I understand that at least one of the 3 story apartment buildings will be located less than 100 yards from some properties in Grayson Place. This raises concerns regarding the character and identity of our neighborhood due to noise pollution, light pollution, increased traffic congestion, and environmental impacts. We are requesting that the City of Olathe consider mandating that the developer take the following steps before plat approval and that the Planning Commission remove the plat approval from the consent agenda to consider additional public comments.

Requested Mitigation Steps:

1. Completion of an updated traffic study to better assess the impact of the development. Near the development entrance all roads are narrow, only support 2 lanes, and have little to no shoulder area. Widening Harold, Parker and Lone Elm streets and possibly placing a traffic signal at the intersection of Harold and Parker streets would mitigate the traffic impact significantly. As well as adding a lane for ingress into the apartments on the appropriate street and appropriate side of that street.
2. Planting a line of mature evergreen trees along the northern boundary of the development to provide a sight and sound barrier.
3. Along with the trees, construction of a concrete wall with decorative veneer along the development property line to both delineate the development's property line and to provide additional sound mitigation.

Thank you for your time and attention to this matter. Please feel free to contact me if you have any questions.

Cindy and Neal Heckman
22174 W 121st ST
Olathe, KS 66061
831-601-5432

From: Carrie McCarty <carrie.conner@hotmail.com>
Sent: Tuesday, February 19, 2019 12:48 PM
To: Dan Fernandez; Planning Contact
Subject: Summerfield at Copper Creek

Name: Carrie McCarty

Address: 22262 W. 121st Pl, Olathe, KS 66061 (Grayson Place Subdivision)

Date: 2/19/19

Planning Application/Project: Summerfield at Copper Creek-I'm assuming this is the correct project name, a neighbor provided this info, but to be clear, this is in reference to the proposed 353 unit apartment complex by Prieb Property at S Aurora Street Near Harold (127th) and K7, directly south of the Grayson Place subdivision.

Comment: Thanks to social media, I am learning of this proposed project today. I would like more information about the project and would hope there would be a public hearing to discuss community concerns. As I have only read what comments have been on social media, before I make too many comments, I would like the opportunity to hear and see what is being proposed. My main concerns would be the effect on the schools (elementary/middle/high) in the area and how the growth would impact, and also traffic-primarily on Lone Elm. Lone Elm from 127th to 119th is a narrow 2 lane road with very few turn lane areas, very limited street lighting-specifically can be VERY dark in the hilly spots, and there are no consistent sidewalks that children could walk or ride bikes to school-leaving children in street-which is extremely dangerous.

Thank you for considering the opportunity to hear more about this project before it is approved.

From: Shannon Dorsey <sdorsey25@gmail.com>
Sent: Tuesday, February 19, 2019 9:12 PM
To: Dan Fernandez
Subject: Summerfield at Copper Creek

Hello Dan,

My name is Shannon Dorsey and I live at 21971 W 125th Ct, Olathe, KS 66061. I'm extremely concerned about the development of the apartments at 124th and Aurora, to be called Summerfield at Copper Creek.

My concerns include:

- Already congested traffic patterns getting significantly worse
 - Busy Lone Elm with one lane each way with no street lights and no sidewalks
 - Difficulty accessing Harold/127th to K-7
 - Additional lanes needed to support already existing traffic
- Home values will decrease in a desirable Olathe neighborhood
- Crowded schools affecting successful student performance
 - These apartments will feed in to Millbrooke Elementary which is currently the 6th largest elementary school in Olathe. With Canyon Creek Elementary opening for the 2019-2020 school year and enrolling students from Cedar Creek Elementary, that will then make Millbrooke the 5th largest elementary school, out of 36 elementary schools. With the addition of these apartments, Millbrooke could easily become of the largest if not the largest elementary school in Olathe.

We chose to live in this neighborhood because of the surrounding land. It's refreshing to see open pieces of land and not see buildings piled up on top of each other. West and northwest Olathe are growing, but not every inch of land needs to be developed. We enjoy driving around west Olathe to see open land, mature trees, and animals roaming. Please don't build these apartments. Think about how it negatively impacts the surrounding neighborhoods, traffic, school size, and the environment.

Thank you for your time,
Shannon Dorsey

From: Tom Dorsey <tdorsey08@gmail.com>
Sent: Monday, February 18, 2019 12:53 PM
To: Dan Fernandez
Subject: Summerfield at Copper Creek

Dan,

My name is Tom Dorsey and I live at 21971 W 125th Ct, Olathe, KS 66061. I'd like the opportunity to hear more about the possible Summerfield at Copper Creek development and to make public comments at a future Planning Commission meeting.

Thanks,

Tom

Support Lower Density Housing in Our Community

This letter contains supplemental information that goes with the petition against the plans for the “Summerfield at Copper Creek” apartments that Prieb is proposing to build on S Aurora Street. Existing residents have concerns about what the addition of apartments in this community will mean in terms of traffic, school capacity, crime, property values, and noise. Below are requests from existing residents in the area who have concerns about the proposed apartments. The requests are listed on order of preference. Points #1 and #2 are directly related to the petition and the signatures on it. Points #3 and #4 are additional ideas that could be implemented to allow the residents of S Valley Circle to maintain some level of privacy.

1. Build Low Density

This community simply isn't built for an apartment complex of the proposed density, and it is surprising to concerned parties that the land in question was ever zoned multi-family residential back in 2003. All lots in the bordering subdivisions of Stone Creek Village, Leevue Estates, and Grayson Place were zoned single family residential. Fast-forward to 2019 and nearly every property between 119th and 127th, from K7 East to the railroad tracks is zoned single family residential except those owned by Prieb. Single family homes are not only what the existing residents desire to be developed in the community, it is also what the housing market demands. Single family starter homes are selling faster and at higher prices than ever before and there is a shortage of such homes in Olathe and the surrounding areas. Until Prieb started developing in this area, that is all there was, and that made sense. Under Prieb's proposed plan the apartments would add 353 new family dwellings. With those numbers the best case traffic scenario is an additional 300 - 400 cars through the stop light at Harold and K7 during rush hour times. Prieb has also already broke ground on an additional 51 townhomes at the corner of Harold and S Aurora Street which will add another 50 - 75 cars through the Harold and K7 stop light at rush hour times. Prieb also hasn't finished their original 100 townhomes yet, so more traffic will be added when those units are finished and rented out. Follow S Aurora Street North until it becomes W 124th Street and we see that there is yet more development happening. It is unknown what type of units will be built on W 124th Street, but it is unlikely that the total number of cars owned by the eventual occupants of those units will be zero. Judging by the types of buildings on W 124th Street now, planning on an additional 50 cars seems a conservative estimate. Add all of that up and we are looking at an additional 400 - 500 cars going through the stop light at Harold and K7 during rush hour times daily. This doesn't just affect people on the S Aurora/W 124th loop, it affects everyone who commutes through the intersection at Harold and K7. Anyone that drives K7 on a daily basis knows that the last thing it needs is more traffic, and unfortunately more housing means more traffic.

More traffic isn't the only concern with additional housing. The classroom size of local schools will increase dramatically from all of this development, affording each teacher less time to focus on individual students. Two of the three schools in this area already face crowding in their current facilities. According to Chris Gralap, Olathe Public School District's Manager of Planning, the school system uses the guideline of 27 students per classroom to determine a facility's maximum student capacity . Using those guidelines, Olathe Northwest High School has a capacity of 1965 students. During the 2016 - 2017 school year Olathe Northwest High School had an enrollment of 2,256 students⁽¹⁾ which put it over capacity by 291 students. Olathe West High School opened in 2017 which helped to lessen the crowding issue at Olathe Northwest High School, but Olathe Northwest High School is still at nearly 100% capacity with an enrollment of 1934 students for the 2018 - 2019 school year. Here are few Google reviews by students who have attended or currently attended Olathe Northwest High School which underline the crowding problem:

Lizzie Swartwood⁽²⁾

Good school overall, but in the two years I've been there, I have been thoroughly disappointed. The school expects too much academically of their students and does nothing to ease up the pressure. On top of that, it is way too crowded. There are rules in place to help with that like "go zones" but these rules are not held up by the staff. The 21st Century programs, while very helpful and good, are not thought out very well. The e-Comm program expects greatness from the students, yet does not provide them with adequate resources. For someone like me, who doesn't own a single Apple product, yet using them at school, provides difficulty when trying to work from home. While we are the best school in the district, think carefully before becoming a Raven.

Nathan Weiss⁽³⁾

I mean it's ok, but overall I'm disappointed. The environment of the school is very stressful for someone who gets anxious around large crowds of people. This school is RIDICULOUSLY CROWDED. Sometimes you can't even move in the hallways because of people who walk slow. I feel like the students here are treated more as numbers than as unique individuals. The lunch could be much improved, I would suggest having more options like sodas instead of all "healthy" options. I feel very flustered and anxious every day I come to this school. If you have the money, go to St. James or Thomas Aquinas. I'm transferring to St. James next semester, I feel like it will be a great decision.

Ben Blades⁽⁴⁾

ITS A GO ZONE YALL. Move!!!!

Using the same guidelines, Millbrooke Elementary has a capacity of 696 students and had 423 students enrolled during the 2016 - 2017 school year⁽⁵⁾. During the 2018 - 2019 school year enrollment has risen to 463. The only area school that isn't in danger of being over crowded by the proposed apartments is the Summit Trail Middle school which first opened for the 2018 - 2019 school year with a capacity of 885 students and an enrollment of 514 students.

Shopping at local businesses is already difficult due to congestion. The Walmart at 135th and K7 is always packed, and getting gas without waiting in line at QT or the Murphy Express is often unlikely.

Crime is another big concern with apartments. A 2010 study released by the U.S. Department of Justice⁽⁶⁾ show a clear correlation with increased density of units and number of burglaries.

2. Extend Monticello Terrace

Extending Monticello Terrace to be the main entrance of the proposed development would be the most effective way keep traffic from getting worse on S Aurora Street and at the intersection of Harold and K7. Those traveling North on K7 can use the entrance ramp at 119th instead of going through the stop light at Harold and K7. Those living on the S Aurora/W 124th loop would not have to deal with traffic from the new development at all. That includes construction traffic which existing residents will likely have to endure for 3 more years on top of the 2 years that most have already experienced. Extending Monticello Terrace to be the main entrance of the proposed development will have a dramatic effect on those living on the cul-de-sac of S Valley Circle since the currently proposed entrance tees into S Valley Circle. Residents of S Valley Circle already deal with construction traffic and locals turning around in the circle. Most importantly, cul-de-sacs are a safety concern for children and result in 64 percent of all "non-traffic" vehicular fatalities for children under 15⁽⁷⁾. The steps we take now to reduce the amount of traffic in the S Valley Circle cul-de-sac could save a life.

If extending Monticello Terrace turns out not to be an option we would like Prieb to work with existing residents to develop an a new plan where the main entrance would be relocated to a more suitable location.

3. Plant Tall Privacy Trees

The fact is that any development on the proposed site will reduce home values for those living on S Valley Circle and Sagebrush. One simple thing that Prieb can do to mitigate reduced home values is to plant tall evergreen trees along S Aurora Street to block the view

and noise of the proposed development. Optimally these trees would be planted prior to the start of construction so existing residents could realize their benefit during construction.

4. Spilt S Aurora Street at Proposed Apartment Entrance

To reduce the the traffic turning around in the S Valley Circle cul-de-sac, the cul-de-sac could be broken off to be the end of W 124th Street. At that point S Aurora Street could feed directly into the proposed apartment entrance and there would be no way for those entering or exiting the apartment complex to turn around in the S Valley Circle cul-de-sac.

Additional Arguments Against Proposed Apartments

Plan for Proposed Apartments is Stale and Undesirable

The original plans for Prieb's proposed apartments were not even developed by Prieb. They were developed by Duggan Homes in 2008. As previously mentioned, the zoning for property that the proposed apartments will go on took place in 2003. A lot has happened in the 16 years since the zoning took place and in the 11 years since the original apartment plan was approved, including a lot of development in the area and new set of people living in the area's homes. The people who live in this area now need to be afforded the opportunity to vote down the proposed apartments. There must be some statute of limitations on plans of this nature so that a stale and undesirable plan is not implemented. Additionally and perhaps more importantly, the plan that was approved back in 2008 was done so with Duggan Homes being the applicant, not Prieb. Unified Development Ordinance 18.90.020 defines "applicant" as being synonymous with "developer" or "subdivider, which Prieb is⁽⁸⁾. The applicant performing the development matters and the people in the area have a right to have the plans go through the approval process again as it is defined by Unified Development Ordinance chapters 18.40⁽⁹⁾ and 18.94⁽¹⁰⁾, knowing who will actually be developing the property.

Plan for Proposed Apartments Conflicts with Olathe's Comprehensive Plan

Olathe's Comprehensive Plan speaks volumes on "Quality of Life". In 2009 Olathe performed a survey which showed that 54% of residents said Flow of Traffic/Congestion Management should be a top priority for the city⁽¹¹⁾. The proposed development runs contrary to what the citizens of Olathe since it will dramatically increase congestion in the area. In the Housing & Neighborhoods section of Olathe's Comprehensive Plan there exists the following list of benefits⁽¹²⁾:

- Neighborhood stability is maintained or enhanced.
- Residents experience an increase in neighborhood livability.
- An adequate supply of housing options is provided.

Prieb's proposed apartments not only don't provide the listed benefits, they detract from neighborhood stability and livability. There is an extreme shortage of single family starter homes in the area so Olathe should take steps to remedy that. With Prieb's help, the property slated for apartments could easily be used for single family homes instead. Olathe's Comprehensive Plan also speaks of "Mobility" listing the following benefits⁽¹³⁾:

- Transportation choices reduce the number of vehicle trips, overall miles traveled, and traffic congestion.
- Improves public health.
- Reduces air pollution.
- Provides travel options for residents and visitors.

Placing apartments which are much higher density than single family homes in an area where the tenants cannot walk to needed services such as groceries stores, restaurants, and entertainment venues will result in a dramatic increase of vehicle trips, miles traveled, and traffic congestion. Overall public health will be reduced not only by increased air pollution, but also by the increased traffic congestion which will increase the statistical likelihood of being in a car accident, or worse, being hit by a car as a pedestrian.

Appropriate Studies Have Not Been Performed

There is no evidence that a Traffic Study, Stormwater Study, or Sewage Study has been performed. Traffic congestion is one of the major concerns that existing residents in the community have with the proposed apartments. Since the quick math related to the traffic that will be introduced by the proposed apartments paints a bleak picture, it seems imperative to perform a traffic study.

Given the topology of the property the proposed apartments will be built on and that the property has a creek on the Northside, it also seems imperative to perform a Stormwater Study. The creek in question is on the Southside dozens of houses on W 122nd Street and the volume and velocity of extra runoff that will be created by the lack of green space in the proposed development could pose a serious risk to those homes in terms of flooding and erosion.

Due to the density of the proposed apartments, there is also a concern about sewage infrastructure. What size is the primary line, and is it large enough to accommodate the proposed apartments and all the other townhouses already being developed?

References:

1. *National Center for Education Statistics | Olathe Northwest High School:*
https://nces.ed.gov/ccd/schoolsearch/school_detail.asp?Search=1&InstName=olathe+northwest&SchoolType=1&SchoolType=2&SchoolType=3&SchoolType=4&SpecificSchlTypes=all&IncGrade=-1&LoGrade=-1&HiGrade=-1&ID=201014001793
2. *Olathe Northwest High School Review by Lizzie Swartwood:*
https://www.google.com/maps/contrib/104011690133984146100/reviews?hl=en-US&sa=X&ved=2ahUKEwj4tIDZ_8fgAhXrUt8KHQULBoAQvQBegQIARAQ
3. *Olathe Northwest High School Review by Nathan Weiss:*
<https://www.google.com/maps/contrib/108432571948709300607/reviews/@38.8845165,-96.2027775,9z/data=!3m1!4b1!4m3!8m2!3m1!1e1?hl=en-US>
4. *Olathe Northwest High School Review by Ben Blades:*
<https://www.google.com/maps/contrib/117748579404950943384/reviews/@38.9375187,-94.9655523,12z/data=!3m1!4b1!4m3!8m2!3m1!1e1?hl=en-US>
5. *National Center for Education Statistics | Millbrooke Elementary:*
https://nces.ed.gov/ccd/schoolsearch/school_detail.asp?Search=1&Zip=66061&Miles=1&SchoolType=1&SchoolType=2&SchoolType=3&SchoolType=4&SpecificSchlTypes=all&IncGrade=-1&LoGrade=-1&HiGrade=-1&ID=201014002077
6. *Victimization During Household Burglary:* <https://bjs.gov/content/pub/pdf/vdhib.pdf>
7. *Cul-de-Sacs Are Killing Us: Public Safety Lessons From Suburbia:*
<https://usa.streetsblog.org/2011/06/07/cul-de-sacs-are-killing-us-public-safety-lessons-from-suburbia/>
8. *Unified Development Ordinance 18.90.020 | Definitions:*
<https://olathe.municipal.codes/UDO/18.90.020>
9. *Unified Development Ordinance 18.40 | Part 1. General Procedural Elements:*
https://olathe.municipal.codes/UDO/18.40_Part1
10. *Unified Development Ordinance 18.94 | Submittal:*
<https://olathe.municipal.codes/UDO/18.94>
11. *Plan Olathe | Quality of Live in Olathe | Direction Finder Survey Results:*
<http://www.planolathe.org/plan/chapter/2-quality-life/quality-life-olathe>

12. *Plan Olathe | Housing & Neighborhoods:*

<http://www.planolathe.org/element/housing-neighborhoods>

13. *Plan Olathe | Mobility:*

<http://www.planolathe.org/element/mobility>

Comments from people signing petition for lower density housing

Derek Bowers:

I have lived on S. Aurora for 2 years and the construction/traffic is already becoming an issue. There have been 2 high speed single vehicle accidents in this residential area within the past 3 months. Construction noise is non-stop 6 sometimes even 7 days a week! As a lifetime Olathe resident I support our growing city, but this particular growth is obviously just to line Prieb's already bulging pockets. They do not have the community's best interest at heart.

David Stone:

As a resident at Parkview Townhomes, which is undergoing ongoing construction and development by Prieb, I have witnessed daily their significant footprint on the area in terms of large construction vehicles zooming in and out, noise and messy roads, among other grievances noted in this petition. I fully support this effort to keep this developer out.

Cindy Chancey:

I agree on the over crowding. It's just too much congestion in one area.

Matt Madsen:

I have a great amount of friends and family that live within this area. I visit for pleasure and business frequently, and I know firsthand how congested the traffic is in this area.

Steve Gasky:

Don't need the traffic

Vickie Tiller:

Parker street cannot handle that much traffic. It is already an unsafe route for kids traveling to any of the schools. No sidewalks. Drainage issues and speeding.

Joshua Zars:

Having overcrowded schools is a major concern and this development will not help address the present concern.

Support lower density housing in our community



Prieb Property is planning on developing a 353 unit apartment complex on S Aurora street near Harold (127th) and K7. The proposed apartment complex will cause the following problems:

- 400% - 550% increase in traffic on S Aurora Street once all development on S Aurora street and W 124TH street is complete
- 400 - 500 more cars through the Harold and K7 stoplight during rush hour traffic every day
- People constantly turning around and sitting in the S Valley Circle cul-de-sac
- Crowded businesses
- Crowded schools
- 3 years of construction noise and debris
- Increased crime
- Decreased property values

The development is proposed to have its main entrance tie into S Aurora street which would result in nearly all of the 400 to 500 cars at that apartment complex passing through

the already congested stoplight at Harold and K7 during each rush hour every day. This number doesn't include the cars that will be added to the community when Prieb finishes his first set of [100 townhouses](#) on S Aurora street, his second set of [51 townhouses](#) on S Aurora street, or the completion of the [townhouses on W 124th street](#).

Retailers like [Walmart](#) are already difficult to shop at due to crowding. Getting gas at [QT](#) without waiting in line is often not possible. Developing apartments in this area which are much higher density than single family homes will make this congestion noticeably worse.

Area schools are already at or over 50% capacity. Per Olathe Public School District guidelines, a school's capacity is determined by limiting classroom sizes to 27 students. The current enrollment/capacity numbers are 463/696 for Millbrooke Elementary, 514/885 for Summit Trail Middle School, and 1934/1965 for Olathe Northwest High School. The previous two school years, Olathe Northwest High School was over capacity by nearly 300 students and is barely within capacity guidelines this year due to students being transferred to Olathe West High School. When the proposed apartments are combined with the townhouses which are already under construction, the Millbrooke Elementary will be at capacity and Olathe Northwest High School will be over capacity.

Existing residents have already dealt with 2 years of construction from Prieb's developments. This includes construction debris blowing off of construction sites which don't use dumpsters, construction noise, muddy roads, and undesirable construction traffic. Prieb's proposed apartments will extend the construction that existing residents have to deal with by 3 years.

In 2010 the U.S. Department of Justice's Bureau of Justice Statistics [performed a study](#) that clearly showed correlation between housing density and burglaries. As housing density goes up, so do the number of burglaries.

Decreased property values are a real possibility once the increased traffic, crowded schools, crowded businesses, increased crime, and continual construction are all taken into account.

The request of this petition is the rejection of Prieb's current plan to build apartments on S Aurora Street. This area lacks the proper infrastructure to support housing of the proposed density. Petitioners desire the lowest density housing possible, optimally single family dwellings. Petitioners also request the extension of [Monticello Terrace](#) into any new development to reduce the traffic on S Aurora Street as well as the stoplight at Harold and K7.

Note: Signatures that appear to come from people out of city and even out of state were still made by people who live in Olathe and are concerned with this issue. Most of those people just recently moved into Prieb's townhouses.

#	Name	City	State	Postal Code	Country	Signed On
1	Terryl Westerhold	Olathe	KS	66061	US	2019-02-14
2	Reece Pulliam	Olathe	KS	66061	US	2019-02-14
3	Jose Torres	Olathe	KS	66061	US	2019-02-14
4	Brian Chase	Olathe	KS	66062	US	2019-02-14
5	Brett Miles	Olathe	KS	66061	US	2019-02-14
6	Jon Cole	Olathe	KS	66061	US	2019-02-15
7	Brad Bell	Olathe	KS	66061	US	2019-02-15
8	B Z	Olathe	KS	66062	US	2019-02-15
9	Stephen Wood	Olathe	KS	66062	US	2019-02-15
10	Dustin Arnold	Olathe	KS	66062	US	2019-02-16
11	Tim Madden	Olathe	KS	66061	US	2019-02-16
12	Kristy Neal	Olathe	KS	66061	US	2019-02-16
13	Richard Lyon	Olathe	KS	66062	US	2019-02-16
14	Thomas Dorsey	Olathe	KS	66061	US	2019-02-16

15	Shannon Dorsey	Olathe	KS	66061	US	2019-02-16
16	Allison Birnbaum	Olathe	KS	66061	US	2019-02-16
17	Joyce Layman	Olathe	KS	66061	US	2019-02-16
18	Peggy Gastmann	Olathe	KS	66061	US	2019-02-16
19	Laura Lea Henness	Olathe	KS	66061	US	2019-02-16
20	Derek Bowers	Olathe	KS	66061	US	2019-02-16
21	Tony Vanoster	Olathe	KS	66061	US	2019-02-16
22	Rosemary Bowers	Olathe	KS	66062	US	2019-02-16
23	Nancy Schweller	Olathe	KS	66061	US	2019-02-16
24	Joshua McQuown	Olathe	KS	66061	US	2019-02-16
25	Theresa Cox	Provo	UT	84606	US	2019-02-16
26	Jim Cox	Olathe	KS	66061	US	2019-02-16
27	Ron McBride	Olathe	KS	66061	US	2019-02-16
28	Gina Bongiovanni	Olathe	KS	66061	US	2019-02-16
29	Lorie Holcomb	Olathe	KS	66061	US	2019-02-16
30	Bill Skinner	Olathe	KS	66061	US	2019-02-16
31	Karen Kuhn	Olathe	KS	66061	US	2019-02-16
32	Marni Mills	Olathe	KS	66061	US	2019-02-16

33	Chris Kerstein	Olathe	KS	66061	US	2019-02-16
34	David Stone	Olathe	KS	66061	US	2019-02-16
35	Michael Gray	Olathe	KS	66061	US	2019-02-16
36	Mary Stone	Olathe	KS	66061	US	2019-02-16
37	Jim Price	Olathe	KS	66061	US	2019-02-16
38	Ashly Squires	Olathe	KS	66061	US	2019-02-16
39	Stacey Benson	Olathe	KS	66061	US	2019-02-16
40	Rehannon Hemenway	Olathe	KS	66061	US	2019-02-16
41	Fawwna Smith	Olathe	KS	66061	US	2019-02-17
42	Charles Roberts	Olathe	KS	66061	US	2019-02-17
43	Dave Gourley	Olathe	KS	66061	US	2019-02-17
44	Ryan Thoms	Littleton	CO	80128	US	2019-02-17
45	Brandi Squires	Olathe	KS	66061	US	2019-02-17
46	Heather Lambing	Olathe	KS	66061	US	2019-02-17
47	Lorena Guerrero	Olathe	KS	66061	US	2019-02-17
48	Christina Newton	Olathe	KS	66061	US	2019-02-17
49	Robert Welsh	Olathe	KS	66061	US	2019-02-17
50	John Baker	Olathe	KS	66061	US	2019-02-17

51	Cindy Chancey	Olathe	KS	66061	US	2019-02-17
52	Brandon Petty	Olathe	KS	66061	US	2019-02-17
53	John Smith	Olathe	KS	66061	US	2019-02-17
54	James Jensen	Olathe	KS	66061	US	2019-02-17
55	Dale Franks	Olathe	KS	66062	US	2019-02-17
56	Chris Raynor	Olathe	KS	66061	US	2019-02-17
57	Nathan Nebelsick	Olathe	KS	66061	US	2019-02-17
58	Roman Palmer	Olathe	KS	66061	US	2019-02-17
59	Kristin Catherman	Olathe	KS	66061	US	2019-02-18
60	Sharon Saulnier	Olathe	KS	66061	US	2019-02-18
61	Brooke Stack	Olathe	KS	66061	US	2019-02-18
62	Deborah Jaeger	Olathe	KS	66061	US	2019-02-18
63	Shannon Reynolds	Olathe	KS	66061	US	2019-02-18
64	Nathan Reilly	Olathe	KS	66062	US	2019-02-18
65	Seth Harvey	Olathe	KS	66062	US	2019-02-18
66	Missy Pulliam	Olathe	KS	66061	US	2019-02-18
67	Trish Crane	Olathe	KS	66061	US	2019-02-18
68	Julie Dougan	Olathe	KS	66061	US	2019-02-18

69	Kristen Fredrichs	Olathe	KS	66061	US	2019-02-18
70	Sarah Burnham	Olathe	KS	66061	US	2019-02-18
71	Joseph Fackrell	Olathe	KS	66061	US	2019-02-19
72	John Kean	Olathe	KS	66061	US	2019-02-19
73	Jon Brewer	Olathe	KS	66061	US	2019-02-19
74	Amy Corbett	Overland Park	KS	66202	US	2019-02-19
75	Chasady Cooper	Olathe	KS	66061	US	2019-02-19
76	Jason Helms	Olathe	KS	66061	US	2019-02-19
77	Bernadine Todd	Olathe	KS	66061	US	2019-02-19
78	Audrea Griggs	Olathe	KS	66061	US	2019-02-19
79	Carrie McCarty	Olathe	KS	66061	US	2019-02-19
80	Katie Sabo	Kansas City	MO	64156	US	2019-02-19
81	Mandi roman	Olathe	KS	66061	US	2019-02-19
82	Elizabeth Atwell	Olathe	KS	66061	US	2019-02-19
83	Tiffany Wolfe	Olathe	KS	66061	US	2019-02-19
84	Jennifer Merz	Olathe	KS	66061	US	2019-02-19
85	Angel Thomas	Olathe	KS	66061	US	2019-02-19
86	Aaron Pivonka	Olathe	KS	66061	US	2019-02-19

87	Rachel Galemore	Olathe	KS	66061	US	2019-02-19
88	Misty Patton	Olathe	KS	66062	US	2019-02-19
89	Meghan Fortman	Olathe	KS	66061	US	2019-02-19
90	Christina Kliewer	Olathe	KS	66061	US	2019-02-19
91	Amanda Mykins	Olathe	KS	66061	US	2019-02-19
92	Matt Johnson	Olathe	KS	66061	US	2019-02-19
93	Brandon Griffith	Olathe	KS	66061	US	2019-02-19
94	Gordon Graham	Powhattan	KS	66527	US	2019-02-19
95	Kristin Antilla	Olathe	KS	66061	US	2019-02-19
96	Misti Grady	Olathe	KS	66061	US	2019-02-19
97	Nick Dutton	Olathe	KS	66061	US	2019-02-19
98	Angelina Scott	Olathe	KS	66061	US	2019-02-19
99	Ben Cantrill	Overland Park	KS	66212	US	2019-02-19
100	Angela Simmons	Olathe	KS	66061	US	2019-02-19
101	Laura Nadeau	Olathe	KS	66051	US	2019-02-19
102	Shelly Wedel	Olathe	KS	66061	US	2019-02-19
103	Adam Danielson	Olathe	KS	66061	US	2019-02-19
104	Sharon Byars	Olathe	KS	66061	US	2019-02-19

105	Yaicha Popp	Olathe	KS	66061	US	2019-02-19
106	Noelle Sliva	Olathe	KS	66061	US	2019-02-19
107	Kristi West	Olathe	KS	66061	US	2019-02-19
108	Dan Zemel	Olathe	KS	66061	US	2019-02-19
109	Matt Wedel	Olathe	KS	66061	US	2019-02-19
110	April Bloxsom	Olathe	KS	66062	US	2019-02-19
111	Paige Zars	Olathe	KS	66061	US	2019-02-19
112	Lisa Weilert	Olathe	KS	66061	US	2019-02-19
113	Laura Juranek	Olathe	KS	66061	US	2019-02-19
114	Jennifer Apsey	Olathe	KS	66062	US	2019-02-19
115	David Grundy	Olathe	KS	66061	US	2019-02-19
116	Sharon Keeler	Olathe	KS	66061	US	2019-02-19
117	Nick Barbosa	Olathe	KS	66061	US	2019-02-19
118	Kristi Claybrook	Excelsior Springs	MO	64024	US	2019-02-19
119	Jen Trimble	Grandview	MO	64030	US	2019-02-19
120	Ryan Galemore	Chicago	KS	60602	US	2019-02-19
121	Joshua Zars	Olathe	KS	66061	US	2019-02-19
122	Vickie Tillery	Olathe	KS	66061	US	2019-02-20

123	Matt Madsen	Dallas	TX	75287	US	2019-02-20
124	Angie Brotz	Olathe	KS	66061	US	2019-02-20
125	Ashley Thornton	Olathe	KS	66061	US	2019-02-20
126	Saborah Goldsmith	Olathe	KS	66062	US	2019-02-20
127	Brian Burdett	Olathe	KS	66061	US	2019-02-20
128	Julieanne Evilsizer	Olathe	KS	66061	US	2019-02-20
129	Mallory Shropshire	Olathe	KS	66061	US	2019-02-20
130	Carol Faulkner	Olathe	KS	66061	US	2019-02-20
131	Bryan Cox	Olathe	KS	66062	US	2019-02-20
132	Erin Stewart	Olathe	KS	66061	US	2019-02-20
133	Keith Ceule	Olathe	KS	66062	US	2019-02-20
134	Jennifer Legrotte	Olathe	KS	66061	US	2019-02-20
135	Steve Gaskey	Olathe	KS	66061	US	2019-02-20
136	Alison Wiltz	Olathe	KS	66061	US	2019-02-20



City of Olathe
City Planning Division

STAFF REPORT

Planning Commission Meeting: February 25, 2019

Application:	FP18-0047, Final Plat for Parkview Apartments		
Location:	In the vicinity of 124 th St. and Aurora St.		
Owner/Applicant:	Greg Prieb, Prieb Homes		
Applicant:	Judd Claussen, Phelps Engineering		
Staff Contact:	Dan Fernandez, Planner II		

Site Area:	<u>29.87± acres</u>	Proposed Use:	<u>Multi-family</u>
Lots:	<u>1</u>	Current Zoning:	<u>RP-3</u>
Tracts:	<u>1</u>		

1. Comments:

The following application is a final plat for Parkview Apartments containing 1 multi-family lot and 1 common tract. An associated preliminary plat (PP19-0001) is also on this agenda. The preliminary and final plats are being submitted for an apartment development.

2. Site History:

The subject site was rezoned (RZ-17-002) to RP-3 in July 2002 and the associated preliminary site development plan included 98 rowhouses and 352 apartments. A final site development plan (PR08-0017) was approved in June 2008 for 368 apartments.



Site Aerial



View looking north from Aurora Street

3. Plat Review:

- a. **Lots/Tracts** – The plat includes 1 multi-family lot and 1 common tract. The lot meets all dimensional requirements for R-3 Districts.

Tract A is located along the north property line and will be used for stormwater detention, stormwater quality BMP's, landscaping, trails and private open space.

A public trail is proposed within Tract A. A public recreation easement shall be dedicated with the final plat prior to recording in order to permit the City to locate the trail within the tract.

- b. **Streets/ Right-of-Way** – The development will have an access drive onto Aurora Street and Aurora Street has sufficient right-of-way so no additional right-of-way is being dedicated with the plat.
- c. **Stormwater/Detention** – The streamway and vegetation in Tract A is being preserved and utilized for stormwater detention and quality.
- d. **Public Utilities** –The subject property is located within the City of Olathe water and sanitary sewer service areas.
- e. **Easements** – A public recreation easement shall be dedicated within Tract A prior to recording the final plat. The easement will allow the City to construct a trail within the tract. Also, a 25-foot tree preservation easement shall be dedicated along the north property line within Tract A.

4. Excise Taxes:

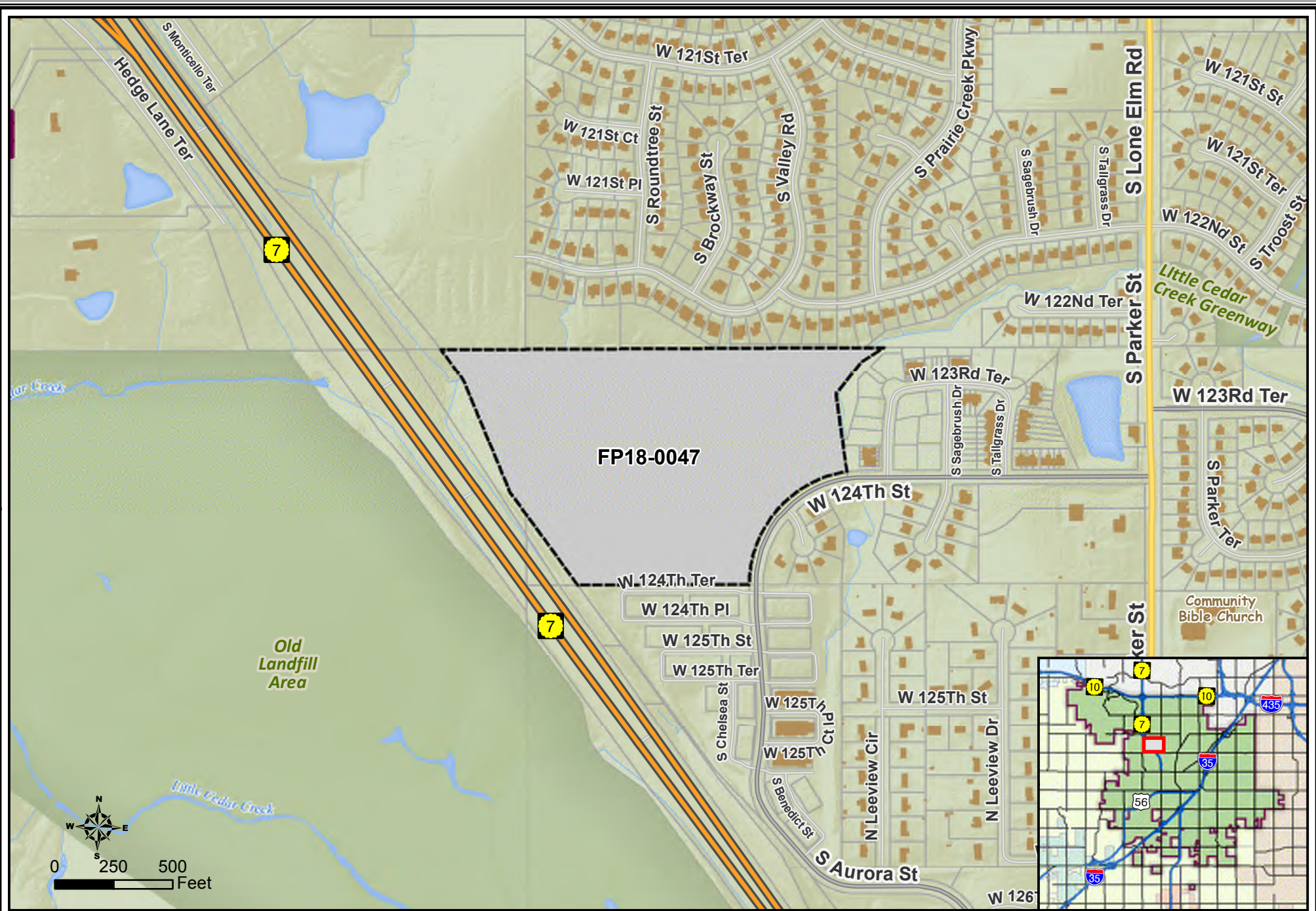
Final plats are subject to the required street excise tax of \$0.215 per square foot of land. Based on the plat area, the street excise fee is \$279,744.50.

The final plat is also subject to a traffic signal excise tax of \$0.0037 per square foot of land area. Based on the plat area, the required traffic signal excise tax is \$15,613.65. The required excise fees shall be submitted to the City Planning Division prior to recording the final plat.

5. Staff Recommendation:

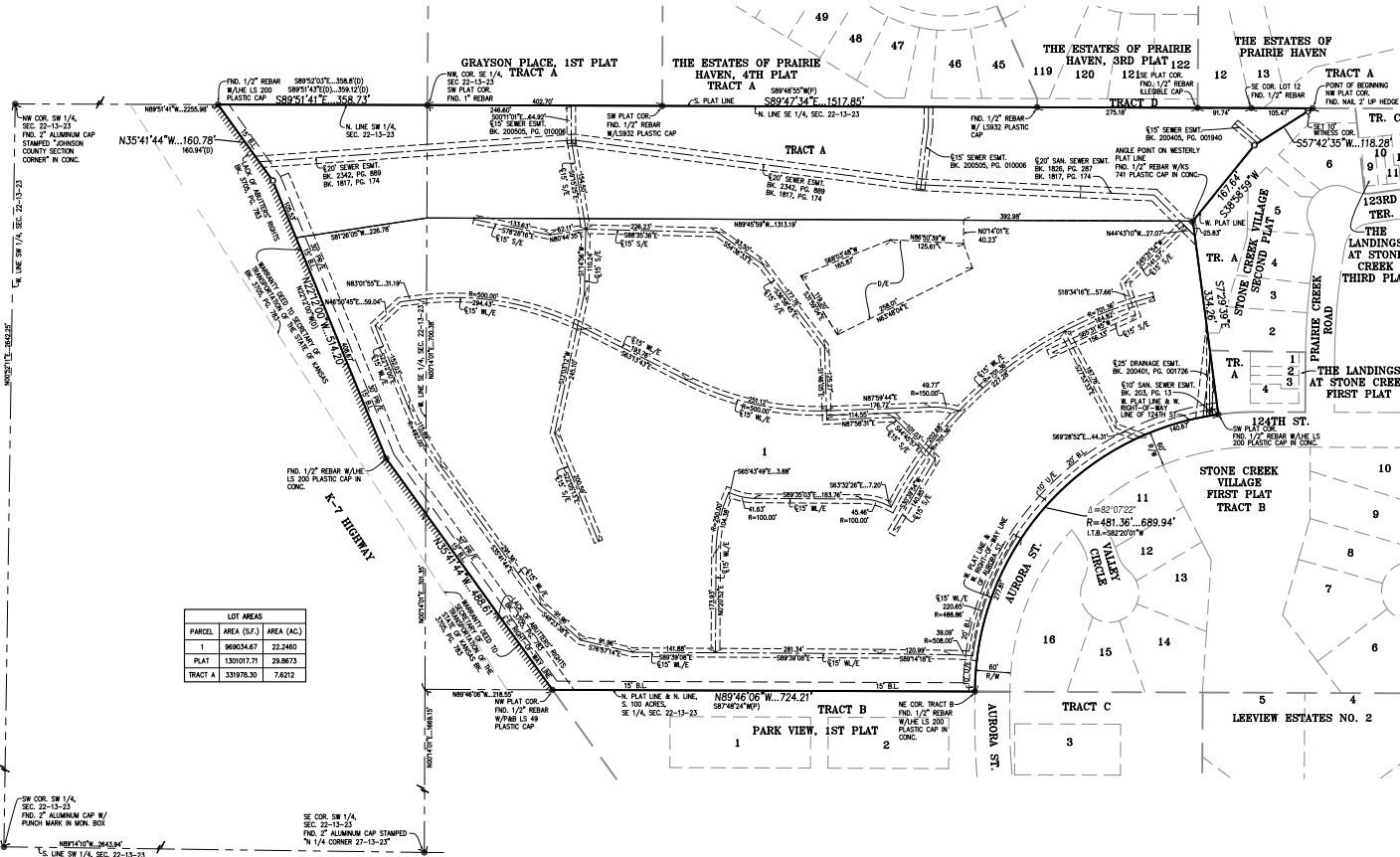
Staff recommends approval of PP19-0001 with the following stipulations:

- 1. Prior to recording the final plat, the required excise fee of \$279,744.50 shall be submitted to the City Planning Division.
- 2. Prior to recording the final plat, the required traffic signal excise tax of \$15,613.65 shall be submitted to the City Planning Division.
- 3. A final site development plan shall be submitted and approved prior to submitting for building permits. The final site development plan shall be consistent with the approved preliminary site development plan.
- 4. A public recreation easement within Tract A shall be dedicated prior to recording the plat in order to locate a public trail within the tract.
- 5. As required by the *UDO*, all exterior ground or building mounted equipment, including but not limited to mechanical equipment, utility meter banks and coolers, shall be screened from public view with landscaping or an architectural treatment compatible with the building architecture.
- 6. A 25-foot tree preservation easement shall be dedicated along the north property line within Tract A prior to recording the plat.

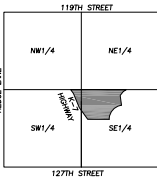


PARKVIEW APARTMENTS
FP18-0047

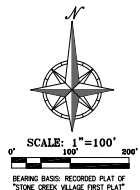
FINAL PLAT OF
PARKVIEW APARTMENTS
A SUBDIVISION OF LAND IN THE SOUTH ONE-HALF OF
SECTION 22, TOWNSHIP 13 SOUTH, RANGE 23 EAST,
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS



PARCEL	AREA (S.F.)	AREA (AC)
1	969034.67	22.2460
PLAT	1301017.71	29.8673
TRACT A	331978.30	7.6212



SCALE: 1"=2000'
VICINITY MAP
SEC. 22-13-23



- LEGEND**
- DENOTES 1/2" x 24" REBAR W/HELIPS CORR. CLS-82 PLASTIC CAP IN CONCRETE
 - DENOTES FORD 1/2" REBAR W/HELIPS CORR. CLS-82 PLASTIC CAP IN CONCRETE, UNLESS OTHERWISE NOTED
 - U/E DENOTES UTILITY EASEMENT
 - B/L DENOTES BUILDING LINE
 - (P) DENOTES PLAT
 - W/E DENOTES WATER LINE EASEMENT
 - S/E DENOTES SANITARY SEWER EASEMENT
 - D/E DENOTES DRAINAGE EASEMENT
 - P/R/E DENOTES PERMANENT RECREATION EASEMENT

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP. THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, COMMUNITY NO. 200073, JOHNSON COUNTY, KANSAS, MAP NO. 200073C002C, DATED AUGUST 1, 2006.

TITLE NOTE:

TITLE INFORMATION SHOWN HEREON WAS TAKEN FROM SECURED TITLE OF KANSAS CITY-OLATHE COMMITMENT FOR TITLE INSURANCE NO. S000200608 AND WITH AN EFFECTIVE DATE OF FEBRUARY 6, 2007, AT 8:50 A.M.

I, THOMAS O. PHELPS, HEREBY CERTIFY THAT IN NOVEMBER 2016, I OR SOMEONE UNDER MY DIRECT SUPERVISION HAVE MADE A SURVEY OF THE ABOVE DESCRIBED TRACT OF LAND AND THE RESULTS OF SAID SURVEY ARE CORRECTLY REPRESENTED ON THIS PLAT.



LEGAL DESCRIPTION
All that part of the South One-half of Section 22, Township 13 South, Range 23 East, in the City of Olathe, Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northeast corner of the Southeast Quarter of said Section 22, said point also being the Northeast corner of STONE CREEK VILLAGE, and the Southeast plat corner of the ESTATES OF PRAIRIE HAVEN FIRST PLAT; both being plotted subdivisions of land in the City of Olathe, Johnson County, Kansas, thence N 89°47'34" W, along the North line of the Southeast Quarter of said Section 22 and along the South plat line of said STONE CREEK VILLAGE, and the North plat line of said STONE CREEK VILLAGE FIRST PLAT and the North plat line of STONE CREEK VILLAGE SECOND PLAT and the LANDINGS AT STONE CREEK SECOND PLAT, the LANDINGS AT STONE CREEK THIRD PLAT and the LANDINGS AT STONE CREEK FOURTH PLAT, all being plotted subdivisions of land in the City of Olathe, Johnson County, Kansas, at a distance of 1122.93 feet to the Northwest plat corner of said STONE CREEK VILLAGE SECOND PLAT, said point also being the point of beginning; thence along the Western plat line of said STONE CREEK VILLAGE SECOND PLAT, for the following three (3) courses; thence S 57°42'30" W, a distance of 1128.28 feet; thence S 38°58'50" W, a distance of 187.64 feet; thence S 72°29'00" E, along the Western plat line of the LANDINGS AT STONE CREEK FIRST PLAT, a plotted subdivision of land in the City of Olathe, Johnson County, Kansas, and its Northern extension, a distance of 334.26 feet to the Southeast plat corner of said the LANDINGS AT STONE CREEK FIRST PLAT, said point also being on the Northwestern right-of-way line of 124th Street, as now established; thence Southwesterly along the Western plat line of said STONE CREEK VILLAGE FIRST PLAT and the Northwestern right-of-way line of said 124th Street and Western right-of-way line of Aurora Street, as now established, a curve having its left, said curve having an initial tangent bearing of S 82°20'01" W and a radius of 481.36 feet, an arc distance of 689.94 feet to the Southwest plat corner of said STONE CREEK VILLAGE FIRST PLAT, said point also being on the North plat line of PARK VIEW 1ST PLAT, a plotted subdivision of land in the City of Olathe, Johnson County, Kansas; thence N 89°46'00" W, along the North plat line of said PARK VIEW 1ST PLAT, a distance of 724.21 feet to the Northwest plat corner of said PARK VIEW 1ST PLAT, said point also being a point on the Eastern right-of-way line of K-7 Highway, as now established; thence along the Eastern right-of-way line of said K-7 Highway, for the following three (3) courses; thence N 35°41'44" W, a distance of 488.61 feet; thence N 22°12'00" W, a distance of 514.20 feet; thence N 35°41'44" W, a distance of 160.78 feet to a point on the North line of the Southeast Quarter of said Section 22; thence S 89°51'54" E, along the North line of the Southeast Quarter of said Section 22, a distance of 358.73 feet to the Northeast corner of the Southeast Quarter of said Section 22, said point also being the Southwest plat corner of GRAYSON PLACE, 1ST PLAT, a plotted subdivision of land in the City of Olathe, Johnson County, Kansas; thence S 89°47'34" E, along the South plat line of said GRAYSON PLACE, 1ST PLAT and the South plat line of the ESTATES OF PRAIRIE HAVEN, 4TH PLAT and the ESTATES OF PRAIRIE HAVEN, 3RD PLAT, both being plotted subdivisions of land in the City of Olathe, Johnson County, Kansas and the South plat of said, the ESTATES OF PRAIRIE HAVEN, a distance of 1517.85 feet to the point of beginning, containing 29.8673 acres, more or less, of unplatted land.

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereafter be known as "PARKVIEW APARTMENTS".

DEDICATION

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and purposes and thoroughfares, all parcels and parts of land indicated on this plat as streets, terraces, places, roads, drives, lawns, parks, avenues and ways not heretofore dedicated. Where private easement rights have been granted to any person, place or thing, and said parts of the land so dedicated, and any pipes, lines, poles and wires, conduits, ducts or cables heretofore installed thereupon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietors hereby assent and agree to indemnify the City of Olathe, Johnson County, Kansas, from any expense incurred in the relocation of any such existing utility installations within said prior easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over, and under these areas outlined and designated on this plat as "Drainage Easement" or "D/E" is hereby granted to the City of Olathe, Kansas.

An easement or license to lay, construct, alter, repair, replace and operate one or more water lines and all appurtenances convenient for the distribution of water, together with the right of ingress or egress, over and through those areas designated as "Waterline Easement" or "W/E" is hereby granted to the City of Olathe, Kansas.

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, pipes, poles, wires, surface drainage facilities, ducts, cables, etc., upon, over and under those areas outlined hereon and designated on this plat as "U/E" or "Utility Easement".

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, pipes, etc., upon, over and under those areas outlined hereon and designated on this plat as "W/E" or "Water Line Easement".

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas to enter upon, locate, construct, maintain or authorize the location, construction, maintenance and use of a pedestrian thoroughfare for recreation purposes, upon, over and under these areas outlined and designated on the plat as a "Permanent Recreation Easement" or "P/R/E".

Tract "A" shall be owned and maintained by the Parkview Apartments Homes Association. Said tract is intended to be used for stormwater detention, stormwater quality BMP's, landscaping, monuments, trails and private open space.

Notice: This site includes Stormwater Treatment Facilities, as defined and regulated in the Olathe Municipal Code. Restrictions on the use or alteration of the said Facilities may apply. This property is also subject to the obligations and requirements of the Stormwater Treatment Facility Maintenance Agreement approved by the City. The plat is served by a regional detention basin and Stormwater Quality BMP's.

CONSENT TO LEVY

The undersigned proprietors of the above described land hereby agree and consent that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or therefor, for public use, from the lien and effect of any special assessment, and that the amount of unpaid special assessments on such land so dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public way or thoroughfare.

EXECUTION

IN TESTIMONY WHEREOF, Prairie Star Development, LLC, has caused this instrument to be executed on this _____ day of _____, 20____.

GD Properties and Investments, LLC

By: Greg Priebe, Managing Member

STATE OF KANSAS } ss
COUNTY OF JOHNSON }

ACKNOWLEDGMENT

BE IT REMEMBERED that on this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for said County and State, came Greg Priebe, Managing Member of GD Properties and Investments, LLC, who is personally known to me to be such person who executed, in such officer, the within instrument on behalf of said partnership, and such person duly acknowledged the execution of the same to be at and deed of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

Notary Public: _____ My Appointment Expires: _____

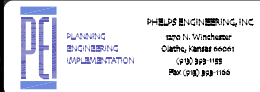
Print Name: _____
Approved by the Planning Commission of the City of Olathe, Johnson County, Kansas, this _____ day of _____, 20____.

Chairman: C.S. Vokes
Approved by the Governing Body of the City of Olathe, Kansas, this _____ day of _____, 20____.

Mayer: Michael E. Copeland
Attest: _____ City Clerk: _____

APPROVALS

Attest:





City of Olathe
City Planning Division

STAFF REPORT

Planning Commission Meeting: February 25, 2019

Application:	<u>SU18-0009</u> A special use permit for a funeral home located in AG, Agricultural zoned district
Location:	13901 S. Black Bob Road
Owner/Applicant:	Patrick McGilley, D.W. Newcomer's & Son's, Inc.
Engineer:	Jeffrey T. Skidmore, Schlagel & Associates
Staff Contact:	Dan Fernandez, Planner II

Site Area: 27.54± acres **Proposed Use:** Funeral Home
Plat: Oak Lawn Memorial Gardens

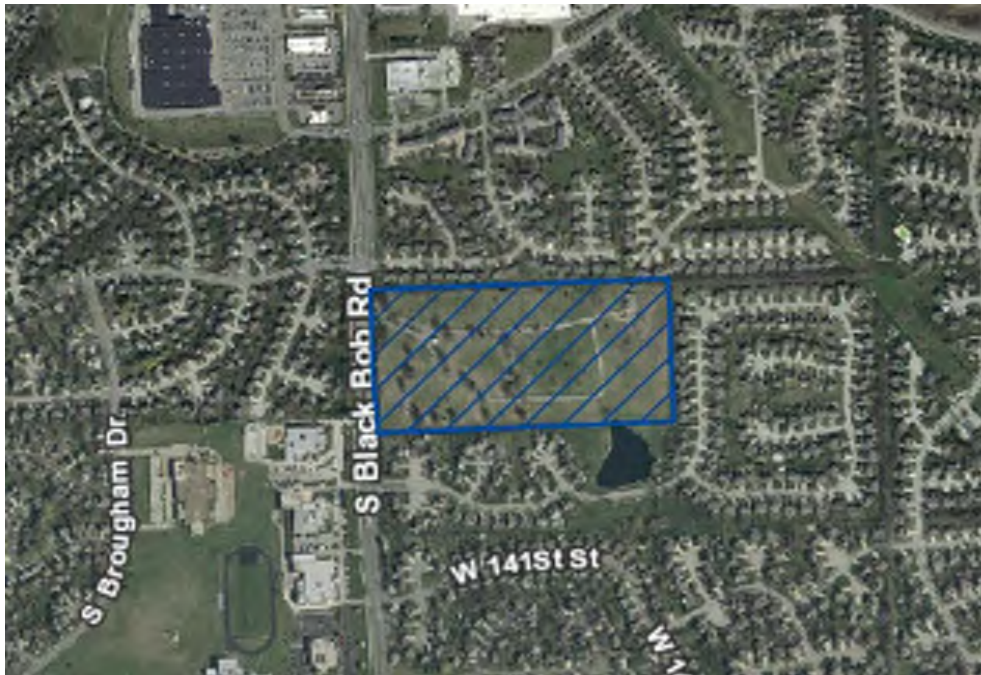
	Land Use	Zoning	Comprehensive Plan Designation
Site	<u>Cemetery</u>	<u>AG</u>	<u>Conventional Neighborhood</u>
North	<u>Duplexes</u>	<u>R-2</u>	<u>Conventional Neighborhood</u>
East	<u>Single-family homes</u>	<u>RP-1</u>	<u>Conventional Neighborhood</u>
South	<u>Single-family homes</u>	<u>RP-1</u>	<u>Conventional Neighborhood</u>
West	<u>Single-family homes/School</u>	<u>R-1</u>	<u>Conventional Neighborhood</u>

1. Comments

This is a request for a Special Use Permit for a funeral home to be located at Oak Lawn Cemetery, 13901 S. Black Bob Road. Funeral homes are permitted in AG, Agricultural Districts with a special use permit.

2. Details of Proposal:

The proposed funeral home consists of an 8,300 square foot, single-story building with 66 parking spaces. The facility will be for funeral services and include offices. There is no crematorium proposed for this location. The applicant has stated that the hours of operation will generally be from 8:00 am to 9:00 pm. Monday through Saturday. Sundays could be used if that day is requested.



Site Aerial



View from Black Bob Road

3. Public Notification/Neighborhood Meeting:

The applicant notified neighbors within 200 feet of the subject property by certified letter, return receipt as required by the Unified Development Ordinance (UDO). The property owner notification affidavit and receipts have been submitted to staff showing that this requirement has been fulfilled. The applicant also posted a sign on the property and a notice was published in the paper.

The applicant was originally scheduled for the February 11, 2019 Planning Commission meeting but the case was continued because the neighborhood meeting was not held at least 20 days prior to this date as required by UDO Section 18.40.030. The applicant notified surrounding property owners of the new public hearing date and informed those attending the January 24, 2019 neighborhood meeting of the new date as well.

Approximately 40 residents attended the neighborhood meeting. Issues discussed included questions for why a funeral home is needed at this location, maintenance of the property, stormwater run-off, the existing pond, traffic, lighting, landscaping and operating hours. The complete minutes and sign-in sheet have been included in the Planning Commission packet for your review.

Staff has also received letters and emails from residents voicing their concerns about the proposed funeral home. All correspondence has been included in the Planning Commission packet for your review and staff has responded to all correspondence by answering questions and providing documents when requested.

4. Site/Building Design

While there are no site or building design requirements for the AG District, staff notified the applicant that the development should meet the Site Design Category 3 and the Building Design Category C standards for this location as these categories are the most appropriate for this type of use. These design categories include requirements for high quality developments such as landscaping, high quality materials and architectural features. The west elevation, or main entrance is considered primary facade.

<i>Composite Site Design (Category 3)</i>	Proposed Design Includes
<i>Outdoor Amenity Space</i>	Mature trees throughout the site will remain
<i>Landscape Options</i>	The site has a landscaped entrance as well as mature landscaping throughout the entire property
<i>Pedestrian Connectivity</i>	New sidewalks will be included around the proposed facility to access the parking lot.
<i>Detention and Drainage Features as Amenities</i>	Landscaping for screening has been provided around the detention basin

<i>Composite Building Design (Category C)</i>	Required Design
<i>Horizontal Articulation</i>	Horizontal articulation tool (ex. wall offset) used a minimum of every 75 feet of linear façade width.
<i>Vertical Articulation</i>	Vertical articulation tool (ex. variation in roof form, height) used a minimum of every 75 feet of linear façade width.
<i>Focal Point Elements</i>	Towers or raised parapets of at least 4' are required on primary facades.
<i>Façade Expression</i>	Buildings must incorporate additional façade expression tools such as awnings, canopies or ornamental cornice

<i>Mix of Building Materials</i>	The primary facades of all buildings must incorporate a mix of building materials. percentage
<i>Glass</i>	Minimum requirement of 30% glass on primary facades
<i>Overhead Doors</i>	Overhead doors may not be located on primary facades

- a. **Horizontal Articulation** – Wall offsets and wall projections are used on all elevations of the building.
- b. **Vertical Articulation** – The building uses variations in roof form for vertical articulation with the use of pitched roofs.
- c. **Focal Point Element** – The primary elevation uses pitched roof elements, including a large pitched roof over the entrance as a focal point element.
- d. **Façade Expression Tools** – A change of materials using stone, brick and glass is used as a façade expression tool.
- e. **Building Materials** – The proposed building consists of all Category 1 materials which are brick, stone and glass. There are small amounts of wood slats for screening of mechanical equipment towards the back of the building and on the rear of the building. Staff is stipulating that these slats be replaced with a more durable material such as metal or synthetic wood.
- f. **Glass** – Category C requires 30% glass on primary elevations. Several windows are included on the west elevation at an amount of 15%. The amount is appropriate for this type of facility which requires more privacy.
- g. **Overhead Doors** – No overhead doors are included in the project.

5. Setbacks

Buildings in the AG District must be setback at least 50 feet from all property lines. The proposed building is over 500 feet from the front property line, over 900 feet from the rear property line and 290 feet and 335 feet from the side property lines.

The parking lot setback for this district is 30 feet and the new parking area has over a 400foot setback.

6. Landscaping

There are no required buffers between the AG District and properties zoned residential. However, the site has mature trees along the property lines and within the site that will remain. The landscape plan includes landscaping around the proposed building location and within landscape islands and along the building foundation. Trees have also been included around the existing shed and material storage at the northeast corner of the site to screen this area. The open dumpster that is currently located near the storage area will be relocated to inside the material storage enclosure.

After meeting with the neighbors and discussions with staff, the applicant added additional landscaping to the north and south of the facility in order to add additional screening for the houses that are adjacent to the property.

Also, some residents expressed concern about visitors to the funeral home using the pond that is located at the southwest portion of the site. The applicant has agreed to add shrubs in this area to create a visual barrier to the pond and will also install no trespassing signs.

7. Stormwater

The applicants submitted a conceptual stormwater report for the special use permit application. Per the design engineer for the Oak Lawn project, the proposed building and parking lot will have minimal impact on the adjacent existing residential pond and drainage system.

The existing stormwater retention pond that lies mainly in the Meadowridge 1st plat was designed to accommodate the runoff from the existing cemetery.

According to the original design, a runoff coefficient of .5 was used in the design of the pond. With the proposed additional impervious area (parking and building) the actual composite runoff coefficient will be .37 which is less than the .5. So, the redeveloped property should result in less runoff than was originally planned. The existing pond will act as a stormwater quality BMP and as such will need to be maintained on a regular basis much like it would be otherwise without the project addition.

Neighboring residents have expressed concerns that the cemetery utilizes the pond for stormwater but has no obligation to maintain it. After hearing from the residents, the applicant has agreed to work with the home owner's association to develop an agreement where both parties are responsible for the maintenance of the pond. A maintenance agreement shall be included with the final site development plan submittal should the special use permit be approved.

8. Traffic

The site has one access drive onto Black Bob Road, approximately 300 feet south of 139th Street. Black Bob is a four-lane divided arterial street with a three-quarter access at the cemetery entrance. This allows southbound drivers to turn left and northbound drivers to turn right entering the cemetery. All exiting traffic is required to turn north.

Traffic volumes along the Black Bob Road corridor vary. Between 135th Street and 143rd Street around 20,000 vehicles travel Black Bob each day. A four-lane divided arterial can accommodate up to 30,000 vehicles per day. Black Bob Road is operating at a satisfactory level of service today.

Typically, City staff requests developers to add exclusive turn lanes on arterial streets. A number of factors enter into the decision regarding whether right-turn lanes should be used: speeds, traffic volumes, percentage of trucks, capacity, type of roadway, service provided and the arrangement and frequency of intersections. In this case, City staff did not ask for a northbound right turn. Black Bob Road can accommodate additional traffic and the road is not near capacity. In addition, there isn't space for additional right of way and utility easements near Oaklawn's driveway. When Black Bob was widened from a two-lane street to a four-lane divided street, the alignment of Black Bob was shifted to the west to minimize right of way acquisition.

9. Parking/Lighting

The UDO requires funeral homes to have 1 space per each 2 employees on the largest shift and 1 space per 4 seats. The applicant advised that the largest shift will have 10 employees and the funeral home will have seating for 224. Based on these numbers, the proposed

facility is required to have 61 parking spaces. The submitted plans exceed this minimum requirement by providing 81 parking spaces including 4 handicap accessible spaces.

The photometric plan includes 6 light poles with a maximum height of 20 feet. The average foot-candle level around the proposed facility is 1.1 fc which falls within the light level standard established in UDO Section 18.30.135.

10. Time Limit

Per Section 18.40.100.F.4 of the UDO, the Planning Commission may recommend, and the Governing Body shall grant or extend a permit for any period as is warranted under the circumstances.

Due to concerns regarding the addition of this facility in the neighborhood and complaints about existing property maintenance issues on site, staff is recommending a 3-year time limit which will give the applicants time to meet all permit stipulations and Municipal Code requirements and to ensure the development is complying with all special use permit stipulations. While issues have been raised by residents in the area, the applicant has responded to several of the requests and concerns from the residents to help mitigate these concerns.

If approved, per UDO 18.40.260 the permit can be brought back in front of the City Council at any time for a revocation proceeding should the applicant not conform with the stipulations of the approval, the UDO, and with the Municipal Code.

11. UDO Analysis

The following are the criteria for considering applications as listed in *Unified Development Ordinance (UDO) Section 18.40.100.F* and staff findings for each item:

A. *The conformance of the proposed use to the Comprehensive Plan and other adopted planning policies.*

The *Comprehensive Plan* encourages high quality design (LUCC-7.1) for architecture and the site for any proposed development. The funeral home is using high quality materials such as brick, stone and glass. The project also has been located in the middle of the site for maximum setbacks from adjacent properties and has included additional landscaping around the building for extra screening.

B. *The character of the neighborhood including but not limited to: land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space and floor-to-area ratio (commercial and industrial).*

The surrounding area consists of duplexes to the north, single-family homes to the east and south, and single-family homes and a school to the west. The proposed funeral home is a one-story building and greatly exceeds the setbacks for the subject zoning district on all sides of the lot. The development also includes additional landscaping for screening.

C. *The zoning and uses of nearby properties and the extent to which the proposed use would be in harmony with such zoning and uses.*

The site is surrounded by single-family and two-family homes and a school and the properties are zoned R-1 and RP-1. The funeral home would be located in the center of the large lot cemetery and would be an appropriate use at this location.

D. The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations.

Cemeteries are permitted in AG, Agricultural zoning and the site can continue to operate as a cemetery in this district. Funeral homes are permitted and are appropriate in the AG District with the approval of a special use permit.

E. The length of time the property has remained vacant as zoned.

The property has been used as a cemetery for several decades. The interior of the site where the funeral home is proposed has been vacant and not in use by the cemetery.

F. The extent to which approval of the application would detrimentally affect nearby properties.

The proposed development should have no detrimental effect on surrounding properties. The setbacks of the project greatly exceed the minimum requirement for this district and if the special use permit is approved, additional stormwater reports will be required to ensure negative impacts on adjacent properties.

G. The economic impact of the proposed use on the community.

The proposed facility will add additional tax dollars to the City.

H. The gain, if any, to the public health, safety, and welfare due to denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

Staff does not believe that there is any threat to the public health, safety and welfare with the Special Use if all stipulations are followed.

I. The extent to which the proposed special use would adversely affect the capacity or safety of that portion of road network influenced by the use, or present parking problems in the vicinity of the property.

The propose facility should not adversely affect the road network as it is located on an arterial road that is currently operating below capacity. Also, the plans include more than the required amount of parking spaces on-site for this type of use.

12. Staff Recommendation:

- a. Staff recommends approval of SU18-0009, for the following reasons:

- (1) The proposal conforms to the Goals, Objectives and Policies of the *Comprehensive Plan*.

- (2) The proposal complies with the *Unified Development Ordinance (UDO)* criteria for considering special use permit requests.

b. Staff recommends approval of SU18-0009 subject to the following stipulations:

- (1) The Special Use Permit is valid for a period of 3 years following Governing Body approval, with an expiration date of March 19, 2022.
- (2) The slats used for screening on the building shall be metal or similar type, durable material.
- (3) A maintenance agreement for the stormwater pond shared with Meadowridge shall be completed and recorded with the County prior to submitting for the final development plan. A copy of the recorded agreement shall be included with the final site development plan submittal.
- (4) The dumpster shall be relocated to inside the maintenance enclosure.
- (5) Hours for the facility shall be from 8:00 am to 9:00 pm.

GENERAL PLANNING NOTES:

1. All on-site wiring and cables shall be placed underground.
2. Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utility meter banks and routers shall be screened from public view with landscaping or with an architectural treatment compatible with the building architecture in compliance with Unified Development Ordinance requirements.

FIRE DEPARTMENT/FIRE ACCESS NOTES:

1. If no automatic sprinklers, then all portions of the building are required to be within 400 feet of a hydrant (travel distance).
2. If building is provided with an automatic sprinkler system, then all portions of the building will be required to be within 600 feet of a hydrant (travel distance).
3. Dead-end water mains with fire hydrants are not permitted unless water supply calculations can be provided that demonstrate an adequate water supply provides the required fire flow or the sprinkler demand, whichever is greater; otherwise the water supply for hydrants is required to be looped to existing mains. (F.C. Section 507.5.1, Ex. 2)
4. A fire department connection (FDC) is required within 100 feet of a hydrant for sprinklered buildings. The FDC is required to be accessible from a fire apparatus access road. The City of Olathe Fire Code Amendment 16.05.340 requires a 4-inch Storz quick coupling connection.

Site Information:
Legal Description:

A tract of land lying in the Southwest One-Quarter of Section 33, Township 13 South, Range 24 East, in the City of Olathe, Johnson County, Kansas, being more particularly described as follows:
Beginning at the Northwest corner of the said Southwest One-Quarter; thence North 67 degrees 45 minutes 48 seconds East, along the North line of the said Southwest One-Quarter, said line also being the South line of "BLACKBOB MEADOWS 2ND PLAT" - A REPLAT OF "BLACKBOB MEADOWS", a subdivision of land in the City of Olathe, Johnson County, Kansas, recorded in Book 64 at Page 39 and the South line of "BRADFORD TRAILS, SECOND PLAT", a subdivision of land in the City of Olathe, Johnson County, Kansas, recorded in Book 108 at Page 2, a distance of 1567.10 feet to a point on the South line of Lot 52 of said "BRADFORD TRAILS, SECOND PLAT", said point being the Northwest corner of "MEADOWRIDGE 2ND PLAT", a subdivision of land in the City of Olathe, Johnson County, Kansas, recorded in Book 123 at Page 43; thence South 02 degrees 09 minutes 32 seconds East, along the West line of said "MEADOWRIDGE 2ND PLAT" and a Westerly line of "MEADOWRIDGE 1ST PLAT", a subdivision of land in the City of Olathe, Johnson County, Kansas, recorded in Book 123 at Page 23, a distance of 786.62 feet to the Southwest corner of Lot 27 of said "MEADOWRIDGE 1ST PLAT"; thence South 67 degrees 50 minutes 28 seconds West, along a Northerly line of said "MEADOWRIDGE 1ST PLAT" a distance of 1567.10 feet to a point on the West line of the said Southwest One-Quarter; thence North 02 degrees 09 minutes 32 seconds West, along the West line of the said Southwest One-Quarter a distance of 784.50 feet to the Point of Beginning, and containing 27.5415 acres more or less, except for that part thereof taken or used for road right of way.

Also known as:

All of "OAK LAWN MEMORIAL GARDENS" a subdivision of land in the City of Olathe, Johnson County, Kansas, recorded in Book 19 at Page 45, Book 20 at Page 11, Book 62 at Page 1 and part of the Southwest One-Quarter of Section 33, Township 13 South, Range 24 East, in the City of Olathe, Johnson County, Kansas.

Site Information (cont.):
Property Address:

3901 S. Blackbob Road
Olathe, KS 66062

Lot Area: 1,179,763 Square Feet (27.08 Ac.)

Proposed Floor Area Ratio (F.A.R.) = 0.008

Current Zoning: AG (Agricultural)

Proposed Zoning: AG (Agricultural W/Special Use Permit)

Current Use: Cemetery

Proposed Use: Cemetery W/Funeral Home Services

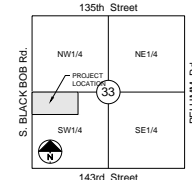
Parking Requirements

Funeral Home: 1 Staff/Employee + 1 Staff/6 Seats
= 10 Staffs
= 66 Staffs
= 66 Staffs
Seating = 224
Total Parking Required: 81 Staffs (4 Accessible Spaces)

Proposed Parking:

"NO PARKING SIGNS" shall be installed on all access drives identified as fire lanes.

SITE DATA TABLE		
LOT AREA:	EXISTING	PROPOSED
	1,179,763 SQ. FT. (27.08 AC.)	
ROOFED BUILDING AREA	915 (0.08%)	11,325 S.F. (0.96%)
PAVEMENT/DRIVE AREA	77,446 S.F. (6.56%)	123,107 S.F. (10.43%)
OPEN SPACE AREA	1,101,402 S.F. (93.36%)	1,045,333 S.F. (88.61%)



SECTION 33-13-24
LOCATION MAP
SCALE 1" = 2000'



SCHLAGEL & ASSOCIATES, P.A.
Engineers/Planners/Surveyors/Landscape Architects
14620 West 107th Street, Lenexa, Kansas 66215
WWW.SCHLAGELANDASSOCIATES.COM
Phone: 913.452.0100 • Fax: (913) 492.4900
Email: info@schlagelassociates.com

SPECIAL USE PERMIT/PRELIM. DEV. PLAN
OAK LAWN MEMORIAL GARDENS
----FUNERAL HOME/CHAPEL ADDITION----
13901 S. BLACKBOB RD., OLATHE, KANSAS

REVISION	DATE	DESCRIPTION
1	02-02-2019	Final Plan for Permit

OVERALL SITE PLAN

SHEET
C1.0
OF

2. All on-site wiring and cables shall be placed underground.
3. Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities' meter banks and coolers shall be screened from public view by landscaping or with an architectural treatment compatible with the building architecture in compliance with Unified Development Ordinance requirements.

FIRE DEPARTMENT/FIRE ACCESS NOTES:

1. If no automatic sprinklers, then all portions of the building are required to be within 400 feet of a hydrant (travel distance).
2. If building is provided with an automatic sprinkler system, then all portions of the building will be required to be within 600 feet of a hydrant (travel distance).
3. Dead-end water mains with fire hydrants are not permitted unless water supply calculations can be provided that demonstrate an adequate water supply provides the required fire flow or the sprinkler demand, which may generate a demand for water supply for hydrants is required to be bopped to existing mains. (IFC - Section 505.1.1, Ex. 2)
4. A fire department connection (FDC) is required within 100 feet of a fire hydrant for sprinkler buildings. The FDC required to be accessible from all fire apparatus access roads. The City of Clatsop Fire Department 16.08.34 requires a 4-inch SDR 35 coupling connection.

Proposed Floor Area Ratio (F.A.R.) = 0.008

Current Zoning: AG (Agricultural)
Proposed Zoning: AG (Agricultural W/Special Use Permit)

Current Use: Cemetery
Proposed Use: Cemetery w/funeral home services

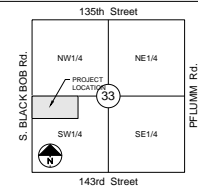
Parking Requirements:

Funeral Home:	1 Stall/Employee + 1 Stall/4 Seats	
	No. of Employees = 10 (max)	= 10 Stalls
	Seating = 224	= 56 Stalls
	Total Parking Required:	= 66 Stalls

Proposed Parking: 81 Stalls (4 accessible spaces)

"NO PARKING SIGNS" shall be installed on all access drives identified as fire lanes.

<u>SITE DATA TABLE</u>		
LOT AREA:	1,179,763 SQ. FT. (27.08 AC)	
	EXISTING	PROPOSED
ROOFED BUILDING AREA	915 (0.08%)	11,325 S.F. (0.96%)
PAVEMENT/DRIVE AREA	77,446 S.F. (6.56%)	123,107 S.F. (10.43%)
OPEN SPACE AREA	1,101,402 S.F. (93.36%)	1,045,333 S.F. (88.61%)



SECTION 33-13-24
LOCATION MAP
SCALE 1" = 2000'

ASPHALT PAVEMENT

4" CONCRETE SIDEWALK

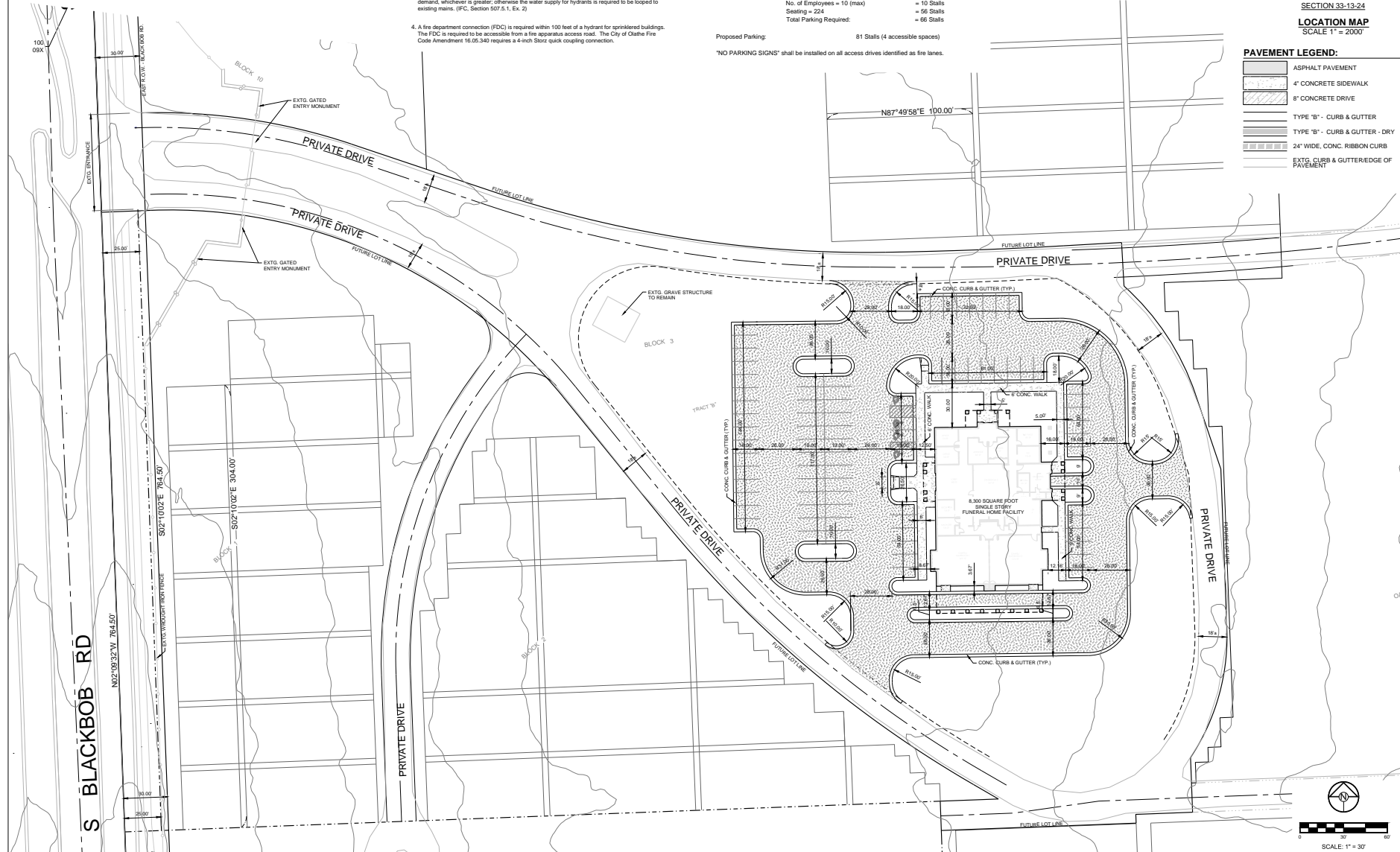
8" CONCRETE DRIVE

TYPE "B" - CURB & GUTTER

TYPE "B" - CURB & GUTTER - DRY

24" WIDE, CONC. RIBBON CURB

EXTG. CURB & GUTTER/EDGE OF PAVEMENT



 **SCHLAGE & ASSOCIATES, P.A.**
Engineers • Planners • Surveyors • Landscape Architects
14820 West 107th Street • Lenexa, Kansas 66215
(913) 402-3158 • Fax: (913) 402-8400
WWW.SCHLAGEANDASSOCIATES.COM
Kansas State Certificate of Authority
#E-296 JUL-29 A.S.-94

SPECIAL USE PERMIT/PRELIM. DEV. PLAN
OAK LAWN MEMORIAL GARDENS
-----FUNERAL HOME/CHAPEL ADDITION-----
13901 S. BLACKBOB RD., OLATHE, KANSAS

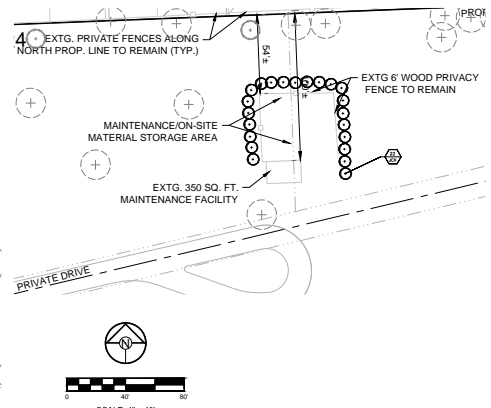
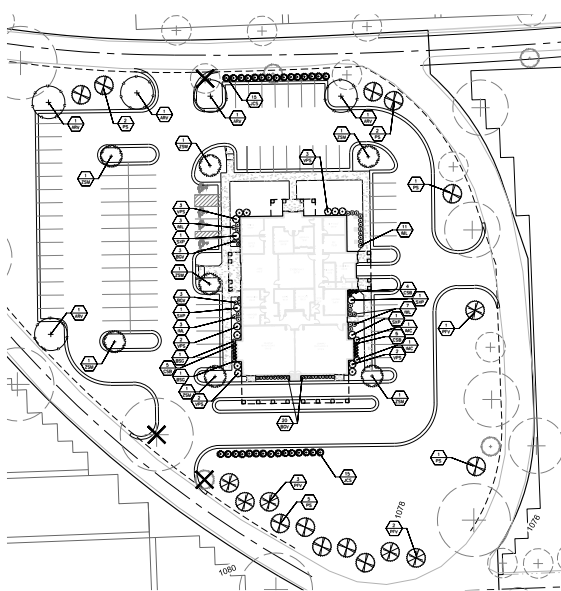
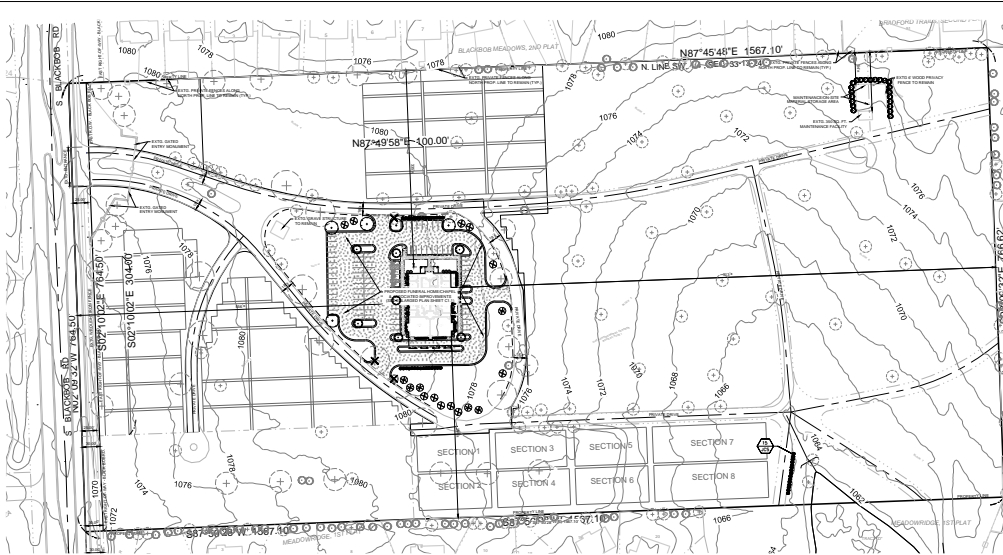
DRAWN BY	REVISION DATE	DESCRIPTION
###	12-20-2018	Cy Planning Review
CHECKED BY:	02-05-2019	Supplemental Printing Review
###		
DATE PREPARED:		
12-19-2018		
PLOI NUMBER:		
16-004		

ENLARGED SITE
PLAN

SHEET

C1.1

OF



BUILDING FOUNDATION LANDSCAPE

ALL BUILDINGS FACADE FRONTING PUBLIC RIGHT OF WAY OR A PARKING LOT SHALL HAVE A LANDSCAPE AREA WITH A MINIMUM 6' FOOT WIDTH. THAT IS A MINIMUM OF 25% OF EACH BUILDING FACADE.

PLANTS OTHER THAN TURF MUST COVER 75% OF THE REQUIRED LANDSCAPE AREA.

PARKING

REQUIRED 1 PARKING ISLAND PER 20 SPACES (8 SPACES/20)

PARKING ISLAND PROVIDED

REQUIRED 1 SHADE TREE PER ISLAND

SHADE TREES PROVIDED

REQUIRED SCREENING OF PARKING ALONG ARTERIAL STREET

SCREENINGS PROVIDED

3 ISLANDS
6 ISLANDS
8 TREES
6 TREES
100%
100%

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLANT QUANTITIES AND NUMBER OF BYVOLS SHALL SUPPLEMENT QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF CLATSOP ORDINANCES AND MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CLATSOP ORDINANCE. ALL TREES SHALL BE CALIPERED AND UNDERPLANTED TREES SHALL BE REJECTED.
- ALL BYVOLS TO BE UTILIZED FOR SCREENING SHALL BE 3" IN HEIGHT AT TIME OF PLANTING.
- ALL PLANTS OF MALVA AND A "C" CUT EDGE.
- ALL TREES SHALL HAVE A MIN. 3" DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS. ANY AREA THAT IS NOT APPROVED WITH A BUILDING, PAVEMENT, OR WALKWAY SHALL BE SOODED.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENESEA, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF CLATSOP STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 3 FT. CLEARANCE FEET FROM BACK OF CURB TO THE CENTER OF SHRUBS FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED ON A REGULAR BASIS FOR ALL TURF AND LANDSCAPE AREAS. THE NATIVE GRASS AREAS WILL NOT BE IRRIGATED.
- IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MARK ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- FOUNDATION PLANTING AREAS SHALL HAVE A MINIMUM WIDTH OF EITHER SIX FEET OR THE EQUIVALENT OF TWENTY PERCENT OF THE BUILDING FACADE.
- EXTERIOR GROUND MOUNTED OR BUILDING MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE. PURSUANT TO UDO, SECTION 18.30.130.8.
- ALL ABOVE GROUND MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS, TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED 100% FROM PUBLIC VIEW BY INSTALLING UPRIGHT TRANSPIERS. PLANTING SHALL COMPLY WITH UTILITY COMPANY REQUIREMENTS.
- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.
- NO TREE SHALL BE PLANTED WITHIN 15 FEET OF A STREETLIGHT OR FIRE HYDRANT.
- A MINIMUM OF 1/3 OF ALL SHRUB PLANTS SHALL BE EVERGREEN OR BROADLEAF EVERGREEN.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED PER UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS.
- WOOD MULCH OR RIVER ROCK ARE NOT PERMITTED IN LANDSCAPE ISLANDS. MULCH MAY BE INSTALLED AROUND INDIVIDUAL TREES LOCATED WITHIN ISLANDS FOR MAINTENANCE PURPOSES.
-

SHADE TREES

- ARV 5 EA. Acer rubrum 'Sun Valley'
- ZSM 7 EA. Zelkova serrata 'Musashino'

- Sun Valley Red Maple 2.5' Cal. B&B
- Musashino Columnar Zelkova 2.5' Cal. B&B

EVERGREEN TREES

- JCK 22 EA. Juniperus chinensis 'Keteleeri'
- PFV 6 EA. Pinus flexilis 'Vanderwolf's Pyramid'
- PS 11 EA. Pinus strobus

- Keteleer Juniper 6' H. B&B
- Vanderwolf Lumber Pine 6' H. B&B
- White Pine 6' H. B&B

SHRUBS

- BGV 26 EA. Buxus x 'Green Velvet'
- BSG 2 EA. Buxus sempervirens 'Graham Blandy'
- CSB 14 EA. Caryopteris clandronema 'Sunshine Blue'
- IBC 2 EA. Ilex x meserveae 'Hatchley' Plant Patent #14,310
- MLL 24 EA. Ilex x 'Mondo' (Male)
- JCS 45 EA. Juniperus chinensis 'Sea Green'
- SXP 4 EA. Syringa x 'Penda'
- VPS 12 EA. Viburnum plicatum tomentosum 'Summer Snowflake'

- Green Velvet Boxwood 5 gal. Cont.
- Graham Blandy Boxwood 5 gal. Cont.
- Sunshine Blue Spirea 5 gal. Cont.
- Castle Spire® Blue Holly 7 gal. (4 H. Cont.
- Little Rascall® Holly 5 gal. Cont.
- Sea Green Juniper 5 gal. Cont.
- Bloomerang Lilac 5 gal. Cont.
- Summer Snowflake Viburnum 5 gal. Cont.

SCHLAGEL & ASSOCIATES, P.A.
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 WWW.SCHLAGELANDASSOCIATES.COM



SPECIAL USE PERMIT/PRELIM. DEV. PLAN
OAK LAWN MEMORIAL GARDENS

----FUNERAL HOME/CHAPEL ADDITION----
 13901 S. BLACKBOB RD., OLATHE, KANSAS

REVISION	DATE	DESCRIPTION
DRAWN BY	APP	APP
CHECKED BY	APP	APP
DATE	DATE	DATE
PROJECT NUMBER	13-004	

LANDSCAPE PLAN

SHEET
L1.0
 OF



4 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



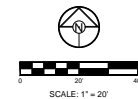
ELEVATION NOTES:

- 1 CONCRETE TILE
COMACAST CORP OLDE WORLD SLATE
COLOR: COBBLESTONE BLEND
- 2 FACE BRICK VENEER
GLEN GERY BRICK
COLOR: NAVAJO RED VELOUR
- 3 CAST STONE ACCENTS
CONTRINENTAL CAST STONE
COLOR: GREYSTONE
- 4 STONE VENEER
ARRISCRAFT OLD COUNTRY
COLOR: SUGARCANE
- 5 HORIZONTAL WOOD SLAT SCREEN WALL
STAINED

WEEK 4/2016 2016										2016		2016	
DATE	TIME	LOCATION	TEAM	SCORE	W/L	PTS	FG	3PT	FT	REB	AST	STL	BLK
1	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
2	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
3	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
4	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
5	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
6	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
7	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
8	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
9	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
10	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
11	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
12	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
13	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
14	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
15	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
16	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
17	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
18	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
19	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
20	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
21	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
22	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
23	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
24	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
25	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
26	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
27	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
28	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
29	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
30	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
31	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
32	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
33	10:00	HOME	WYOMING	75-68	W	28	10-20	3-8	10-12	15	12	2	1
34	10:00	HOME	WYOMING	75-68	W	28							



STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Parking	1.1	4.1	0.3	13.7/1	3.7/1
Code Requirement	min 1.0 max 3.0	n/a	0.2	max 15.0/1	max 5.0/1



Statement of Purpose

Oak Lawn Memorial Cemetery Funeral Home/Funeral Service Chapel

The Funeral Home/Service Chapel is a proposed, centrally located facility within the existing Oak Lawn Memorial Cemetery to compliment the existing grave-side services provided at the cemetery.

Currently, the property is zoned AG (agricultural) and as required by Olathe Zoning Ordinance the proposed development plan is to maintain the current agricultural zoning and install the proposed service chapel via a special-use permit within the AG zoning.

The proposed facility would be considered a neighborhood scale use and can be incorporated into this area to supplement the existing cemetery use on this property. The character of the adjacent neighborhoods are fully developed residential subdivisions with R1, Single family zoning abutting the cemetery property along the South, East and West (across Blackbob Road) and R2, multi-family abutting the property to the North. The proposed service chapel is compatible and consistent with the existing and proposed continued use of the cemetery on this property. With the proposed central location, extensive buffer areas consistent with existing conditions are being provided on all sides of the facility via the open-space, grave site areas adjacent to the surrounding residential subdivisions. We do not believe the development of a funeral home/service chapel facility will have any detrimental effects to the surrounding, adjacent properties. The proposed facility will also have no detrimental impacts in terms of air, water, or noise pollution or environmental harm. And, the proposed project and/or special-use permit would not pose a threat to the health, safety and welfare of the public.



SCHLAGEL & ASSOCIATES, P.A.

Engineers • Planners • Surveyors • Landscape Architects



December 17, 2018

Mr. Mike Sylvester, P.E., City Engineer
City of Olathe, Engineering Services Dept.
100 East Santa Fe
Olathe, Kansas 66061

**RE: CONCEPTUAL STORMWATER REVIEW
OAK LAWN MEMORIAL CEMETERY – CHAPLE ADDITION
SPECIAL USE PERMIT/PRELIMINARY PLAN**

Dear Mike:

We are currently working with D.W. Necomer's and Sons, Inc. as owners/operators of the existing Oak Lawn Memorial Cemetery at 13901 S. Blackbob Road, and as a perspective developer of a centrally located funeral home/memorial chapel on the property in submitting the project for a Special-Use permit and Preliminary Plan approvals thru the City of Olathe planning processes. We are submitting this conceptual storm water review in support of that application. The proposed application, if approved, will allow the development funeral home/chapel via a special user permit within the Agricultural (AG) Zoning District that the cemetery currently operates under. Please note this review is considered to be conceptual with this initial phase of planning and the final details of the detention configuration and grading, outlet structures and BMP design will be incorporated into the final design of the project and submitted for final approvals with future development and permit submittals thru the City of Olathe processes.

The existing Oak Lawn Cemetery property is an approximate 27 acre, rectangular shaped property, located at the above referenced address, along the East side of Blackbob Road. The property is bounded on the West by Blackbob Road and on the South, East and North by fully developed residential developments (Single Family R-1 on the South and East and Low-Density, R-2, multi-family on the North). The cemetery is made up of 2 sub-watersheds with approximately 7 acres draining Westerly, via overland flow conditions to the public storm sewers along Blackbob Road and the Eastern, approximate 20 acres draining east/southeasterly via overland flow conditions thru an existing wet-bottom detention facility that has been developed as part of the adjacent Meadowridge Subdivision and associated infrastructure. The funeral home/chapel facility and associated improvements are proposed to fully occur within the Eastern, 20 acre sub-watershed, so we have only reviewed and accommodated the proposed improvements within that area of the development. There are no changes for the Western 7+/- acres of the site in terms of redevelopment and/or change in cover conditions in comparing the existing and proposed conditions.

In regards to the Eastern sub-watershed, drainage from the overall development area has been accommodated thru an existing wet-pond detention basin that has been developed on Tract D, Meadowridge, First Plat as part of the subdivision infrastructure and a small portion of the pond extends Northerly into a previously platted portion of the Oak Lawn Cemetery site. The platted area within the cemetery near the southeast corner, accommodating the existing Northern portion of the pond, is identified as Block 8 on the plat of Oak Lawn Memorial Gardens. In reviewing the public infrastructure plans for Meadowridge, First Plat (City Project No. 32501D), it appears that the eastern 20+/- acres of the cemetery are accounted for to be draining thru the existing pond as part of a 22.11 acre watershed that is proposed to drain to Drainage Point "U" on the Drainage Map for the referenced subdivision (See attached Sheet 2 of 13, City Project No. 32501D). The Coefficient of Runoff (c-value) for the proposed watershed, from the calculations on the referenced sheet, is identified to be a 0.50. With the proposed improvements, the majority of the eastern sub-watershed will remain, open cemetery, grave sites, however, the project will slightly increase the impervious areas (roof, pavement/drives, and sidewalks) over the existing conditions. The proposed impervious area after development will make up approximately 12% of the eastern sub-watershed. That 12% impervious area would result in a coefficient of runoff (c-value) for the re-developed area to be 0.37, which is lower than the designed runoff coefficient of 0.50. So the redeveloped property should result in a less runoff than originally planned with the design of the downstream public storm sewer system.

From a storm water quality review, the proposed improvements in the Eastern sub-watershed, will cause an increase in the curve number (CN) associated with the site from 81 (existing) to 82 (proposed). A level of service of 4.3 is required to accommodate the increase in curve number per adopted Addendum #1 of the *MARC Manual of Best Management Practices for Stormwater Quality*. To accommodate the required level of service, we are proposing to maintain the existing drainage patterns and keep the runoff from the re-developed area draining thru the existing wet pond located adjacent to and in the southeastern area of the cemetery. The area draining thru the wet detention area is assigned a value rating of 5.0, which exceeds the required 4.3. There is no proposed change in cover conditions for the Western 7+/- watershed associated with the cemetery and no proposed water quality improvements are required or proposed for that area.

We have included a reduced size copy of Sheet 2 of 13 from City Project No. 32501D and copies of the Level of Service Worksheets and Existing Coverage Conditions Map (EXC-1), Proposed Cover Conditions (PR-1) and proposed BMP Drainage Map (BMP-1) associated with the project for your reference and review.

Thank you in advance for your time and considerations. If you have any questions regarding this preliminary review or the supplemental information presented, please contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jeffrey T. Skidmore". The signature is fluid and cursive, with the first name "Jeffrey" being more prominent.

SCHLAGEL & ASSOCIATES, P.A.

Jeffrey T. Skidmore, P.E.
Principal/Project Engineer

STREET & STORM SEWER DETAILS

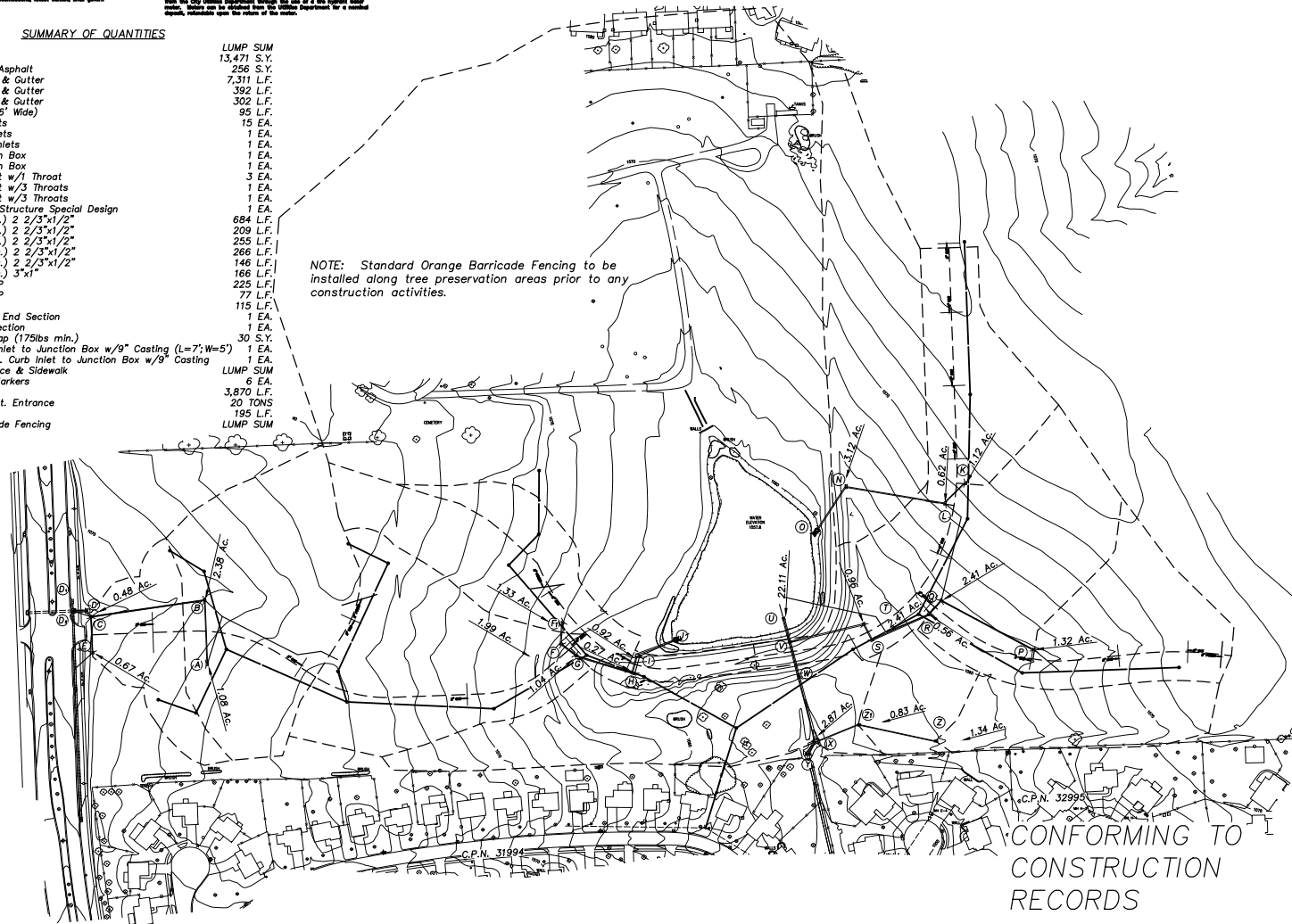
- Development plans and drainage reports are approved in writing by the City Engineer before any work is done and shall be maintained by the City Engineer before any work is done and shall be maintained by the City Engineer before any work is done.
- The City of Dallas shall refer to only for general information with City of Dallas, Texas, and the City of Dallas. The City of Dallas shall not be responsible for the design of the project.
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SUMMARY OF QUANTITIES

	LUMP SUM
1. Grading	13,471 S.Y.
2. 8" Asphalt	256 S.Y.
3. 6" Temporary Asphalt	7,311 L.F.
4. Type "A" Curb & Gutter	392 L.F.
5. Type "B" Curb & Gutter	302 L.F.
6. Type "C" Curb & Gutter	95 L.F.
7. Valley Gutter (6" Wide)	15 EA.
8. 6"x4" Curb Inlets	1 EA.
9. 10"x4" Curb Inlets	1 EA.
10. 11.5"x4" Curb Inlets	1 EA.
11. 5"x5.5" Junction Box	1 EA.
12. 5.5"x4" Junction Box	1 EA.
13. 4"x4" Area Inlet w/1 Throat	3 EA.
14. 6"x4" Area Inlet w/3 Throats	1 EA.
15. 8"x6" Area Inlet w/3 Throats	1 EA.
16. 7"x5" Overflow Structure Special Design	1 EA.
17. 15" CMP (16ga.) 2 2/3"x1/2"	684 L.F.
18. 18" CMP (16ga.) 2 2/3"x1/2"	209 L.F.
19. 21" CMP (16ga.) 2 2/3"x1/2"	255 L.F.
20. 24" CMP (16ga.) 2 2/3"x1/2"	266 L.F.
21. 30" CMP (16ga.) 2 2/3"x1/2"	146 L.F.
22. 48" CMP (16ga.) 3"x1"	228 L.F.
23. 13.5"x22" RCAP	77 L.F.
24. 18"x28.5" RCAP	115 L.F.
25. 48" RCP	1 EA.
26. 18"x28.5" RCA End Section	1 EA.
27. 24" CM End Section	30 S.Y.
28. Grouted Rip-Rap (175lbs min.)	1 EA.
29. Convert Area Inlet to Junction Box w/9" Casting (L=7';W=5')	1 EA.
30. Reconstruct Ex. Curb Inlet to Junction Box w/9" Casting	1 EA.
31. Remove Entrance & Sidewalk	LUMP SUM
32. End of Road Markers	6 EA.
33. Silt Fence	3,870 L.F.
34. Stabilized Const. Entrance	20 TONS
35. 2" R.G.S.	195 L.F.
36. Orange Barricade Fencing	LUMP SUM

NOTE: Standard Orange Barricade Fencing to be installed along tree preservation areas prior to any construction activities.



CONFORMING TO
CONSTRUCTION
RECORDS

SMM 10/11/2001
By Date
JMF 10/11/2001
Checked By Date

NO.	DATE	DESCRIPTION	BY
1	4/30/01	City Comments	W.M.
2	5/31/01	City Comments	W.M.
3	6/21/01	Rev. Table # Structure 7	W.M.
4	6/28/01	Correct Quantities	W.M.
5	7/12/01	Correct Quantities	W.M.

STORM DRAINAGE STUDY DESIGN CRITERIA (CIP) n = 0.023 (RCP) n = 0.015 K = 1.49
For: Meadowridge 1st Plat Storm Frequency 10 years

RUNOFF DISCHARGE										PIPE DESIGN									
Station	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)	Area (Ac.)	Runoff (CFS)					
A	1.08	0.5	0.5	15.00	7.1	1.0	2.0	2.8	3.2	0.6	9.8	3.7	3.0						
B	2.39	0.5	1.2	17.56	8.3	1.7	2.0	2.4	0.7	6.2	0.6	12.0	13.9	5.8					
C	0.49	0.5	0.2	3.3	16.22	7.2	2.0	2.8	3.2	0.6	9.8	3.7	3.0						
D																			
E	0.67	0.5	0.3	0.3	15.00	7.1	1.0	2.0	2.8	3.2	0.6	9.8	3.7	3.0					
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General Layout

1454 PROJECT NO. 32501D
Meadowridge 1st Plat
Street and Storm Sewer Plans

PAYNE & BROCKWAY P.A.
426 SOUTH KANSAS AVE.
OLATHE, KANSAS 66061
TELE: (913) 782-4800
www.payne-brockway.com

DATE 3/27/01 SCALE 1"=100' SHEET 2 OF 13

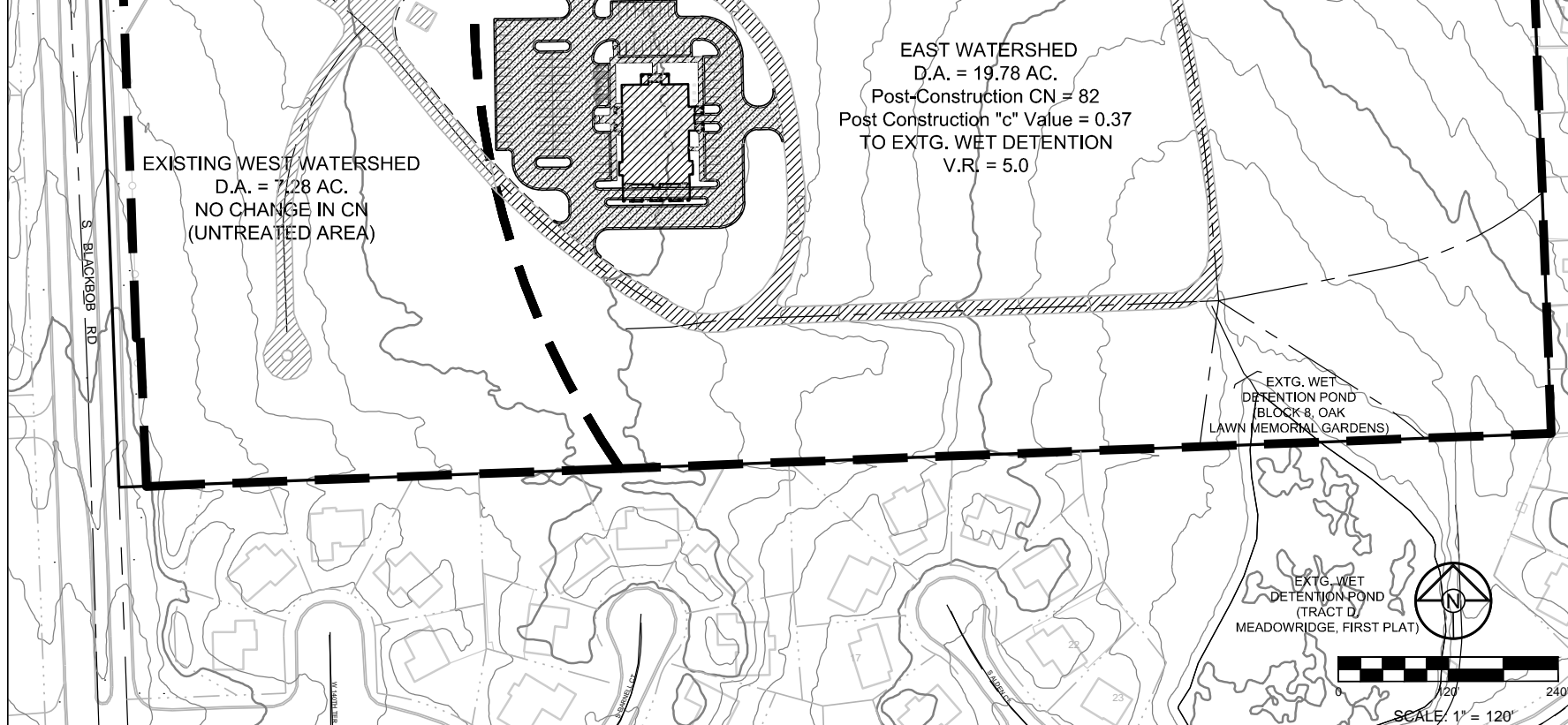
ENTIRE SITE
WORKSHEET 2: DEVS OF MITIGATION PACKAGES THAT MEET THE REQUIRED LB

Project: Oak Lawn Memorial Gardens - East Watershed
Location: 13901 S. Blackbob Rd.
Total Site Area: 1.57 acres

Required LB: 3.0

Proposed BMP Option Package No. 1

Package Description	Treatment	Area	Value	Value
1. Wet Detention Pond	10.15	0.20	0.20	
2. Wet Detention Pond	10.15	0.20	0.20	
3. Wet Detention Pond	10.15	0.20	0.20	
4. Wet Detention Pond	10.15	0.20	0.20	
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99. Wet Detention Pond	10.15	0.20	0.20	
100. Wet Detention Pond	10.15	0.20	0.20	



SCHLAGEL & ASSOCIATES, P.A.
Engineers • Planners • Surveyors • Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-9400
WWW.SCHLAGELASSOCIATES.COM
Kansas State Certificates of Authority
#E-296 #A-29 #LS-54

**OAK LAWN MEMORIAL CEMETERY
FUNERAL HOME ADDITION**

13901 S. Blackbob Road, Olathe, Kansas

DRAWN BY:
JTS

DATE PREPARED:
12-18-18

PROJ. NUMBER:
18-094

**Proposed
BMP Treatment
Plan**

SHEET
BMP-1
OF

ENTIRE SITE

WORKSHEET 1: REQUIRED LEVEL OF SERVICE

Project: Oak Lawn Memorial Gardens - East Watershed
 Location: 13901 S. Blackbob Road
 Check one: Undeveloped ☐ x ☒ Developed

WORK BY: JTS
 DATE: 12/12/2018

1. Runoff Curve Number

A. Predevelopment CN

Cover Description	Soil HSG	CN	Area (ac.)	CN x Area
Open Space - Turf - Good Conditions	D	80	18.710	1496.8
Impervious Building Areas	N/A	98	0.010	0.98
Impervious Drive Area	N/A	98	1.060	103.88
Totals:			19.78	80.97

Area-Weighted CN = total product/total area = (round to integer)

B. Post Development CN

Cover Description	Soil HSG ¹	CN	Area (ac.)	CN x Area
Building Area	N/A	98	0.250	24.5
Parking/Pavement Areas	N/A	98	2.120	207.76
Open Space Turf/Landscape Areas - Good	D	80	17.410	1392.8
Totals:			19.78	82

¹ Postdevelopment CN is one HSG higher for all cover types except preserved vegetation, absent documentation showing how postdevelopment soil structure will be preserved.

Area-Weighted CN = total product/total area = (round to integer)

C. Level of Service (LS) Calculation

		Change in CN	LS
Predevelopment CN:	<input type="text" value="81"/>	17+	8
		7 to 16	7
Postdevelopment CN:	<input type="text" value="82"/>	4 to 6	6
		1 to 3	5
Difference:	<input type="text" value="1"/>	0	4
		-7 to -1	3
LS Required (see scale at right):	<input type="text" value="4.3"/>	-8 to -17	2
		-18 to -21	1
		-21 -	0

Source: U.S. Department of Agriculture, Natural Resource Conservation Service. *Urban Hydrology for Small Watersheds, Technical Release 55* (TR-55). 1986.

WORKSHEET 2: DEVELOP MITIGATION PACKAGE(S) THAT MEET THE REQUIRED LS

WORK BY: JTS
DATE: 12/12/2018

1. Required LS

2. Proposed BMP Option Package No.

Total:	19.78	LS:	5.00
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☒ YES

January 21, 2019

Jeff Skidmore
Schlagel & Associates, PA
14920 W 107th Street
Lenexa, Kansas 66215

Dear Mr. Skidmore:

I received your letter noting your upcoming neighborhood meeting on January 24, 2019. I understand your firm will present a preliminary development plan to construct a funeral home and chapel in Oak Lawn Memorial Garden, located at 13901 S Black Bob Road, in Olathe. Due to business travel, I am unable to personally appear and submit this letter to share my concerns.

Oak Lawn is surrounded on three sides to the east of Black Bob by residential communities. As a resident of the Meadowridge community, I selected this area due to the sense of community, safety, and relatively quiet environment. Many residents whose homes are adjacent to Oak Lawn enjoy a beautiful park-like setting in their backyards, with minimal activity to disrupt their view of its natural landscape.

The addition of a commercial enterprise would bring in increased traffic which would extend into evening hours, as well as light pollution both from permanent light fixtures surrounding the facility and headlights sweeping across the grounds and our backyards for evening funeral services. The sense of safety and quietness would be permanently altered, with the potential to negatively impact our home values.

I have no personal objection to the funeral business or construction of a funeral home in the Olathe community at large. However, a funeral home is a commercial business which belongs with other businesses. The zoning laws are established to protect the residents and owners of the particular zone whether they be residential, commercial, agricultural, etc. Owners of the property in the surrounding area should feel assured that such zoning determinations remain intact, both throughout the duration of their personal ownership and for future investors. As well as the environmental concerns and impact this would have on our investments.

Residents of our community should make it clear that a commercial enterprise belongs in a commercially-zoned area and not literally in the backyards of numerous residents who purchased their homes for the safe, quiet and beautiful natural environment.

Sincerely,



Danny L Moss
14813 W 140th Terrace
Olathe, Ks 66062

cc: City Olathe Planning Commission
PO BOX 768, Olathe, KS 66051-0768

Lester Klein, President, Meadowridge HOA

Rezoning of Oak Lawn Cemetery

Dear: Planning Commission:

I wanted to say a few words on my concerns with the rezoning to allow this to happen.

I would like to know what all the families that had purchased a plot for their loved ones under the impression this would be a park like setting and not a commercial setting. People for many years have placed their trust that this land would look like a park and be calming. Now they want to add a 10,000 square foot building. The cemetery stated at the meeting that they did not inform them of there plans. One lady that was at the meeting has family there and she did not seem pleased especially since this was the first, she heard about it and only because she worked for the church were the meeting was held.

We were told when purchasing our house that this land could only be used for plots. Property values of all the HOA's close to this will take a downward hit – ours will take a large hit due to the extra maintenance the pond will now require of our small HOA causing our HOA dues to increase.

Our subdivision has had to complain every since our homes were built to get the cemetery to do simple tasks such as mowing the areas that do not have plots, allowing dirt piles to grow past code till they look like large weed hills, standing water, and the maintenance area that is trashy looking. I just drove through the property and they have dirt piles every where and even a large green trash dumpster. Our HOA has asked the cemetery over the years for help with the pond costs that is partial in the cemeteries property only to get no place and no help as we continue to pend 10s of Thousands over the year to keep it looking good and continually get dirt from the cemetery that is filling it in so that now it needs to be dredged.

At the meeting were the cemetery explained there plans they had very few answers to our questions, one answer that struck me was that they let it slip they will close their current location and move it all to this building. That means the traffic will increase approximately 200-300% more than it is now as they want to add more business, they stated that it would be hard to keep both facilities open. They also mentioned that they want to work with us and be good neighbors but not once have they stepped up and done anything without complaints. Funny that they removed all the negative complaints from there website when they started this endeavor (this does not show being truthful).

Please consider the school buildings across the street that have pick and drop offs throughout the day and the extra traffic will affect them. One is a special needs facility, plus all the administration buildings and a Middle and High school only a block away.

We only have one entrance/exit to our subdivisions and no stop light so extra traffic will be a major safety concern as its already hard to see and pull out.

So many issues with this plan that they could not answer at the meeting. They did not give any of us a positive feeling about how they will make this happen to keep neighbors satisfied. No real talk about landscaping to keep this from becoming an eye sore – they currently do nothing with landscaping to improve the grounds so I do not see any change from current situation as no track record that they really care about the neighbors.

We have a serious water drainage issue from that land and once they get the approval to build, I feel that things will get worse and we will have to continue to cover the cost of the pond maintenance that is required for water management and that they will not continue to not keep the property maintained and will have to be called out before they fix anything as there history proves. We continually have to ask people using our pond that its private property as they park on the cemetery side and walk over. Safety concerns as we already hard time keep people that do not live here off the ice as more people will see that we have a pond and want to fish in it.

CLOSING - If they wanted to make a good impression to show that they want to be good neighbors, they would have spent time cleaning up the property and doing improvements before they pitched this proposal. Instead they did not follow protocol by not contacting the surrounding Home Associations, the Home owners of rental properties and the clients who have purchased plots or have loved ones there. This does not show that they really care to be good neighbors. They did not even invite any council members to the meeting. Drive around this area and you will see that they have made no effort to make a good impression and that they want to be good neighbors.

I employ you to vote not to rezoning this land.

Jim Shryock
14455 West 140th terrace
Olathe KS 66062-5187

February 14, 2019

Dear Neighbors of Oak Lawn Cemetery:

On Monday, February 25, 2019, the City of Olathe will be reviewing a proposal from Service Corporation International, a large publicly traded conglomerate, to request a special use permit in order to build a funeral home on the grounds of Oak Lawn Cemetery.

I have been a resident of Olathe for 35 years, and I love this family-friendly community. I raised my children here, and have developed strong relationships with friends and neighbors over the years.

I also own burial lots in Oak Lawn Cemetery and my husband and I intend for this be our final resting place.

When my husband and I began planning for our final arrangements, we made deeply personal decisions based on the location and condition of Oak Lawn. The cemetery is beautiful, well-maintained and very quiet. There isn't an excess of noise or traffic, and it is surrounded by families.

Oak Lawn is our chosen final resting place. Not once did we think that the new owners of Oak Lawn would destroy the environment in order to build a commercial business. There was no reason for us to believe this would happen. It's deeply disappointing to think that the City of Olathe would even consider disrupting an area considered to be sacred by many of our friends and neighbors in the Olathe community. Even more disappointing is the lack of consideration to the many individuals, families and loved ones already interred at Oak Lawn.

As a lifelong resident of Olathe and property owner at Oak Lawn, I urge you to consider sharing your concerns with the City of Olathe.

Written concerns for public record must be submitted by Tuesday, February 19, 2019. You can submit written comments by email to planningcontact@olatheks.org or by mail to City of Olathe, Planning Division, PO Box 868, Olathe, KS 66051-0768. They must include:

- Your name and address
- Date of your comment
- Project Name: "SU 18-0009 Request approval for special use permit to allow funeral home in the AG District; Oak Lawn Memorial Cemetery, located at 13901 S. Black Bob Road"
- Your comments – specifics are very helpful

Further, public comments can also be shared in person at the Planning Commission Meeting:

Monday, February 25, 2019 at 7:00 PM
Olathe City Hall, 100 E. Santa Fe Street

For neighbors within 200 feet of Oak Lawn who wish to oppose this development, there will be a formal petition available for you to sign at the conclusion of the meeting.

Sincerely

Berny Hawley
1701 N. Ridgeview
Olathe, KS 66061

January 23, 2019

Jeff Skidmore
Schlagel & Associates, PA
14920 W. 107th Street
Lenexa, KS 66215

Dear Mr. Skidmore:

I received your letter noting your upcoming neighborhood meeting on January 24, 2019 to discuss a development plan to construct a funeral home and chapel at Oak Lawn Memorial Garden. Further, I understand you have submitted a request for a special use permit in an agriculturally zoned area in order to build this commercial property. In reviewing the Olathe Planning Commission's schedule, it appears this is slated for review on February 11, 2019.

This letter is to register my very serious concerns and strong objection to your proposal and the manner in which our community was notified.

First, in reviewing "Schedule T" on the 2019 Development Review Schedule, it appears as though the Neighborhood Meeting should have been held by January 18, but yours is not scheduled until the 24th. It appears as though our community's ability to participate in or engage in any meaningful conversation about your proposal was completely disregarded.

Second, I am deeply opposed to introducing a commercial business which would bring increased noise and traffic, far more activity into the evening hours, parking lot and vehicle lights intruding into our backyards, and any threat to my family's safety. Our community could be changed permanently and our property values will be threatened.

Oak Lawn is surrounded by residential communities. When my family and I were searching for our home, the proximity to Oak Lawn's natural setting was a primary driver in making our final choice. Meadowridge is a quiet and safe community, where our children enjoy the freedom of being able to play outside. Many of my neighbors have homes adjacent to Oak Lawn and enjoy the privacy and natural landscape in their backyards.

My neighbors, as well as myself, made a decision to purchase a home in this community. Our community is not a commercially-zoned environment. If zoning laws were established to protect residents and owners, then we should be assured those determinations remain intact, without the threat of a business being established literally in the backyards of numerous residents who chose to move here.

Sincerely,



Jeffrey Sum
14635 W 140th Terrace
Olathe, KS 66062

cc: City of Olathe Planning Commission
PO Box 768, Olathe, KS 66051-0768

Lester Kline, President, Meadowridge HOA

January 25, 2019

Dan Fernandez
City of Olathe Planning and Zoning Department

Dan,

Good morning. I wanted to update you on the open meeting last night with McGilley & Fry neighborhood meeting. There were about 35 people in attendance, not including the hosts and their associates.

Marge Voit, City Council, also attended.

There were many issues and discussions for the 1 hour and 40 minute meeting. I am going to use bullet points and some may be redundant:

- 34 were from Meadowridge, One was from Wexford subdivision.
- Notifications - first, the timing was not met, however this has been corrected.
- The entire group from Meadowridge felt that each homeowner (147) should have been sent a letter as the entire subdivision owns an interest in green spaces and the pond. This needs to be corrected for all future letters. There are 36 homes that back directly to the cemetery.
- question from the group - have the people who have loved ones buried in the cemetery been notified of the proposed change and shouldn't they have a say and be involved in this entire process?
- The hosts reported they are now planning 81 parking spaces. Major concerns over traffic flow (only one way out of there and how will that affect traffic on all sides of Blackbob - will they be making U-turns at the light on 139th to be able to go south? What about tying up traffic at the light when Visitations and funerals are starting/ending?) These need to be addressed. Will the City of Olathe let a business with that many parking spaces use a road with only one access point? Especially in a Residential area.
- How will they address the light pollution coming into people's homes, back yards, front yards? Will there be time limits to the hours that their lights can be on? The homes that back to this cemetery are very concerned with being able to use their back yards privately. This was not even a consideration when the homes were built. We feel that this is not a good use of residential land to the preexisting homes. We built knowing there was a cemetery, and were told it was to be a cemetery. Nothing else.
- The owners stated that at this time there would not be a crematorium built. How do we get confirmation from them and the City that this will never be allowed to be built here?
- Water issues - there are already drainage issues that have not been addressed by the owners regarding standing water to the south of this proposed building. Home owners have sent letters and called the company to correct this - nothing has been successful and this will not improve drainage
- Drainage - the HOA of Meadowridge pays for all maintenance to the pond. However, with this building and parking added, it will bring more silt and debris into our pond, yet the cemetery will not be responsible for drainage issues. This needs to be addressed. Meadowridge has already spent over \$45,000 to repair the pond and build supporting wall around 1/2 - it will also need to be dredged because of silt build-up and a lot of that is current run off from the cemetery. How

will this be addressed? With less land and more hard surfaces, this could become very costly to the HOA.

- Negative home values- with a building in the midst of this cemetery, there will be a direct impact to home values, estimated between 6 -12%. Not only will this cost the city, county and school district taxable values, it will hurt the resale values to the neighborhood. How will this be addressed?
- The roads in the cemetery are barely passable for two way traffic, most assume it is one way throughout. The plans we were shown do not address this and the need to widen all roads for traffic, emergency vehicles etc. This will change their hardscape figures but has not been calculated for water shed, light and noise pollution effecting the homes that will be within 300 feet of their boundaries. Please make sure this gets addressed.
- How will the cemetery address the restriction from their clients to the pond - it is for residents of the subdivision only. How will they keep people from walking down to it, leaving their trash, cigarettes, etc?
- The trash receptacles for this plan has not been placed. Where will this go? Will it have a barrier around so it does not become an eyesore?
- This company has owned the property for 4 years. We have had to complain to them regularly about mowing their green space next to our homes, cleaning of debris, the green large bin that is not enclosed and is an eyesore. they leave piles of brush until we complain enough. They are doing business out of their trailer. Their responses have not been quick. There is strong concern that once this is completed, they will go back to being lax on these issues.

As you can tell, we do not want this project to be allowed to continue at this location. They also told us that once this is built, they will probably leave their downtown location and make this their main one. That is a lot of added business into a residential area. We hope that you will be able to address our concerns and reconsider this project on this land.

Margie Stark

February 15, 2019

Our names: Robert and Joyce Bardeen

Our address: 14060 S. Alcan Street, Olathe, KS 66062

Project name: SU18-0009, Requests approval for special use permit to allow funeral home in the AG District, Oak Lawn Memorial Cemetery, located at 13901 S. Black Bob Road, Olathe, KS.

Who is requesting approval for this special use permit?

At the recent neighbor information meeting, the public representative was from McGilley and Frye Funeral Home and Cremation Service, 105 E. Loula Street, Olathe, KS.

However, McGilley and Frye is owned by Dignity Memorial. Dignity Memorial, along with other death services, is owned by Service Corporation International (SCI), LLC, 1929 Allen Parkway, Houston, Texas.

SCI is requesting this special use permit.

Who is SCI?

SCI is traded on the New York Stock Exchange. As of today, SCI is worth 8.297 billion dollars. SCI has more than 2,000 providers, and is the largest provider of funeral, cremation, and cemetery services in North America.

Here's a recent from the Zach's Equity Research article about SCI (February 12, 2019) "Further, the company is committed toward pursuing strategic buyouts for both the segments and building new funeral homes to generate greater returns. Also, acquisitions in the cemetery segment are aimed at exploiting increased opportunities to cater to Baby Boomers. Service Corporation has an impressive record of making and integrating prudent businesses."

SCI acquired McGilley and Frye Funeral Home and Cremation Service, and Oak Lawn Memorial Gardens four years ago to exploit increased opportunities to cater to Baby Boomers.

Why do we (Robert and Joyce Bardeen) object to this special use permit?

Our property is next to Oak Lawn Memorial Gardens. It is quiet. The Gardens are lovely. It is our goal to allow the quiet and lovely atmosphere to continue, and thus we oppose the special use permit.

Although the placement of a funeral home in Oak Lawn Memorial Gardens would enhance the goal of SCI to "exploit increased opportunities to cater to Baby Boomers," we think their gain of cash would decrease our quality of life.

What specific concerns do we (Robert and Joyce Bardeen) have about the decrease of our quality of life?

Primary concerns:

- Negative impact on property values (already one funeral home in our area)
- Negative impact living in the “funeral home district”
- Increased light in our backyard
- Increased noise in our backyard
- Increased flow of water into our yard (standing water already exists close to us)
- Negative impact on HOA pond
- Increase of traffic during funeral visitations and services
- Negative impact on quality of life set forth in “Olathe 2040” goals

Secondary concerns:

- Increase traffic during construction
- Injury to Black Bob road during construction
- Noise during construction
- Increased need to have a traffic signal at the cemetery entrance

Summary

We are just one family. Our HOA is quite small.

SCI is one family of many companies. They recently purchased 70% of the Neptune Society, and nine years ago they acquired one of their largest competitors, Keystone North America. SCI is worth billions. They are getting bigger and bigger.

We are little while SCI is massive.

We urge the Olathe Planning Commission to **not recommend the special use permit** for Oak Lawn Memorial Garden that is owned by Service Corporation International, LLC (SCI).

Please decrease their (SCI) potential of capital growth. Instead, increase our quality of life (see www.olatheks.org/government/Olathe-20140).

Dan Fernandez

From: Planning Contact
Sent: Wednesday, February 20, 2019 7:56 AM
To: Dan Fernandez
Subject: FW: Project SU18-0009 - Funeral Home Construction at Oak Lawn Memorial Gardens

From: Koval, Mark D [GA] <Mark.Koval@sprint.com>
Sent: Tuesday, February 19, 2019 04:58 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Subject: Project SU18-0009 - Funeral Home Construction at Oak Lawn Memorial Gardens

My name is Mark Koval and I live at 13920 S. Kaw Street here in Olathe. I'm writing this email to voice my concerns over the city's plan to grant a special use permit that would allow the construction of a funeral home on the grounds of Oak Lawn Memorial Gardens.

My property is located on the west side of Blackbob Road directly across from Oak Lawn Memorial Gardens. Like all homeowners, the issuance of a special use permit in on a property that is not zoned for commercial businesses, and those concerns are magnified even more in this instance as the proposed business would be constructed on the grounds of an existing cemetery. Below is a list of my concern and comments on the matter:

- Constructing yet another business in close proximity or my neighborhood will impact the value of my property.
- The city has already more than maximized its property/business tax base in the corridor of land between 135th street and 138th street between the west side of Blackbob Road and Pflumm as every available parcel of land now has a business constructed upon the land. At this point adding another business in the area is just outright greed on the part of the city at the direct expense of the homeowners who live close by. This area is more than saturated with commercial establishments. Enough is enough!!!
- There is already an existing funeral home less than a half mile from the proposed construction site at the corner of 143rd Street and Balckbob Road. My wife and I walk past the existing funeral on a regular basis and it is evident to me that the utilization rate of the existing funeral is far from 100%. This begs the obvious question of why is there a need to construct another in such close proximity.
- The artificial light created in the area is already off the charts. Adding another business with exterior lighting would compound the problem even more.
- The entrance and exit to the cemetery is not designed for a high level of traffic in near an already busy and somewhat dangerous intersection. Thus, the potential for traffic an increase in the number of potential traffic accidents would no doubt increase.
- From a moral perspective, I believe building a business on such sacred ground is disrespectful and just flat out wrong!!!

Thank you for considering my concerns on this matter.

Dan Fernandez

From: Planning Contact
Sent: Wednesday, February 20, 2019 7:56 AM
To: Dan Fernandez
Subject: FW: Project SU 18-0009

-----Original Message-----

From: Theresa Lohmann <tlfromkc@hotmail.com>
Sent: Tuesday, February 19, 2019 11:44 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Subject: Project SU 18-0009

From: Theresa Lohmann
14641 W. 139th St.
Olathe, KS. 66062

Feb. 19th, 2019

My property in Bradford Gardens backs up to the Oak Lawn Cemetery lot. I have lived here since 2003 and never expected the quiet cemetery grounds to be turned into a commercial business.

I have concerns regarding my property value, view from my home, and disruption to a quiet cemetery lot being turned into a commercial business.

Another concern is disruption of the pond and soil erosion as I've already put money into basement braces due to erosion.

I oppose this development.

Theresa Lohmann

Dan Fernandez

From: J & R Sum <sumfamilyx3@gmail.com>
Sent: Tuesday, February 19, 2019 4:04 PM
To: Dan Fernandez
Subject: Neighborhood petition to deny SU18-009

Dan-
I left the petition at the front desk.

Here's the summary:

106 of 154 parcels in the Meadowridge subdivision signed the petition. 99 of 147 homes in the Meadowridge subdivision signed (7 parcels are HOA)
8 homes said no to petition 40 homes were not home or not ready to sign

Thanks-
Jeff

On Tue, Feb 19, 2019 at 12:43 PM Sum Family <sumfamilyx3@gmail.com> wrote:

I am going to be dropping off a neighborhood petition with signatures

I will leave it with the front desk
Thank you
-Jeff

Sent from my iPhone

> On Feb 19, 2019, at 12:22 PM, Dan Fernandez <DJFernandez@olatheks.org> wrote:

>

> Hi Jeff. Unfortunately I'm not available at that time. Is there something I can help you with later this afternoon or tomorrow?

>

> Thanks,

>

> -----Original Message-----

> From: Sum Family <sumfamilyx3@gmail.com>

> Sent: Tuesday, February 19, 2019 12:21 PM

> To: Dan Fernandez <DJFernandez@OLATHEKS.ORG>

> Subject: In the office today?

>

> Stopping by in about 30min

>

> Thanks Jeff

>

> Sent from my iPhone

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 2:52 PM
To: Dan Fernandez
Subject: FW: Project SU18-0009

From: Bru Brubaker <larry@brumail.net>
Sent: Monday, February 18, 2019 08:21 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Subject: Project SU18-0009

Date: February 18, 2019

My name is Larry K Brubaker and I live at 18902 W 98th Terrace in Lenexa, KS 66220.

I am commenting on the Request for Approval for a special use permit to allow funeral home in the AG District, Oak Lawn Memorial Cemetary, located at 13901 S Black Bob Road.

I own 6 spaces in the mausoleum that was sold to us at a premium price since it is above ground and in a quiet spot. My father, mother and wife are interred there. I will be interred there, as will my sister and one other.
To say we have an interest in this is an understatement.

We looked around prior to buying and selected Oak Lawn Cemetary because it is very well maintained, in a nice setting and is quiet. I stress quiet because this is all about considering a commercial building in the midst of this pastoral setting. This is not what the families of those buried there signed up for. Within feet of our mausoleum you are asked to consider a commercial business with 84 planned parking places! What kind of a peaceful, serene place does that make Oak Lawn?

To make it clear, I implore you to reject this request.

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 2:49 PM
To: Dan Fernandez
Subject: FW: Oak Lawn Funeral Home Opposition

From: Vicki Whitaker <V.Whitaker@ssccpas.com>
Sent: Tuesday, February 19, 2019 01:56 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Cc: 'whit.family@sbcglobal.net' <whit.family@sbcglobal.net>
Subject: Oak Lawn Funeral Home Opposition

Vicki Whitaker
14081 S Alcan St
Olathe, KS 66062

February 19, 2019

This is in regards to, "SU 18-0009 Request approval for special use permit to allow funeral home in the AG District; Oak Lawn Memorial Cemetery, located at 13901 S Black Bob Road"

To Whom it May Concern:

I am writing to express my concern and opposition to the planned funeral home in the Oak Lawn Memorial Cemetery. I am a resident of the Meadowridge subdivision which backs up to the cemetery and have lived here with my husband and children for 17 years. One of the reasons my husband and I chose this subdivision was the quiet, beautiful setting of the cemetery next door. I am deeply disappointed that anyone would consider building a commercial business in a cemetery. It will destroy the peaceful, park-like setting that a cemetery should convey. We can see the cemetery from our house and enjoy looking out over it. My husband and I have enjoyed taking walks around the cemetery and reflecting on the lives of those buried there. The increase in traffic and business at the funeral home will add noise and commotion to our neighborhood as well. In addition I feel bad for those who have family members buried there. Building a funeral home with a parking lot within the cemetery and having increased traffic will completely destroy the peaceful and respectful environment those visiting loved ones should have.

Please consider the feelings of those living next door, and those who have families buried there as their final resting place and do not approve the special use permit.

Thank you for your consideration,

Vicki Whitaker

Dan Fernandez

From: Larry Balk <lbks2480@gmail.com>
Sent: Tuesday, February 19, 2019 2:10 PM
To: Dan Fernandez
Cc: Planning Contact; Larry Balk; Sharon Balk; Lester Kline
Subject: Special Use Permit request SU18-009

Dear "Sirs",:

I am writing to you requesting that you deny the permit to build a funeral home in Oak Lawn Gardens.

Sharon and I moved to our residence in July 2003 and we had the opportunity to speak with and discuss property lines and green spaces with the developer - Pulte Corporation - resulting in misinformation.

When we purchased our property at 14074 S. Alcan St. we paid a premium price to Pulte, supposedly because of the openness of our backyard, the view, and also because it was not to be developed until the end of the construction process in the neighborhood. We have. enjoyed the peace, quiet, and view of the scenic cemetery setting for years now and hope to be able to enjoy it until we have to leave the neighborhood. The building of this funeral home is going to disturb and mess up our view of openness and sundown and the quiet neighbors. We quote Berny Hawley, a 35 year resident of Olathe and Plot Owner at Oak Lawn Cemetery " Not once did we think that the new owners of Oak Lawn would destroy the environment in order to build a commercial business." We absolutely agree with Berny Hawley.

I was and am surprised that Schlagel and Associates propose to put a funeral home within the property lines of the cemetery, especially at the eastern part of the plot rather than the western part so that the building would be farther from the Meadowridge neighborhood, thus somewhat less obvious/more unsightly, and even more surprised that the building is going to be placed in a place that is not easily seen from Black Bob. In some other words, somebody really messed up when space wasn't reserved(no graves) at the far west property line of Oak Lawn Memorial Gardens.

Another thing that I think should be rectified is that the new unsightly(I don't really care how pretty the building is) constructed building and parking lot has no attempt to disguise or hide this new ugliness with some appropriate trees, maybe like the tall thin Cypress trees.

We think the presence of a building will attract and "bring in" more traffic, noise, and pollution.

With this space used as a parking lot and building the expansion of the real use of the property(burial plots) will bring those plots to the eastern and southern areas of the cemetery quicker than we have anticipated, which is unacceptable to us.

We understood that we were purchasing a residence, that incidentally was next to a cemetery. Approving of this building and parking lot will devalue our property. Right in the middle of a cemetery a business for profit will be placed which is surrounded by neighborhoods, not businesses. We think that if you want to have a money making business building, build it where there is a business zone, not an agricultural zone.

We believe that the pond, that belongs to the neighborhood, is going to be affected in ways that will be beyond our control, but will be mostly affected by the SCI/McGiley business at their command and decisions. And, these changes might be without any City of Olathe approval or direction. This will result in a process that will take weeks or years to get resolved. If some changes need to be made to stop any drainage or runoff problems, it will be a "fight" that will include attorneys and large expenses, which our HOA doesn't need or use at this time. If this is approved there must be a monetary reserve given by the SCI Corporation and set up by and for the Meadowridge HOA. We think, this should begin with a few million dollars and will look for advice from an appropriate business attorney.

As we have read the "minutes"/notes of the Jan. 24th meeting we are alarmed that we, Meadowridge HOA, were told that there were things that were being considered, like donations to a pond fund,; "no decisions

have been made" regarding closing the old McGiley-Frye funeral home.; cremation is not intended, only funeral/chapel services; additional landscaping would also be considered;,,,,, and so forth. We realize that there are some things that cannot be committed to until some other things are approved or built, but, some can have a "hard" commitment such as a crematorium will not be installed, ever, because there is one in use elsewhere. We do not want a crematorium in this cemetery, ever.

There were statements at the Jan. 24th meeting about lawn care that got a response of " It was clarified that maintenance had not been reduced and mowing and regular maintenance occurs generally on a 2 week schedule at the facility." We live right next to the grass that became taller than the Olathe standards and I tried on multiple attempts to get the unsightly grass "field" mowed like the front part of the property where the graves are. This resulted in no responses or actions. So, we are caused to think that SCI/McGiley is a "bad neighbor" who has a lot of money, a lot of property, and a lot of disregard for their neighbors. Again, I was/am there/here knowing the circumstances and a representative telling me/us that the grass is scheduled, etc,,, says this is what we do now, no matter what you say or think. They do not say what was the truth but what they want us to believe is the way they say and we apparently do not know the truth. This company cannot be depended on to tell us "straight up" how they will deal with problems.

Larry and Sharon Balk

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 8:36 AM
To: Dan Fernandez
Subject: FW: Oak Lawn Funeral Home Opposition

From: Greg Whitaker <greg.whitaker10@gmail.com>
Sent: Tuesday, February 19, 2019 08:35 AM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Cc: Greg Whitaker <greg.whitaker10@gmail.com>; Vicki Whitaker <V.Whitaker@ssccpas.com>
Subject: Oak Lawn Funeral Home Opposition

Greg Whitaker
14081 S Alcan St, Olathe, KS 66062

February 19, 2019

This is in regards to, "SU 18-0009 Request approval for special use permit to allow funeral home in the AG District; Oak Lawn Memorial Cemetery, located at 13901 S Black Bob Road"

To Whom it May Concern:

I am a resident of the Meadow Ridge subdivision. My wife and I purchased our home new and we have lived here since October of 2002 when the subdivision was still being built. We are raising our family here.

One of the reasons why we chose to live here was because of the cemetery adjacent our home. It is a quiet place and there is something about a cemetery that brings a spirit of peace to me and my family - and I believe to the community as well. As such, we oppose the construction of a commercial enterprise built at the footsteps of our home.

Why build a funeral home here? There is an established funeral home less than a mile south of us on Black Bob Road.

A funeral home at this location will disrupt the lives of most residents in this community as well as anyone who travels regularly on Black Bob Road. Traffic is bad enough now and a funeral home will only add to that congestion.

Along with the congestion, the funeral home will assail the peace and tranquility of the community surrounding Oak Lawn Cemetery.. We love to walk the paths and frequently do - even in the winter. We can feel the peace of those who are buried there. While walking the quiet paths of the cemetery, we often witness family and friends visiting their deceased loved ones, and in some small way, can imagine the heartache associated with their separation. A funeral home would disrupt the peace and answers to sacred questions people seek while visiting a cemetery.

This proposal reminds me of a song called, "Big Yellow Taxi" sung by Joni Mitchell and more recently The Counting Crows, There is a line in the lyrics that says, "They paved paradise to put up a parking lot." That is what will happen if a funeral home is erected at the Oak Lawn Cemetery.

Please do not pass this proposal. The peace and tranquility of the cemetery and surrounding neighborhoods outweigh the commercial venture of a funeral home.

Regards,

Greg Whitaker

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 8:32 AM
To: Dan Fernandez
Subject: FW: Concerns Regarding Proposed Construction Adjacent to Meadowridge Subdivision

From: Laural Chan <lauralchan@hotmail.com>
Sent: Monday, February 18, 2019 05:35 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Cc: Nancy Powell <nlpowell@hotmail.com>
Subject: Concerns Regarding Proposed Construction Adjacent to Meadowridge Subdivision

Dear Olathe Kansas Planning Committee Members,

It has come to our attention that a funeral home and parking lot are being proposed for the plot of land adjacent to our property in the Meadowridge subdivision on Black Bob. We are adamantly against this proposed future development as it will ruin our tranquil, park-like view. The noise and light pollution would be ongoing and annoying, ruining the peace we currently enjoy. This project will negatively impact our property value considerably as our home borders the cemetery.

This proposed commercial undertaking will also impact our flourishing neighborhood pond, its wildlife, and lead to soil erosion. We are extremely concerned about any children from this proposed construction not being properly supervised by their parents/guardians and destroying Canada Geese eggs and nesting sites and potentially drowning in the pond. We are also apprehensive about the increased security issues and vandalism around our property which we would face.

Finally, this proposed construction will add to an already difficult traffic situation. There is only one entrance/exit point in Meadowridge and no traffic lights. It is extremely challenging, already, for my elderly parents to navigate this area. Increased traffic would create a nightmare situation as quite a few of the residents in Meadowridge are elderly.

Thank you for considering our concerns.

Laural Chan
Meadowridge Homeowner

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 8:31 AM
To: Dan Fernandez
Subject: FW: Project Name: SU 18-0009 Request Approval for Special Use Permit

From: Terry Smith <tasmith1120@gmail.com>
Sent: Monday, February 18, 2019 01:55 PM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Subject: Re: Project Name: SU 18-0009 Request Approval for Special Use Permit

Correction: we have over **120** (rather than 42) square feet of window space in the back of our house that faces directly toward the area where the proposed funeral home would be built.

Apologies for the error in our previous email.

Terry A. & Kathryn A. Smith
14070 S. Darnell Ct.
Olathe, KS 66062

On Mon, Feb 18, 2019 at 12:00 PM Terry Smith <tasmith1120@gmail.com> wrote:

February 18, 2019

We respectfully ask the Planning Division to deny the request for approval for a special use permit (SU 18-0009) that would allow the construction and operation of a funeral home in Oak Lawn Memorial Cemetery at 13901 S. Black Bob Road in Olathe.

We are one of the original homeowners in the Meadowridge development with the construction of our home completed in 2002. Our home backs up to the Oak Lawn Cemetery -- in fact, our property is closest to the location where the proposed funeral home would be constructed.

When we built and purchased our home nearly 17 years ago, a major consideration in our decision to locate here was the fact that it backed up to the cemetery providing a very tranquil, serene and sacred setting immediately out our back door. Never in our wildest imagination did we envision a request being submitted to ***change the use of cemetery property*** to allow construction of a commercial operation approximately 100 yards from our back door. Had the subject area in Oak Lawn Cemetery permitted the construction of a commercial enterprise back when we first purchased our home, we absolutely would not have done so. Thus, we are extremely dismayed at the prospect of a commercial enterprise now requesting a ***"changing of the rules in their favor"*** at the expense of long-time property owners such as ourselves.

If the special use permit is approved and the construction of the proposed funeral home is allowed to proceed, we (along with numerous other homeowners in the area) will suffer significant and irreparable harm both financially and aesthetically. Speaking for ourselves, we have over 42 square feet of window space in the back of our house that faces directly toward the area where the proposed funeral home would be built. Likewise, less than 18 months ago we completed a 480 square foot patio in our back yard that faces the area where the proposed funeral home would be built. With a commercial enterprise (and its attendant traffic and nighttime

lighting) in such close line of sight proximity, there should be no doubt it would adversely affect the personal enjoyment and financial value of our home to a significant degree *with no chance of recovery*. All this due to a commercial enterprise wanting to "***change the rules in their favor***" with no regard for the detriment it creates for long-time property owners such as ourselves.

We feel there are a host of other valid reasons to deny the request for the special use permit (not the least of which include the sacred rights of those already buried in the cemetery who have no voice to be heard), however we felt it was necessary to express our opposition on the matter from a very personal standpoint. We also can't help but feel each and every decision-maker in the Planning Division and on the City Council would share our concerns and be in opposition to the special use permit if they were in our shoes.

We feel an "after-the-fact" special use permit request such as this is simply not fair to property owners such as ourselves and as such, not in the best interest of all Olathe residents. **Please recommend the denial of the request for approval for special use permit SU 18-0009 when it comes up to a vote.**

Respectfully submitted,

Terry A. and Kathryn A. Smith
14070 S. Darnell Ct.
Olathe, KS 66062

Dan Fernandez

From: Planning Contact
Sent: Tuesday, February 19, 2019 8:18 AM
To: Dan Fernandez
Subject: FW: Project Name: SU 18-0009

From: sstars5000@comcast.net <sstars5000@comcast.net>
Sent: Sunday, February 17, 2019 08:26 AM
To: Planning Contact <PlanningContact@OLATHEKS.ORG>
Subject: Project Name: SU 18-0009

February 17, 2019

Re: SU 18-0009 Request approval for special use permit to allow funeral home in the AG District, Oak Lawn Memorial Cemetery - located at 13901 S Black Bob Road

Attention Planning Contact

This is from Elisa & Robert Mora, at 14097 S Alden Ct of Meadowridge Subdivision, for 13 years.

We would like to go on the record for being strongly opposed to the development of a funeral home in the oak lawn cemetery for the following reasons.

1. It is already very difficult to get out of our subdivision onto Black Bob road. There is only one way out of our subdivision, and it doesn't matter what time of day it is, Black Bob road is always very busy.
2. We have been informed that adding a funeral home in Oak Lawn, will reduce our property value. We understand that the city will benefit from the added revenue of another building, but it would be at the expense of 147 homeowners losing a significant value of their home.

3. Construction noise and length of time for this construction.

4. We already have a drainage problem from our pond, and we understand that the funeral home will be adding to this problem. We have taken several steps preventing water in our basement. And we are very concerned that the funeral home will cause us to again have water in our basement.

5. We have been told by several people that have loved ones buried at Oak Lawn or have plots at Oak Lawn, that they are opposed to the idea of drastically changing the landscape of the cemetery. They chose Oak Lawn on the beauty that is currently has, not with the activity that a funeral home would have.

6. McGilley has not been a very good neighbor already. They have an unsightly dumpster that they have received several request to clean up, dirt piles that go unattended. So why would we think they would be any better with a larger project as building a funeral home.

For the above reasons we hope the council will deny this development, and leave the cemetery alone. Meadowridge Subdivision does not want to be bookends to funeral homes.

Elisa & Robert Mora
14097 S Alden Ct.

Dan Fernandez

From: J & R Sum <sumfamilyx3@gmail.com>
Sent: Friday, February 15, 2019 10:12 AM
To: Planning Contact; Dan Fernandez
Subject: Public Comment for the record of SU18-0009
Attachments: LetterToSchlagel.pdf

My name is Jeffrey A Sum

I am a resident of the City of Olathe

I am a homeowner in the Meadowridge subdivision.

My address is 14635 W 140th Terrace Olathe, KS 66062

The date of this comment is January 23, 2019.

The name of the Planning Application/Project:

"SU18-0009: Request approval for a special use permit to allow Funeral Home in the AG District; Oak Lawn Memorial Cemetery, located at 13901 S. Black Bob Road. "

Owner/Applicant: Patrick McGilley, D.W. Newcomer's & Sons

Engineer: Jeff Skidmore, Schlagel & Associates

I wish to record my objection to the above mentioned application SU18-0009 under consideration by the City of Olathe Planning Commission. I would like to request this email and its attached letter which was signed by myself and subsequently hand delivered to the office of engineer of record for the application- Schlagel & Associates- on January 23, 2019 at 4:30PM.

I would request an email response indicating that this email has been received and comment recorded to the above application.

Thank you-

Jeff Sum

816 289 3698 cell

Dan Fernandez

From: Jim Shryock <spikekc1@yahoo.com>
Sent: Monday, February 04, 2019 9:50 AM
To: Dan Fernandez
Subject: Rezoning of Oak Lawn Cemetery

Rezoning of Oak Lawn Cemetery

Dear: Planning Commission:

I wanted to say a few words on my concerns with the rezoning to allow this to happen.

I would like to know what all the families that had purchased a plot for their loved ones under the impression this would be a park like setting and not a commercial setting. People for many years have placed their trust that this land would look like a park and be calming. Now they want to add a 10,000 square foot building. The cemetery stated at the meeting that they did not inform them of there plans. One lady that was at the meeting has family there and she did not seem pleased especially since this was the first, she heard about it and only because she worked for the church were the meeting was held.

We were told when purchasing our house that this land could only be used for plots. Property values of all the HOA's close to this will take a downward hit – ours will take a large hit due to the extra maintenance the pond will now require of our small HOA causing our HOA dues to increase.

Our subdivision has had to complain every since our homes were built to get the cemetery to do simple tasks such as mowing the areas that do not have plots, allowing dirt piles to grow past code till they look like large weed hills, standing water, and the maintenance area that is trashy looking. I just drove through the property and they have dirt piles every where and even a large green trash dumpster. Our HOA has asked the cemetery over the years for help with the pond costs that is partial in the cemeteries property only to get no place and no help as we continue to pend 10s of Thousands over the year to keep it looking good and continually get dirt from the cemetery that is filling it in so that now it needs to be dredged.

At the meeting were the cemetery explained there plans they had very few answers to our questions, one answer that struck me was that they let it slip they will close their current location and move it all to this building. That means the traffic will increase approximately 200-300% more than it is now as they want to add more business, they stated that it would be hard to keep both facilities open. They also mentioned that they want to work with us and be good neighbors but not once have they stepped up and done anything without complaints. Funny that they removed all the negative complaints from there website when they started this endeavor (this does not show being truthful).

Please consider the school buildings across the street that have pick and drop offs throughout the day and the extra traffic will affect them. One is a special needs facility, plus all the administration buildings and a Middle and High school only a block away.

We only have one entrance/exit to our subdivisions and no stop light so extra traffic will be a major safety concern as its already hard to see and pull out.

So many issues with this plan that they could not answer at the meeting. They did not give any of us a positive feeling about how they will make this happen to keep neighbors satisfied. No real talk about landscaping to keep this from becoming an eye sore – they currently do nothing with landscaping to improve the grounds so I do not see any change from current situation as no track record that they really care about the neighbors.

We have a serious water drainage issue from that land and once they get the approval to build, I feel that things will get worse and we will have to continue to cover the cost of the pond maintenance that is required for water management and that they will not continue to not keep the property maintained and will have to be called out before they fix anything as there history proves. We continually have to ask people using our pond that its private property as they park on the cemetery side and walk over. Safety concerns as we already hard time keep people that do not live here off the ice as more people will see that we have a pond and want to fish in it.

CLOSING - If they wanted to make a good impression to show that they want to be good neighbors, they would have spent time cleaning up the property and doing improvements before they pitched this proposal. Instead they did not follow protocol by not contacting the surrounding Home Associations, the Home owners of rental properties and the clients who have purchased plots or have loved ones there. This does not show that they really care to be good neighbors. They did not even invite any council members to the meeting. Drive around this area and you will see that they have made no effort to make a good impression and that they want to be good neighbors.

I employ you to vote not to rezoning this land.

Jim Shryock

14455 West 140th terrace

Olathe KS 66062-5187

Dan Fernandez

From: Sum Family <sumfamilyx3@gmail.com>
Sent: Thursday, January 24, 2019 5:25 PM
To: Dan Fernandez
Cc: lester.kline@aol.com; dan.ramey@sbcglobal.net; Marge Vogt; Karin Brownlee; Aimee Nassif
Subject: Re: Oak Lawn Memorial Gardens issue

Mr. Fernandez:

Thank you for the follow up email. I appreciate you taking the time to respond to my communication. I will review your response and see what information is provided this evening at the neighborhood meeting.

I am sure I will have further feedback to provide afterward.

Thank you,
Jeff

Sent from my iPhone

On Jan 24, 2019, at 4:15 PM, Dan Fernandez <DJFernandez@olatheks.org> wrote:

Good afternoon, Mr. Sum. Thank you for the email concerning the proposed funeral home at Oak Lawn cemetery. This will be included in the Planning Commission packet and staff will also look at your concerns. The City appreciates residents sharing their concerns about any project and reviews all correspondence to help address any issues.

For a project review, staff does look at requirements such landscaping to help shield the development from neighboring property owners. A photometric plan showing zero spillage onto neighboring properties is also a requirement of the review process. A conceptual stormwater study has been submitted with the application and a preliminary and final report will be required prior to obtaining any permits. As for traffic, funeral homes are low traffic uses but we will have the traffic department review your concerns about Black Bob and additional traffic. Staff is always available to discuss these and any other requirements of the application. And your other comments such as losing burial space and funeral home operations are good questions to ask the applicant at the meeting tonight.

As for the notification, when we spoke I pointed out that the applicants were only 2 days past their required notification deadline but that it was still enough to continue the application to the next meeting which is 2/25/19. This will be addressed at the neighborhood meeting tonight. And we apologize for any confusion on deadline requirements as I believe you were looking at a tentative agenda online.

For future reference, the notification requirements are as follows: certified letters, return receipt sent to property owners within 200 feet at least 20 days prior to the Planning Commission date, the neighborhood meeting held at least 20 days prior to the Planning Commission meeting date with invitations sent out at least 10 days prior to the neighborhood meeting date, and a sign placed on the property at least 20 days prior to the Planning Commission meeting.

And as we discussed yesterday, please feel free to reach out to me tomorrow to discuss what was talked about at the neighborhood meeting.

Thanks,

Dan Fernandez, *City Planner II*

(913) 971-8664 | OlatheKS.org

Public Works | City of Olathe, Kansas

Setting the Standard for Excellence in Public Service

<image001.png> <image002.png> <image003.png>

Begin forwarded message:

From: J & R Sum <sumfamilyx3@gmail.com>

Subject: Oak Lawn Memorial Gardens issue

Date: January 23, 2019 at 1:55:28 PM CST

To: <kbrownlee@olatheks.org>, <mvogt@olatheks.org>

Cc: Lester Kline <lester.kline@aol.com>, <dan.ramey@sbcglobal.net>

Dear Council Members-

My name is Jeff Sum. I am a resident of Olathe and your neighbor in the Meadowridge subdivision at 140th Terrace & Blackbob. I am emailing you to make you aware of the issue occurring with Oak Lawn Memorial Gardens at 13901 S Blackbob Rd in Ward 4.

The owner of this property is attempting to build a commercial business (nearly 10,000 sq ft funeral home) in an agricultural zone area using a special use permit. As you aware the area around Oak Lawn Memorial Gardens is substantially residential and we enjoy our 'quiet neighbors' in Oak Lawn. This request represents a significant change and impact to the residential neighborhood area in this part of Olathe.

I and my follow neighbors have serious concerns about the impact to our neighborhood and surrounding communities:

- This will potentially negatively impact the property values of the homes. The Meadowridge subdivision has 36 of its 147 homes that directly face to the Oak Lawn Cemetery. One of our neighborhood most prized community assets is a pond that overlooks the Oak Lawn Cemetery.
- It will increase the traffic and congestion on Blackbob. The Meadowridge has only one entrance/exit for the entire subdivision on Blackbob Road and it it does not have a traffic signal. Additional traffic on Blackbob only makes the access to our subdivision more difficult and potentially more dangerous.
- It will increase traffic, light, and noise pollution to our our subdivision. Imagine sitting in your family room watching TV and have a stream of headlights stream trough your living as cars exits a visitation at 9PM in the evening- any night of the week or weekend.
- The plans makes no accommodation to manage storm water. There are no storm water sewers in this agricultural zone and the plans make no adjustments for the reduction in grassland for a 86 space parking lot & 10,000 sq ft building. Currently, excess stormwater from the cemetery and its roads flow into a pond that is in Meadowridge subdivision. The Meadowridge Homeowners association maintains this pond. The HOA spends ~\$7,000 annually maintaining the pond. In 2008, the HOA spent \$45,000 to build a retaining wall around half the pond perimeter to address soil erosion issues.

- This will result in a loss of ~100,000 sq ft of possible burial space just as aged population boom is coming for our country (not pleasant to think about it but still a fact).
- This company already operates a funeral home/cremation service within 4 miles of the Oak Lawn cemetery in downtown Olathe (McGilley & Frye 105 E. Loula Street). Making this proposed location un-necessary or the location downtown redundant (causing a loss of business to downtown Olathe's business district).
- There is already another funeral home down 0.4 mile down Blackbob Road (Penwell-Gabel 14275 Black Bob Rd)

Further, I have serious concerns that owner and its architect/engineer has chosen to bend City process to its advantage to impact residents ability to be informed and meaningfully contribute to the process/discussion. The City of Olathe Planning Commission has well published timeline for such requests to come before the Planning Commission. (<https://www.olatheks.org/home/showdocument?id=13606> Schedule T)

I have attached the letter I received from the Cemetery's architect/engineer-

- it dated January 11 and was received January 14; after the Planning Commission published timeline of January 8
- This neighborhood meeting is scheduled on January 24; after the January 18 date on the published timeline
- It was only after my in-person verbal complaint to the Planning Division staff on January 22 that a public sign was posted on the property of a pending use request/meeting. (well after the January 18 date on the published timeline.)
- I was also told the architect/engineer has submitted revised plans that morning (January 22), again after the January 18 date on the published timeline.
- This special use permit request is scheduled on the February 11 Planning Commission and March 5 City Council meeting agendas.
- During my in person complaint, I was told these deviations from published timeline were not significant enough to delay the review by the Commission or the Council.

I invite you to come to the neighborhood meeting at Church of Harvest South Auditorium 14841 S Blackbob Road Olathe, KS 66062 at 6:30PM on January 24, 2019.

I appreciate your time and input in this matter. Thank you.

Sincerely,
Jeffrey Sum

Jeffrey Sum
14635 W 140th Terrace
Olathe, KS 66062
sumfamilyx3@gmail.com
816 289 3698

PETITION TO **BLOCK COMMERCIAL DEVELOPMENT** ADJACENT TO THE MEADOWRIDGE
SUBDIVISION
REQUEST THAT THE CITY OF OLATHE PLANNING COMMISSION AND CITY COUNCIL **DENY**
SPECIAL USE PERMIT REQUEST SU18-009 to build a funeral home in agricultural zoned Oak
Lawn Memorial Gardens Cemetery, located at **13901 S Blackbob Road, Olathe, KS 66062**

FEBRUARY 14, 2019

TO:

City of Olathe City Council Members
City of Olathe Planning Commission
City of Olathe Planning Division
100 E Santa Fe Street
Olathe, KS 66061

PRINCIPAL PETITIONER:

Board of Directors, Meadowridge Homeowners Association
Lester Kline, President
Dan Ramey, Vice President
Jeffrey Sum, Treasurer
Meadowridge Homeowners Association
PMB 313
13505 S Mur Len Road, Suite 105
Olathe, KS 66062

RE:

Neighborhood petition requesting denial of application request: SU18-0009: Request for
a special use permit to allow Funeral Home in the AG District; Oak Lawn Memorial
Cemetery, located at 13901 S. Black Bob Road

Dear City of Olathe Planning Commission / City Council Members:

We, homeowners in the Meadowridge subdivision, located in the City of Olathe respectfully
submit this petition requesting that the City of Olathe Planning Commission and City Council **deny**
the application:

SU18-0009: Request approval for a special use permit to allow Funeral Home in the AG
District; Oak Lawn Memorial Cemetery, located at 13901 S. Black Bob Road Olathe, KS
66062

Owner/Applicant: Patrick McGilley, D.W. Newcomer's & Sons
Engineer: Jeff Skidmore, Schlagel & Associates

We believe that above application violates the guidance the City has adopted within the [Plan
Olathe: Comprehensive Plan](#), specifically:

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66062

Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R182500	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT A OLC 198 1B 2 A
Within 200ft - YES		014091 S BLACK BOB RD, OLATHE, KS 66062
O0200277		Date: 2/17/19
DP44600000 OT0A		

R182501	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT B OLC 198 1B 2 B
Within 200ft -		014095 S BLACK BOB RD, OLATHE, KS 66062
O0200277		Date: 2/17/19
DP44600000 OT0B		

R182502	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT C OLC 198 1 1 C
Within 200ft -		014701 W 140TH TER, OLATHE, KS 66062
O0200277		Date: 2/17/19
DP44600000 OT0C		

R182503	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT D OLC 198 1 1 D
Within 200ft - YES		014702 W 140TH TER, OLATHE, KS 66062
O0200277		Date: 2/17/19
DP44600000 OT0D		

R182504	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT E OLC 198 1 1 E
Within 200ft - YES		014075 S ALCAN ST, OLATHE, KS 66062
O0200277		Date: 2/17/19
DP44600000 OT0E		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Owner ID	<signature(s)>	Date:
Re Tax ID		

R182505	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 1ST PLAT TRACT F OLC 198 1B 2 F
Within 200ft -		015005 W 140TH TER, OLATHE, KS 66062
O0200277	<i>[Signature]</i>	Date: 2/17/19
DP44600000 0T0F		

R182506	CASEY, DAN W. CASEY, NANCY L.	MEADOWRIDGE 1ST PLAT LT 1 OLC 198 1B 2 1
Within 200ft - YES		015002 W 140TH TER, OLATHE, KS 66062
O222455	<i>Nancy Casey</i>	Date: 2/17/19
DP44600000 0001		

R182507	ROLLINS, KENNETH R	MEADOWRIDGE 1ST PLAT LT 2 OLC 198 1B 2 2
Within 200ft - YES		014992 W 140TH TER, OLATHE, KS 66062
O0345429	<i>K. Rollins</i>	Date: 2/17/19
DP44600000 0002		

R182507	ROLLINS, DONNA L	MEADOWRIDGE 1ST PLAT LT 2 OLC 198 1B 2 2
Within 200ft - YES		014992 W 140TH TER, OLATHE, KS 66062
O0345430		Date:
DP44600000 0002		

over by property

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R182508	DAMEWOOD, THOMAS AND DAMEWOOD, JOAN FAMILY TRUST	MEADOWRIDGE 1ST PLAT LT 3 OLC 198 1B 2 3
Within 200ft - YES		
O0196904	<i>Joan Damewood</i>	014982 W 140TH TER, OLATHE, KS 66062
DP44600000 0003		Date: <i>2/17/19</i>

R182509	OZIAS, PHILLIP A. OZIAS, HEATHER E.	MEADOWRIDGE 1ST PLAT LT 4 OLC 198 1B 2 4
Within 200ft - YES		
O0128904	<i>Phillip Ozias</i>	014972 W 140TH TER, OLATHE, KS 66062
DP44600000 0004		Date: <i>2/17/19</i>

R182510	LUTZ, JOSEPH A	MEADOWRIDGE 1ST PLAT LT 5 OLC 198 1B 2 5
Within 200ft - YES		
O0341154		014962 W 140TH TER, OLATHE, KS 66062
DP44600000 0005		Date:

R182510	KOSITANY, DOROTHY J	MEADOWRIDGE 1ST PLAT LT 5 OLC 198 1B 2 5
Within 200ft -		
O0341155	<i>Dorothy</i>	014962 W 140TH TER, OLATHE, KS 66062
DP44600000 0005		Date: <i>2/17/19</i>

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Owner ID	<signature(s)>	Date:
Re Tax ID		
R182511	BEARD, ARTHUR JEWELL & BEARD, LESLIE ROSALYN TRUST	MEADOWRIDGE 1ST PLAT LT 6 OLC 198 1B 2 6
Within 200ft - YES		014090 S DARNELL CT, OLATHE, KS 66062
O0196909		Date:
DP44600000 0006		
R182513	COLLINS, ADISA A. COLLINS, MARVA	MEADOWRIDGE 1ST PLAT LT 7 OLC 198 1B 2 7
Within 200ft - YES		014082 S DARNELL CT, OLATHE, KS 66062
O196560		Date:
DP44600000 0007		
R182515	BAYLESS, JAMES MICHAEL BAYLESS, CAROL S.	MEADOWRIDGE 1ST PLAT LT 8 OLC 198 1B 2 8
Within 200ft - YES		014078 S DARNELL CT, OLATHE, KS 66062
O196561		Date:
DP44600000 0008		
R182517	SMITH, TERRY A. SMITH, KATHRYN A.	MEADOWRIDGE 1ST PLAT LT 9 OLC 198 1 1 9
Within 200ft - YES		014070 S DARNELL CT, OLATHE, KS 66062
O172500		Date: 02/17/2019
DP44600000 0009		

not
home

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R182518	HENDRY, BRENT C. HENDRY, KIMBERLY J.	MEADOWRIDGE 1ST PLAT LT 10 OLC 198 1 1 10
Within 200ft - YES	<i>Brent C Hendry</i>	014081 S DARNELL CT, OLATHE, KS 66062
O150823	<i>Kimberly Hendry</i>	Date: <i>02/17/2019</i>
DP44600000 0010		

R182519	MEDINA, THOMAS J. MEDINA, SHARON A.	MEADOWRIDGE 1ST PLAT LT 11 OLC 198 1 1 11
Within 200ft - YES	<i>Thomas J Medina</i>	014085 S DARNELL CT, OLATHE, KS 66062
O271922	<i>Sharon Medina</i>	Date: <i>02/17/2019</i>
DP44600000 0011		

R182520	SEABA, BRENT SEABA, STACY	MEADOWRIDGE 1ST PLAT LT 12 OLC 198 1 1 12
Within 200ft -	<i>Stacy Seaba</i>	014091 S DARNELL CT, OLATHE, KS 66062
O0186713		Date: <i>2/17/19</i>
DP44600000 0012		

R182521	PYLE, RICHARD A. PYLE, LISA K.	MEADOWRIDGE 1ST PLAT LT 13 OLC 198 1 1 13
Within 200ft -	<i>Richard A Pyle</i>	014095 S DARNELL CT, OLATHE, KS 66062
O0174304		Date: <i>2/17/19</i>
DP44600000 0013		

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R182522	BERHENKE, WILLIAM TODD BERHENKE, ANA MARGARET	MEADOWRIDGE 1ST PLAT LT 14 OLC 198 1 1 14
Within 200ft -		
O196562		014852 W 140TH TER, OLATHE, KS 66062
DP44600000 0014		Date: 2/17/2019

R182523	JACOBS, SCOTT G. JACOBS, CINDY L.	MEADOWRIDGE 1ST PLAT LT 15 OLC 198 1 1 15
Within 200ft -		
O172504		014842 W 140TH TER, OLATHE, KS 66062
DP44600000 0015		Date: 2/17/2019

R182524	YOUNG, CONNIE L. CO-TRUSTEE YOUNG, WILLIAM N. CO-TRUSTEE	MEADOWRIDGE 1ST PLAT LT 16 OLC 198 1 1 16
Within 200ft -		
O172505		014822 W 140TH TER, OLATHE, KS 66062
DP44600000 0016		Date: 2-17-19 2-17-19

R182525	LINDAMOOD, MATTHEW D. LINDAMOOD, DEE A.	MEADOWRIDGE 1ST PLAT LT 17 OLC 198 1 1 17
Within 200ft - YES		
O172506		014088 S ALDEN CT, OLATHE, KS 66062
DP44600000 0017		Date: 2/18/19

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Re Tax ID		

R182526	BOYACK, BRANDON R	MEADOWRIDGE 1ST PLAT LT 18 OLC 198 1 1 18
Within 200ft - YES		014084 S ALDEN CT, OLATHE, KS 66062
O0216839		Date:
DP44600000 0018		

APR 2019

R182527	HOLLIDAY, WILLIE R. HOLLIDAY, PATRICIA E.	MEADOWRIDGE 1ST PLAT LT 19 OLC 198 1 1 19
Within 200ft - YES		014080 S ALDEN CT, OLATHE, KS 66062
O172508		Date:
DP44600000 0019		

2

R182528	GUDENKAUF, WAYNE A. GUDENKAUF, KIMBERLY K.	MEADOWRIDGE 1ST PLAT LT 20 OLC 198 1 1 20
Within 200ft - YES	Wayne A Gudenberg	014089 S ALDEN CT, OLATHE, KS 66062
O150826		Date: 2-17-19
DP44600000 0020		

R182529	HAYCOCK LIVING TRUST	MEADOWRIDGE 1ST PLAT LT 21 OLC 198 1 1 21
Within 200ft - YES	SD Hagyard	014093 S ALDEN CT, OLATHE, KS 66062
O0351036		Date: 2-17-19
DP44600000 0021		

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Re Tax ID		

R182530	MORA, ROBERT E. MORA, ELISA G.	MEADOWRIDGE 1ST PLAT LT 22 OLC 198 1 1 22
Within 200ft - YES		014097 S ALDEN CT, OLATHE, KS 66062
O249288	<i>Robert E. Mora</i>	Date: <i>2/19/19</i>
DP44600000 0022		

R182531	KAVIMANDAN, SURENDRA S. KAVIMANDAN, SHABINA	MEADOWRIDGE 1ST PLAT LT 23 OLC 198 1 1 23
Within 200ft - YES		014810 W 140TH TER, OLATHE, KS 66062
O150827	<i>Mehar 2/17/19</i>	Date: <i>2-17-2019</i>
DP44600000 0023		

R182532	HASKINS, ROBERT R. HASKINS, DEBORAH L.	MEADOWRIDGE 1ST PLAT LT 24 OLC 198 1 1 24
Within 200ft - YES		014090 S ALCAN ST, OLATHE, KS 66062
O0112380	<i>invt see esig add 7/1</i>	Date:
DP44600000 0024		

R182533	TUTTLE, CHARLES W. III	MEADOWRIDGE 1ST PLAT LT 25 OLC 198 1 1 25
Within 200ft - YES		014086 S ALCAN ST, OLATHE, KS 66062
O172512	<i>Charles W. Tuttle III</i>	Date: <i>Feb 17 2019</i>
DP44600000 0025		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Within 200 ft of Oak Lawn	<signature(s)>	Address
Owner ID		Date:
Re Tax ID		

R182532	HASKINS, ROBERT R. HASKINS, DEBORAH L.	MEADOWRIDGE 1ST PLAT LT 24 OLC 198 1 1 24
Within 200ft - YES		014090 S ALCAN ST, OLATHE, KS 66062
O0112380	<i>Robert Haskins</i>	Date:
DP44600000 0024	<small>codes added 01/15/2019 AM MCT MWAQ-5715-MET-0241</small>	

*Robert is in Scottsdale, AZ
 0319*

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R182534	BROTZ, MARIE T	MEADOWRIDGE 1ST PLAT LT 26 OLC 198 1 1 26
Within 200ft - YES	<i>Marie Brotz</i>	014082 S ALCAN ST, OLATHE, KS 66062
O0273322		Date: <i>2-17-2019</i>
DP44600000 0026		

R182535	POWELL, NANCY L. CHAN, LAURAL	MEADOWRIDGE 1ST PLAT LT 27 OLC 198 1 1 27
Within 200ft - YES	<i>Nancy Powell</i>	014078 S ALCAN ST, OLATHE, KS 66062
O0085761		Date: <i>2-18-2019</i>
DP44600000 0027		

R182536	BALK, LARRY A. BALK, SHARON M.	MEADOWRIDGE 1ST PLAT LT 28 OLC 198 1 1 28
Within 200ft - YES	<i>Sharon Balk</i>	014074 S ALCAN ST, OLATHE, KS 66062
O196563		Date: <i>2/18/2019</i>
DP44600000 0028		

R182537	KELLY, STEPHANIE	MEADOWRIDGE 1ST PLAT LT 29 OLC 198 1 1 29
Within 200ft - YES	<i>Stephanie Kelly</i>	014070 S ALCAN ST, OLATHE, KS 66062
O222458		Date: <i>2/18/19</i>
DP44600000 0029		

R182538	COX, MICHAEL K. COX, TINA M.	MEADOWRIDGE 1ST PLAT LT 30 OLC 198 1 1 30
Within 200ft - YES		014064 S ALCAN ST, OLATHE, KS 66062
O222459		Date:
DP44600000 0030		

None

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION

REQUEST THAT THE CITY OF OLATHE PLANNING COMMISSION AND CITY COUNCIL DENY SPECIAL USE PERMIT REQUEST SU18-009 to build a funeral home in agricultural zoned Oak Lawn Memorial Gardens Cemetery, located at 13901 S Blackbob Road, Olathe, KS 66062

Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R182539	BARDEEN, ROBERT W. BARDEEN, JOYCE W.	MEADOWRIDGE 1ST PLAT LT 31 OLC 198 1 1 31
Within 200ft - YES		014060 S ALCAN ST, OLATHE, KS 66062
O0180292	<i>Robert W. Bardeen</i>	Date:
DP44600000 0031	<i>Joyce W. Bardeen</i>	<i>2-17-19</i>

R182540	VELASCO-BRISENO, ELOY HARRIS-VELASCO, JANA	MEADOWRIDGE 1ST PLAT LT 32 OLC 198 1 1 32
Within 200ft - YES		014056 S ALCAN ST, OLATHE, KS 66062
O0109539		Date:
DP44600000 0032		

R182541	HULL, ROBERT	MEADOWRIDGE 1ST PLAT LT 33 OLC 198 1 1 33
Within 200ft - YES		014052 S ALCAN ST, OLATHE, KS 66062
O0343284		Date:
DP44600000 0033		

R182541	HULL, MARSHA	MEADOWRIDGE 1ST PLAT LT 33 OLC 198 1 1 33
Within 200ft - YES		014052 S ALCAN ST, OLATHE, KS 66062
O0343287		Date:
DP44600000 0033		

Not home
one property

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Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R182542	MAYNARD, SONNY MAYNARD, EDNA	MEADOWRIDGE 1ST PLAT LT 34 OLC 198 1C 34
Within 200ft - YES		014059 S ALCAN ST, OLATHE, KS 66062
O222463	<i>Sonny Maynard</i>	Date: 2-17-19
DP44600000 0034		

R182544	FINLEY, JOHN E FINLEY, EDITH L	MEADOWRIDGE 1ST PLAT PT LT 35 LYG O/S SD OLC 198 1 1 35
Within 200ft - YES		014063 S ALCAN ST, OLATHE, KS 66062
O0244312	<i>John E. Finley</i>	Date: 2-17-19
DP44600000 0035		


R182545	FINLEY, JOHN E FINLEY, EDITH L	MEADOWRIDGE 1ST PLAT PT LT 35 LYG WITHIN SD OLC 198 1C 35
Within 200ft -		000000 NS, OLATHE, KS 66062
O0244312		Date:
DP44600000 0035A		

R182546	BURKART, CHRIS P. BURKART, STACY M.	MEADOWRIDGE 1ST PLAT LT 36 OLC 198 1 1 36
Within 200ft - YES		014067 S ALCAN ST, OLATHE, KS 66062
O0149470	<i>Stacy Burkart</i>	Date: 2-17-19
DP44600000 0036		

One property

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Re Tax ID		

R182548	RAYBORN, MARY B.	MEADOWRIDGE 1ST PLAT LT 37 OLC 198 1 1 37
Within 200ft - YES		014071 S ALCAN ST, OLATHE, KS 66062
O0101531		Date: 2-17-19
DP44600000 0037		

R182549	ARMSTRONG, JASON P. ARMSTRONG, CHERI L.	MEADOWRIDGE 1ST PLAT LT 38 OLC 198 1 1 38
Within 200ft - YES		014077 S ALCAN ST, OLATHE, KS 66062
O196565		Date: 2-17-19
DP44600000 0038		

R182550	WHITAKER, GREG D. WHITAKER, VICKI L.	MEADOWRIDGE 1ST PLAT LT 39 OLC 198 1 1 39
Within 200ft - YES		014081 S ALCAN ST, OLATHE, KS 66062
O172514		Date:
DP44600000 0039		

R182551	MICHAEL, RICHARD S. MICHAEL, JUDITH L.	MEADOWRIDGE 1ST PLAT LT 40 OLC 198 1 1 40
Within 200ft - YES		014085 S ALCAN ST, OLATHE, KS 66062
O172515		Date: 2/18/2019
DP44600000 0040		

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R182552	NUNNALLY, KENNETH G. NUNNALLY, GWEN L.	MEADOWRIDGE 1ST PLAT LT 41 OLC 198 1 1 41
Within 200ft - YES	<i>Kenneth G. Nunnally</i>	014089 S ALCAN ST, OLATHE, KS 66062
O172516	<i>Gwen Nunnally</i>	Date: <i>2-17-19</i>
DP44600000 0041		

R182553	RAMSEY FAMILY TRUST	MEADOWRIDGE 1ST PLAT LT 42 OLC 198 1 1 42
Within 200ft -	<i>Daniel D. Ramsey</i>	014093 S ALCAN ST, OLATHE, KS 66062
O0196911	<i>Bonnie Ramsey</i>	Date: <i>2-17-19</i>
DP44600000 0042		

R182554	POWERS, DAVE L. POWERS, JEANNE M.	MEADOWRIDGE 1ST PLAT LT 43 OLC 198 1 1 43
Within 200ft -		014576 W 140TH TER, OLATHE, KS 66062
O222466		Date:
DP44600000 0043		

R182555	DIXON, JERRY LEE MOORE, JULIE E.	MEADOWRIDGE 1ST PLAT LT 44 OLC 198 1 1 44
Within 200ft -		014546 W 140TH TER, OLATHE, KS 66062
O172518		Date:
DP44600000 0044		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		
R182556	MOLL, WAYNE LEE CO-TRUSTEE MOLL, NANCY ANN CO-TRUSTEE	MEADOWRIDGE 1ST PLAT LT 45 OLC 198 1 1 45
Within 200ft -	<i>Wayne Moll</i>	014526 W 140TH TER, OLATHE, KS 66062
O222467		Date: <i>2-17-2019</i>
DP44600000 0045		
R182557	ABBAS, AMJAD	MEADOWRIDGE 1ST PLAT LT 46 OLC 198 1 1 46
Within 200ft -	<i>[Signature]</i>	014506 W 140TH TER, OLATHE, KS 66062
O0069711		Date: <i>2/17/19</i>
DP44600000 0046		
R182558	WHITELEY, LARRY L. WHITELEY, PAMELA	MEADOWRIDGE 1ST PLAT LT 47 OLC 198 1 1 47
Within 200ft -		014496 W 140TH TER, OLATHE, KS 66062
O172521		Date:
DP44600000 0047		
R182560	HOLLIDAY, KIP HOLLIDAY, JULIE L.	MEADOWRIDGE 1ST PLAT PT LT 48 LYG WITHIN SD OLC 198 1C 48
Within 200ft -	<i>Kip Holliday Julie L Holliday</i>	014486 W 140TH TER, OLATHE, KS 66062
O222469		Date: <i>2-17-2019</i>
DP44600000 0048		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION

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R182561	HOLLIDAY, KIP L. HOLLIDAY, JULIE L.	MEADOWRIDGE 1ST PLAT PT LT 48 LYG O/S SD OLC 198 1 1 48
Within 200ft -		000000 NS, OLATHE, KS 66062
O222470		Date:
DP44600000 0048A		

*One property
split
page
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R182562	HUYETT, CLYDE L. HUYETT, CHOE	MEADOWRIDGE 1ST PLAT LT 49 OLC 198 1 1 49
Within 200ft -		014485 W 140TH TER, OLATHE, KS 66062
O172523		Date: 2-17-2019
DP44600000 0049		

R182563	ASAD, FAISAL FAISAL, NAZIA	MEADOWRIDGE 1ST PLAT LT 50 OLC 198 1 1 50
Within 200ft -		014495 W 140TH TER, OLATHE, KS 66062
O0149981		Date:
DP44600000 0050		

R182564	WILLIAMS, MICHAEL D. WILLIAMS, DOROTHEA M.	MEADOWRIDGE 1ST PLAT LT 51 OLC 198 1 1 51
Within 200ft -		014505 W 140TH TER, OLATHE, KS 66062
O172524		Date: 2-17-2019
DP44600000 0051		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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R182565	CARDWELL, BRYAN CARDWELL, JENNIFER	MEADOWRIDGE 1ST PLAT LT 52 OLC 198 1 1 52
Within 200ft -		014525 W 140TH TER, OLATHE, KS 66062
O271926	<i>Jennifer Cardwell</i>	Date: 2-17-19
DP44600000 0052		

R182566	BOYD, RYAN M. BOYD, ASHLEY H.	MEADOWRIDGE 1ST PLAT LT 53 OLC 198 1 1 53
Within 200ft -		014545 W 140TH TER, OLATHE, KS 66062
O0057405		Date:
DP44600000 0053		

R182567	BEGNOCHE, FRANCIS K. BEGNOCHE, SHEILA K.	MEADOWRIDGE 1ST PLAT LT 54 OLC 198 1 1 54
Within 200ft -	<i>Sheila Begnoche</i>	014575 W 140TH TER, OLATHE, KS 66062
O0176897		Date: 2-17-2019
DP44600000 0054		

R182568	STARK, JAMES D. STARK, MARGARET A.	MEADOWRIDGE 1ST PLAT LT 55 OLC 198 1 1 55
Within 200ft -	<i>Margaret A. Stark</i>	014615 W 140TH TER, OLATHE, KS 66062
O196568		Date: 2-17-19
DP44600000 0055		

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R182569	SUM, JEFFREY A.	MEADOWRIDGE 1ST PLAT LT 56 OLC 198 1 1 56
Within 200ft -		014635 W 140TH TER, OLATHE, KS 66062
O0092496		Date: 2/17/2019
DP44600000 0056		

R182570	DABOVICH, CRAIG	MEADOWRIDGE 1ST PLAT LT 57 OLC 198 1 1 57
Within 200ft -		014803 W 140TH TER, OLATHE, KS 66062
O0309980		Date:
DP44600000 0057		

R182570	DABOVICH, JILLIAN	MEADOWRIDGE 1ST PLAT LT 57 OLC 198 1 1 57
Within 200ft -		014803 W 140TH TER, OLATHE, KS 66062
O0309982		Date:
DP44600000 0057		

R182571	MOSS, DANNY L. MOSS, DONNA R.	MEADOWRIDGE 1ST PLAT LT 58 OLC 198 1 1 58
Within 200ft -		014813 W 140TH TER, OLATHE, KS 66062
O172529		Date: 2/17/2019
DP44600000 0058		

R182572	HOSSEINI, HAMID SEYYEDOL	MEADOWRIDGE 1ST PLAT LT 59 OLC 198 1 1 59
Within 200ft -		014823 W 140TH TER, OLATHE, KS 66062
O0344753		Date: 2/17/19
DP44600000 0059		

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R182572	ANARAKI, NAZANIN SOHRABI	MEADOWRIDGE 1ST PLAT LT 59 OLC 198 1 1 59
Within 200ft -		014823 W 140TH TER, OLATHE, KS 66062
O0344754		Date:
DP44600000 0059		

R182573	KLINE, LESTER R AND KLINE, JOELEN M TRUST	MEADOWRIDGE 1ST PLAT LT 60 OLC 198 1 1 60
Within 200ft -		014843 W 140TH TER, OLATHE, KS 66062
O0248336		Date: 2/17/19
DP44600000 0060		

R182574	JUNKINS, BRIAN N. JUNKINS, MICHELINE	MEADOWRIDGE 1ST PLAT LT 61 OLC 198 1 1 61
Within 200ft -		014863 W 140TH TER, OLATHE, KS 66062
O196570		Date: 2/17/19
DP44600000 0061		

R182575	ANNAN, BRANDON C. ANNAN, JANET L.	MEADOWRIDGE 1ST PLAT LT 62 OLC 198 1 1 62
Within 200ft -		014913 W 140TH TER, OLATHE, KS 66062
O141472		Date:
DP44600000 0062		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Re Tax ID		
R182576	TEBBE, BRYAN D TEBBE, LAUREN M	MEADOWRIDGE 1ST PLAT LT 63 OLC 198 1 1 63
Within 200ft -		014933 W 140TH TER, OLATHE, KS 66062
O0237793		Date:
DP44600000 0063		
R182577	SCHWAB, MICHELE A. TRUSTEE SCHWAB, SCOTT J. TRUSTEE	MEADOWRIDGE 1ST PLAT LT 64 OLC 198 1B 2 64
Within 200ft -		014953 W 140TH TER, OLATHE, KS 66062
O0097154		Date:
DP44600000 0064		
R182579	ZHANG, MINGCAI CHEN, LING	MEADOWRIDGE 1ST PLAT LT 65 OLC 198 1B 2 65
Within 200ft -		014957 W 140TH TER, OLATHE, KS 66062
O0119251		Date:
DP44600000 0065		
R182580	DAMODARA, JAVA SIDHARDHA DAMODARA, SWATHI	MEADOWRIDGE 1ST PLAT LT 66 OLC 198 1B 2 66
Within 200ft -		014961 W 140TH TER, OLATHE, KS 66062
O0211533		Date:
DP44600000 0066		

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R182581	LAM, KIN LAM, KRISTI BERGMAN	MEADOWRIDGE 1ST PLAT LT 67 OLC 198 1B 2 67
Within 200ft -		014971 W 140TH TER, OLATHE, KS 66062
O222475		Date:
DP44600000 0067		

for 1/20/20

R182582	DAVIS, JOSEPH L. DAVIS, PATRICIA L.	MEADOWRIDGE 1ST PLAT LT 68 OLC 198 1B 2 68
Within 200ft -		014981 W 140TH TER, OLATHE, KS 66062
O196572		Date: 2-17-19
DP44600000 0068		

Joseph L. Davis 2--

R182583	RIVERA, NANCY B.	MEADOWRIDGE 1ST PLAT LT 69 OLC 198 1B 2 69
Within 200ft -		014991 W 140TH TER, OLATHE, KS 66062
O222476		Date:
DP44600000 0069		

for 1/20/20

R182584	LAMBERT, JENNIFER LAMBERT, TIMOTHY W.	MEADOWRIDGE 1ST PLAT LT 70 OLC 198 1B 2 70
Within 200ft -		015001 W 140TH TER, OLATHE, KS 66062
O222477		Date: 2-17-19
DP44600000 0070		

Jennifer Lambert

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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R186906	MEADOW RIDGE ASSOCIATION	MEADOWRIDGE 2ND PLAT TRACT H OLC 198 1C H
Within 200ft -		000000 NS, OLATHE, KS 66062
O0200277	<i>[Signature]</i>	Date: 2-17-2019
DP44600000 0070		

R186908	GRUBB, MARTALEA ANSELMO, MATTHEW C.	MEADOWRIDGE 2ND PLAT LT 71 OLC 198 1 1 71
Within 200ft - YES	<i>Mat Anselmo</i>	014048 S ALCAN ST, OLATHE, KS 66062
222478		Date: 02/18/19
DP44600000 0071		

R186910	BEATY, WILLIAM C. BEATY, BRENDA L.	MEADOWRIDGE 2ND PLAT LT 72 OLC 198 1 1 72
Within 200ft - YES	<i>W.C. Beaty</i>	014044 S ALCAN ST, OLATHE, KS 66062
O222479		Date: 2-17-2019
DP44600000 0072		

R186912	MORONES, SAMUEL MORONES, ELIZABETH	MEADOWRIDGE 2ND PLAT LT 73 OLC 198 1C 73
Within 200ft - YES		014490 W 139TH TER, OLATHE, KS 66062
O222480		Date:
DP44600000 0073		

R186914	HAZELWOOD, JAMES	MEADOWRIDGE 2ND PLAT LT 74 OLC 198 1C 74
Within 200ft - YES		014480 W 139TH TER, OLATHE, KS 66062
O0308321		Date:
DP44600000 0074		

not done
not done
not done
not done

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R186914	HAZELWOOD, JANE	MEADOWRIDGE 2ND PLAT LT 74 OLC 198 1C 74
Within 200ft - YES		014480 W 139TH TER, OLATHE, KS 66062
O0308323		Date:
DP44600000 0074		

one property

R186915	BHATTACHAN, RABINDRA BHATTACHAN, TRISHNA	MEADOWRIDGE 2ND PLAT LT 75 OLC 198 1C 75
Within 200ft -		014470 W 139TH TER, OLATHE, KS 66062
O0226615		Date: 2-18-2019
DP44600000 0075		

one property

R186916	PETERSON, NICK PETERSON, SARAH	MEADOWRIDGE 2ND PLAT LT 76 OLC 198 1C 76
Within 200ft -		014460 W 139TH TER, OLATHE, KS 66062
O0221162		Date: 2-18-2019
DP44600000 0076		

one property

R186917	SKOV, KEVIN	MEADOWRIDGE 2ND PLAT LT 77 OLC 198 1C 77
Within 200ft -		014456 W 139TH TER, OLATHE, KS 66062
O0305172		Date:
DP44600000 0077		

one property

See next page

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R186917	SKOV, JENNA	MEADOWRIDGE 2ND PLAT LT 77 OLC 198 1C 77
Within 200ft -	<i>Jenna Skov</i>	014456 W 139TH TER, OLATHE, KS 66062
O0305171		Date: 2/18/19
DP44600000 0077		

R186918	LEGLEITER, CHRIS D. LEGLEITER, JULIE M.	MEADOWRIDGE 2ND PLAT LT 78 OLC 198 1C 78
Within 200ft -	<i>Chris Legleiter</i>	014452 W 139TH TER, OLATHE, KS 66062
O222485		Date: 2-17-19
DP44600000 0078		

R186919	MARTIN, BRIAN MARTIN, SHEA L	MEADOWRIDGE 2ND PLAT LT 79 OLC 198 1C 79
Within 200ft -		014444 W 139TH TER, OLATHE, KS 66062
O0298241		Date:
DP44600000 0079		

R186920	CUE, LORI K	MEADOWRIDGE 2ND PLAT LT 80 OLC 198 1C 80
Within 200ft -		014440 W 139TH TER, OLATHE, KS 66062
O0298999		Date:
DP44600000 0080		

R186921	ANDERSON, DONALD K ANDERSON, ALICIA	MEADOWRIDGE 2ND PLAT LT 81 OLC 198 1C 81
Within 200ft -	<i>Donald K Anderson</i>	014436 W 139TH TER, OLATHE, KS 66062
O0255345	<i>Alicia Anderson</i>	Date: 2-17-19
DP44600000 0081		

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R186922	TRAVIS, HARRY D	MEADOWRIDGE 2ND PLAT LT 82 OLC 198 1C 82
Within 200ft -		014432 W 139TH TER, OLATHE, KS 66062
O0344022		Date:
DP44600000 0082		

R186922	JANES, BRIAN	MEADOWRIDGE 2ND PLAT LT 82 OLC 198 1C 82
Within 200ft -		014432 W 139TH TER, OLATHE, KS 66062
O0344025		Date:
DP44600000 0082		

R186923	COOK, JUSTIN COOK, MEGAN	MEADOWRIDGE 2ND PLAT LT 83 OLC 198 1C 83
Within 200ft -		014422 W 139TH TER, OLATHE, KS 66062
O0239210		Date: 2/18/19
DP44600000 0083		

R186924	DVORETZ, YORAM DVORETZ, DEBBY	MEADOWRIDGE 2ND PLAT LT 84 OLC 198 1C 84
Within 200ft -		014412 W 139TH TER, OLATHE, KS 66062
O222491		Date:
DP44600000 0084		

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Owner ID	<signature(s)>	Date:
Re Tax ID		

R186925	REIN, TODD J. REIN, SUZANNE L.	MEADOWRIDGE 2ND PLAT LT 85 OLC 198 1C 85
Within 200ft -		014402 W 139TH TER, OLATHE, KS 66062
O0131798		Date:
DP44600000 0085		

R186926	PADDA, NAVTEJ SINGH	MEADOWRIDGE 2ND PLAT LT 86 OLC 198 1C 86
Within 200ft -		014047 S MULLEN ST, OLATHE, KS 66062
O0330677		Date: 2/17/19
DP44600000 0086		


R186926	PADDA, RANDEEP KAUR	MEADOWRIDGE 2ND PLAT LT 86 OLC 198 1C 86
Within 200ft -		014047 S MULLEN ST, OLATHE, KS 66062
O0330678		Date: 2/17/19
DP44600000 0086		

R186926	PADDA, PRABHJOT SINGH	MEADOWRIDGE 2ND PLAT LT 86 OLC 198 1C 86
Within 200ft -		014047 S MULLEN ST, OLATHE, KS 66062
O0330680		Date: 2/17/19
DP44600000 0086		

R186926	PADDA, SANDEEP KAUR	MEADOWRIDGE 2ND PLAT LT 86 OLC 198 1C 86
Within 200ft -		014047 S MULLEN ST, OLATHE, KS 66062
O0330681		Date: 2/17/19
DP44600000 0086		


PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
 REQUEST THAT THE CITY OF OLATHE PLANNING COMMISSION AND CITY COUNCIL DENY SPECIAL USE PERMIT REQUEST SU18-009 to
 build a funeral home in agricultural zoned Oak Lawn Memorial Gardens Cemetery, located at 13901 S Blackbob Road, Olathe, KS
 66062

Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R186927	WESLEY, SCOTT R. WESLEY, BROOKE D.	MEADOWRIDGE 2ND PLAT LT 87 OLC 198 1C 87
Within 200ft -		014051 S MULLEN ST, OLATHE, KS 66062
O196574		Date: 2-17-19
DP44600000 0087		

R186928	NEUENSCHWANDER, JEFFREY L. NEUENSCHWANDER, AMIE	MEADOWRIDGE 2ND PLAT LT 88 OLC 198 1C 88
Within 200ft -		014055 S MULLEN ST, OLATHE, KS 66062
O0022340		Date: 2-17-19
DP44600000 0088		

R186929	CAUTHON, MARK L. CAUTHON, MARY R.	MEADOWRIDGE 2ND PLAT LT 89 OLC 198 1C 89
Within 200ft -		014059 S MULLEN ST, OLATHE, KS 66062
O249291	 	Date: 2-17-2019
DP44600000 0089		

R186930	RUSSELL, ROYCE RUSSELL, STEPHANIE	MEADOWRIDGE 2ND PLAT LT 90 OLC 198 1C 90
Within 200ft -		014063 S MULLEN ST, OLATHE, KS 66062
O0116806		Date: 2-17-19
DP44600000 0090		

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Within 200 ft of Oak Lawn	<signature(s)>	Address
Owner ID		Date:
Re Tax ID		

R186931	SAXENA, RAKESH C. SAXENA, MAMTA	MEADOWRIDGE 2ND PLAT LT 91 OLC 198 1C 91
Within 200ft -		014067 S MULLEN ST, OLATHE, KS 66062
O196578		Date:
DP44600000 0091		

R186932	CONNELLY, FRANK J CONNELLY, LINDA	MEADOWRIDGE 2ND PLAT LT 92 OLC 198 1C 92
Within 200ft -		014071 S MULLEN ST, OLATHE, KS 66062
O0210463		Date:
DP44600000 0092		

R186933	MOORE, MICHAEL A. MOORE, KIMBERLY N.	MEADOWRIDGE 2ND PLAT LT 93 OLC 198 1C 93
Within 200ft -		014075 S MULLEN ST, OLATHE, KS 66062
O196580		Date: 2/17/19
DP44600000 0093		

R186934	HOLLOWAY, JOHN D, Sr	MEADOWRIDGE 2ND PLAT LT 94 OLC 198 1C 94
Within 200ft -		014079 S MULLEN ST, OLATHE, KS 66062
O0330418		Date: 2-17-2019
DP44600000 0094		

R186934	HOLLOWAY, JOYCE E	MEADOWRIDGE 2ND PLAT LT 94 OLC 198 1C 94
Within 200ft -		014079 S MULLEN ST, OLATHE, KS 66062
O0330422		Date:
DP44600000 0094		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Re Tax ID		



R186935	KODE, SRINIVAS P. KODE, PRAVEEN	MEADOWRIDGE 2ND PLAT LT 95 OLC 198 1C 95
Within 200ft -		014083 S MULLEN ST, OLATHE, KS 66062
O271930		Date:
DP44600000 0095		

R186936	WEATHERS FAMILY TRUST	MEADOWRIDGE 2ND PLAT LT 96 OLC 198 1C 96
Within 200ft -		014087 S MULLEN ST, OLATHE, KS 66062
O0166255		Date: 2.17.19
DP44600000 0096		

R186937	BAPTISTE, DESTE BAPTISTE, MELANIE	MEADOWRIDGE 2ND PLAT LT 97 OLC 198 1C 97
Within 200ft -		014091 S MULLEN ST, OLATHE, KS 66062
O0231805		Date: 2-18-19
DP44600000 0097		

R186938	CHATURVEDI, VIVEK MISHRA, JAYA	MEADOWRIDGE 2ND PLAT LT 98 OLC 198 1C 98
Within 200ft -		014095 S MULLEN ST, OLATHE, KS 66062
O0025987		Date: 02/18/2019
DP44600000 0098		

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Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		
R186939	SCHREINER, JOHN M. SCHREINER, AMIA K.	MEADOWRIDGE 2ND PLAT LT 99 OLC 198 1C 99
Within 200ft -		014099 S MULLEN ST, OLATHE, KS 66062
O0176871		Date: 2-17-19
DP44600000 0099		
R186940	KAUR, HARJIT	MEADOWRIDGE 2ND PLAT LT 100 OLC 198 1C 100
Within 200ft -		014445 W 140TH TER, OLATHE, KS 66062
O196584		Date:
DP44600000 0100		
R186940	SINGH, BINDER	MEADOWRIDGE 2ND PLAT LT 100 OLC 198 1C 100
Within 200ft -		014445 W 140TH TER, OLATHE, KS 66062
O0294888		Date:
DP44600000 0100		
R186941	SHRYOCK, JAMES M. REV TRUST SHRYOCK, KATHLEEN W. REV TRUST	MEADOWRIDGE 2ND PLAT LT 101 OLC 198 1C 101
Within 200ft -		014455 W 140TH TER, OLATHE, KS 66062
O172537		Date: 2-17-2019
DP44600000 0101		

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PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Owner ID	<signature(s)>	Date:
Re Tax ID		

R186942	BURNELL REVOCABLE TRUST	MEADOWRIDGE 2ND PLAT LT 102 OLC 198 1C 102
Within 200ft -		014465 W 140TH TER, OLATHE, KS 66062
O0253271	<i>John Burnell</i>	Date: 2-17-19
DP44600000 0102		

R186944	SUBRAMANIAN, NAGARAJAN AND NAGAPPAN, SHREEDEVI TRUST	MEADOWRIDGE 2ND PLAT LT 103 OLC 198 1 1 103
Within 200ft -		014475 W 140TH TER, OLATHE, KS 66062
O0207193	<i>N. Shreedevi.</i>	Date: 2-17-2019
DP44600000 0103		

R186946	GOULD, JAMES M. GOULD, KAREN M.	MEADOWRIDGE 2ND PLAT LT 104 OLC 198 1C 104
Within 200ft -		014476 W 140TH TER, OLATHE, KS 66062
O172539	<i>James M. Gould</i> <i>Karen M. Gould</i>	Date: 2-17-19
DP44600000 0104		

R186947	WARD, JOSHUA DAVID WARD, ANA	MEADOWRIDGE 2ND PLAT LT 105 OLC 198 1C 105
Within 200ft -		014466 W 140TH TER, OLATHE, KS 66062
O0246540		Date:
DP44600000 0105		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R186948	SOMMER, ALEXANDER H SOMMER, SARAH J	MEADOWRIDGE 2ND PLAT LT 106 OLC 198 1C 106
Within 200ft -		014090 S MULLEN ST, OLATHE, KS 66062
O0281673	<i>Sarah Sommer</i>	Date: <i>2-17-2019</i>
DP44600000 0106		

R186949	PONNALA, BHARADWAJ	MEADOWRIDGE 2ND PLAT LT 107 OLC 198 1C 107
Within 200ft -		014086 S MULLEN ST, OLATHE, KS 66062
O0322601	<i>[Signature]</i>	Date: <i>2-17-2019</i>
DP44600000 0107		

R186950	GIBBS-CLOUGH, JOANNE L ETAL	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -		014082 S MULLEN ST, OLATHE, KS 66062
O0276578	<i>see add-in 33A</i>	Date:
DP44600000 0108		

R186950	CLOUGH, DALE P	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -		014082 S MULLEN ST, OLATHE, KS 66062
O0276589	<i>see add-in 33A</i>	Date:
DP44600000 0108		

R186950	EFFIE, PARTICIA E	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -		014082 S MULLEN ST, OLATHE, KS 66062
O0276590		Date:
DP44600000 0108		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Owner ID	<signature(s)>	Date:
Re Tax ID		

R186948	SOMMER, ALEXANDER H SOMMER, SARAH J	MEADOWRIDGE 2ND PLAT LT 106 OLC 198 1C 106
Within 200ft -		014090 S MULLEN ST, OLATHE, KS 66062
O0281673		Date:
DP44600000 0106		

R186949	PONNALA, BHARADWAJ	MEADOWRIDGE 2ND PLAT LT 107 OLC 198 1C 107
Within 200ft -		014086 S MULLEN ST, OLATHE, KS 66062
O0322601		Date:
DP44600000 0107		

R186950	GIBBS-CLOUGH, JOANNE L ETAL	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -	<i>Joanne Gibbs Clough</i>	014082 S MULLEN ST, OLATHE, KS 66062
O0276578		Date: <i>2/18/19</i>
DP44600000 0108		

R186950	CLOUGH, DALE P	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -	<i>Dale P Clough</i>	014082 S MULLEN ST, OLATHE, KS 66062
O0276589		Date: <i>2/18/19</i>
DP44600000 0108		

R186950	EFFIE, PARTICIA E	MEADOWRIDGE 2ND PLAT LT 108 OLC 198 1C 108
Within 200ft -		014082 S MULLEN ST, OLATHE, KS 66062
O0276590		Date:
DP44600000 0108		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Owner ID	<signature(s)>	Date:
Re Tax ID		

R186951	HADEN, DENNIS A. AND HADEN, PENNIE L. REV LIV TRUST	MEADOWRIDGE 2ND PLAT LT 109 OLC 198 1C 109
Within 200ft -		
O0177927	<i>Dennis & Haden</i>	014459 W 140TH ST, OLATHE, KS 66062
DP44600000 0109		Date: <i>2-17-2019</i>

R186952	SLAYMAKER, LLOYD SLAYMAKER, MELODIE	MEADOWRIDGE 2ND PLAT LT 110 OLC 198 1C 110
Within 200ft -		
O249294	<i>Melodie Slaymaker</i>	014463 W 140TH ST, OLATHE, KS 66062
DP44600000 0110		Date: <i>Feb 17, 2019</i>

R186953	LINCK, JAMES E TRUST	MEADOWRIDGE 2ND PLAT LT 111 OLC 198 1C 111
Within 200ft -		
O0244540		014467 W 140TH ST, OLATHE, KS 66062
DP44600000 0111		Date:

R186954	HASLAR, MARK ANGE, CARMAN	MEADOWRIDGE 2ND PLAT LT 112 OLC 198 1C 112
Within 200ft -		
O0213865	<i>Mark Ange</i>	014471 W 140TH ST, OLATHE, KS 66062
DP44600000 0112		Date: <i>2-17-19</i>

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PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Owner ID	<signature(s)>	Date:
Re Tax ID		

R186956	KING, WILLIAM D KING, ASHLEY L	MEADOWRIDGE 2ND PLAT LT 113 OLC 198 1 1 113
Within 200ft -		014475 W 140TH ST, OLATHE, KS 66062
O0273186		Date: 2-17-2019
DP44600000 0113		

R186958	DIMITROV, JAMES-SIMONE	MEADOWRIDGE 2ND PLAT LT 114 OLC 198 1 1 114
Within 200ft -		014479 W 140TH ST, OLATHE, KS 66062
O0298709		Date:
DP44600000 0114		

R186959	JOLLY, KIRK P	MEADOWRIDGE 2ND PLAT LT 115 OLC 198 1 1 115
Within 200ft -		014483 W 140TH ST, OLATHE, KS 66062
O0303488		Date:
DP44600000 0115		

R186959	JOLLY, CHRISTY M	MEADOWRIDGE 2ND PLAT LT 115 OLC 198 1 1 115
Within 200ft -		014483 W 140TH ST, OLATHE, KS 66062
O0303489		Date: 2-17-2019
DP44600000 0115		

R186960	TRIKHACHEV, SERGEY TRIKHACHEVA, LARISA	MEADOWRIDGE 2ND PLAT LT 116 OLC 198 1 1 116
Within 200ft -		014474 W 140TH ST, OLATHE, KS 66062
O196597		Date: 2-17-2019
DP44600000 0116		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

Handwritten: Not now

R186962	MORGAN, MICHAEL J	MEADOWRIDGE 2ND PLAT LT 117 OLC 198 1C 117
Within 200ft -		014470 W 140TH ST, OLATHE, KS 66062
O0348427		Date:
DP44600000 0117		

R186963	HEIGELE, CHRISTOPHER L. HEIGELE, KIMBERLY S.	MEADOWRIDGE 2ND PLAT LT 118 OLC 198 1C 118
Within 200ft -		014466 W 140TH ST, OLATHE, KS 66062
O196599	<i>Handwritten signature: C. Heigle</i>	Date: 2/17/19
DP44600000 0118		

R186964	KOELLE, KARL D. KOELLE, HEATHER M.	MEADOWRIDGE 2ND PLAT LT 119 OLC 198 1C 119
Within 200ft -		014462 W 140TH ST, OLATHE, KS 66062
O196600		Date:
DP44600000 0119		

Handwritten: put now

R186965	WATSON, KEVIN JOHN WATSON, VIRGINIA MARIE	MEADOWRIDGE 2ND PLAT LT 120 OLC 198 1C 120
Within 200ft -		014458 W 140TH ST, OLATHE, KS 66062
O249295		Date:
DP44600000 0120		

Handwritten: OK

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
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R186966	WATSON, KEVIN JOHN TRUSTEE WATSON TRUST (THE)	MEADOWRIDGE 2ND PLAT LT 121 OLC 198 1C 121
Within 200ft -		014454 W 140TH ST, OLATHE, KS 66062
O0102791		Date:
DP44600000 0121		

R186967	MANSOOR, SAAD	MEADOWRIDGE 2ND PLAT LT 122 OLC 198 1C 122
Within 200ft -		014450 W 140TH ST, OLATHE, KS 66062
O0327254		Date: 2-17-2019
DP44600000 0122		

R186967	TAJ, MANSOOR	MEADOWRIDGE 2ND PLAT LT 122 OLC 198 1C 122
Within 200ft -		014450 W 140TH ST, OLATHE, KS 66062
O0327257		Date:
DP44600000 0122		

R186967	MANSOOR, SAFIA	MEADOWRIDGE 2ND PLAT LT 122 OLC 198 1C 122
Within 200ft -		014450 W 140TH ST, OLATHE, KS 66062
O0327258		Date:
DP44600000 0122		

One property
 not home

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R186968	OBERHOLTZER, MIKE OBERHOLTZER, LORRAINE	MEADOWRIDGE 2ND PLAT LT 123 OLC 198 1C 123
Within 200ft - O271932 DP44600000 0123		014427 W 139TH PL, OLATHE, KS 66062 Date: 2/17/2019

R186969	KESTER, PAUL D. KESTER, SHARON K.	MEADOWRIDGE 2ND PLAT LT 124 OLC 198 1C 124
Within 200ft - O195382 DP44600000 0124		014431 W 139TH PL, OLATHE, KS 66062 Date: 2-17-19

R186970	KALLAS, DAVID M.	MEADOWRIDGE 2ND PLAT LT 125 OLC 198 1C 125
Within 200ft - O196604 DP44600000 0125		014437 W 139TH PL, OLATHE, KS 66062 Date: 2-17-19

R186971	LANE, TIMOTHY D. LANE, KI SUN	MEADOWRIDGE 2ND PLAT LT 126 OLC 198 1C 126
Within 200ft - O249296 DP44600000 0126		014445 W 139TH PL, OLATHE, KS 66062 Date: 2/17/19

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Re Tax ID		

R186972	BORJAS, BRIAN J. BORJAS, KIMBERLY L.	MEADOWRIDGE 2ND PLAT LT 127 OLC 198 1C 127
Within 200ft -		014451 W 139TH PL, OLATHE, KS 66062
O0046941		Date:
DP44600000 0127		

R186973	GANGEL, GREGORY D. GANGEL, MICHELLE D.	MEADOWRIDGE 2ND PLAT LT 128 OLC 198 1C 128
Within 200ft -		014457 W 139TH PL, OLATHE, KS 66062
O196607		Date:
DP44600000 0128		

R186974	BINGESSER, BRAD J. WICKHAM-BINGESSER, DAPHNE A.	MEADOWRIDGE 2ND PLAT LT 129 OLC 198 1C 129
Within 200ft -		014465 W 139TH PL, OLATHE, KS 66062
O222497		Date:
DP44600000 0129		

R186976	HENNKENS, MEGAN S	MEADOWRIDGE 2ND PLAT LT 130 OLC 198 1C 130
Within 200ft -		014471 W 139TH PL, OLATHE, KS 66062
O0232053		Date:
DP44600000 0130		

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R186978	ALSUP, LANCE ALLEN ALSUP, JOY LYNN	MEADOWRIDGE 2ND PLAT LT 131 OLC 198 1C 131
Within 200ft -		014472 W 139TH PL, OLATHE, KS 66062
O196608		Date:
DP44600000 0131		

R186979	MATTHEWS, JANET L	MEADOWRIDGE 2ND PLAT LT 132 OLC 198 1C 132
Within 200ft -		014454 W 139TH PL, OLATHE, KS 66062
O0313874		Date:
DP44600000 0132		

R186980	WOODSIDE, BRYAN R. WOODSIDE, BETH	MEADOWRIDGE 2ND PLAT LT 133 OLC 198 1C 133
Within 200ft -		014442 W 139TH PL, OLATHE, KS 66062
O0084496		Date:
DP44600000 0133		

R186981	ORR FAMILY TRUST	MEADOWRIDGE 2ND PLAT LT 134 OLC 198 1C 134
Within 200ft -		014434 W 139TH PL, OLATHE, KS 66062
O0350973		Date: 02/17/2019
DP44600000 0134		

R186982	LYNN, CHAD K. LYNN, MEGAN L.	MEADOWRIDGE 2ND PLAT LT 135 OLC 198 1C 135
Within 200ft -		014430 W 139TH PL, OLATHE, KS 66062
O196610		Date:
DP44600000 0135		

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R186983	GAJAKAS, PRATAP GAJAKAS, JYOTI	MEADOWRIDGE 2ND PLAT LT 136 OLC 198 1C 136
Within 200ft -		014020 W 139TH PL, OLATHE, KS 66062
O0101261	<i>[Signature]</i>	Date: 2/17/2019
DP44600000 0136		

R186984	RILEY, JACKIE S. REV LIV TRUST	MEADOWRIDGE 2ND PLAT LT 137 OLC 198 1C 137
Within 200ft -		014062 S MULLEN ST, OLATHE, KS 66062
O0128796	<i>[Signature]</i>	Date: 2-18-19
DP44600000 0137		

R186985	NEWBY, JEFF NEWBY, CINDY	MEADOWRIDGE 2ND PLAT LT 138 OLC 198 1C 138
Within 200ft -		014052 S MULLEN ST, OLATHE, KS 66062
O0113356		Date:
DP44600000 0138		

R186986	PEREZ, PEDRO GRACIA	MEADOWRIDGE 2ND PLAT LT 139 OLC 198 1C 139
Within 200ft -		014425 W 139TH TER, OLATHE, KS 66062
O0211554	<i>[Signature]</i>	Date: 2-18-19
DP44600000 0139		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
 REQUEST THAT THE CITY OF OLATHE PLANNING COMMISSION AND CITY COUNCIL DENY SPECIAL USE PERMIT REQUEST SU18-009 to
 build a funeral home in agricultural zoned Oak Lawn Memorial Gardens Cemetery, located at 13901 S Blackbob Road, Olathe, KS
 66062

Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R186987	SANTANA, JORGE	MEADOWRIDGE 2ND PLAT LT 140 OLC 198 1C 140
Within 200ft -		014429 W 139TH TER, OLATHE, KS 66062
O0049316	<i>[Signature]</i>	Date: <i>2/18/19</i>
DP44600000 0140		

R186988	ROTT, JEREMY A. ROTT, MICAH J.	MEADOWRIDGE 2ND PLAT LT 141 OLC 198 1C 141
Within 200ft -		014435 W 139TH TER, OLATHE, KS 66062
O0222503	<i>[Signature]</i>	Date: <i>2-19-2019</i>
DP44600000 0141		

R186989	DAVID KP LOO TOOK Y. MING	MEADOWRIDGE 2ND PLAT LT 142 OLC 198 1C 142
Within 200ft -		014439 W 139TH TER, OLATHE, KS 66062
O222504	<i>[Signature]</i>	Date: <i>2/13/19</i>
DP44600000 0142		

R186990	CARLSON, PHILLIP D. CARLSON, CHRISTEN E.	MEADOWRIDGE 2ND PLAT LT 143 OLC 198 1C 143
Within 200ft -		014449 W 139TH TER, OLATHE, KS 66062
O00178053		Date:
DP44600000 0143		

R186991	SUDDOCK, DAVID R. SUDDOCK, JANET J.	MEADOWRIDGE 2ND PLAT LT 144 OLC 198 1C 144
Within 200ft -		014459 W 139TH TER, OLATHE, KS 66062
O222505	<i>[Signature]</i>	Date: <i>2/18/19</i>
DP44600000 0144		

PETITION TO BLOCK COMMERCIAL DEVELOPMENT ADJACENT TO THE MEADOWRIDGE SUBDIVISION
 REQUEST THAT THE CITY OF OLATHE PLANNING COMMISSION AND CITY COUNCIL DENY SPECIAL USE PERMIT REQUEST SU18-009 to
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Quick Ref ID	Owner(s)	Legal Description (abbrev.)
Within 200 ft of Oak Lawn		Address
Owner ID	<signature(s)>	Date:
Re Tax ID		

R186992	PITTMAN, DIRK PITTMAN, DEANNA	MEADOWRIDGE 2ND PLAT LT 145 OLC 198 1C 145
Within 200ft -	<i>moving for sale</i>	014463 W 139TH TER, OLATHE, KS 66062
O222506		Date:
DP44600000 0145		

R186993	CHUNG, TED TSZ FU CHUNG, CONNIE WONG	MEADOWRIDGE 2ND PLAT LT 146 OLC 198 1C 146
Within 200ft -		014467 W 139TH TER, OLATHE, KS 66062
O222507		Date:
DP44600000 0146		

R186994	ANDERSON, MARK A	MEADOWRIDGE 2ND PLAT LT 147 OLC 198 1C 147
Within 200ft - YES		014055 S ALCAN ST, OLATHE, KS 66062
O0333943		Date:
DP44600000 0147		

R186994	ANDERSON, DELISCHA L	MEADOWRIDGE 2ND PLAT LT 147 OLC 198 1C 147
Within 200ft - YES		014055 S ALCAN ST, OLATHE, KS 66062
O0333944		Date:
DP44600000 0147		

Neighborhood Interact Meeting Summary

Neighborhood Interact Meeting – Oak Lawn Memorial Cemetery – Special Use Permit Application (Case No SU18-0009)

Date/Time: Thursday, January 24th, 2019; 6:30 p.m.

Location: - Church of the Harvest, 14841 S. Blackbob Road, Olathe, KS

Attendees: See attached Log-in Sheet

The meeting began at 6:30 pm, at the Church of the Harvest, South Auditorium located at 14841 S. Blackbob Road. Approximately 50 members of the public were in attendance and a signup sheet was setup at the entrance and everyone in attendance was encouraged to sign-in. The meeting lasted approximately 2 hours.

Jeff Skidmore, with Schlagel & Associates Engineers opened the meeting with a brief description of the notification process and informed that the original planning commission date of February 11th and been altered and the new planning commission hearing would now be on February 25th. The attendees were also informed that any property owners with 200 feet of the subject property would be notified of the February 25th hearing by certified mail notice sometime early in February. The project was presented to the attendees with the plan submittals of the overall site plan, the enlarged site plan, the landscape plan, the floor plan and the color building elevations. Jeff Skidmore presented the project in terms of the site development and Rick Kuhl of WSKF Architects presented the project in terms of the building floor plan and building architecture. Upon completion of presenting the project, the floor was opened up for discussion/questions from the audience.

The following is a brief summary of the open discussions/questions/responses that occurred during the interact meeting.

- A resident from the East side of the project ask for a clarification in terms of the building elevations as to what was the elevations that she would see upon completion of the project. It was clarified by Rick Kuhl with reference to the east elevation of the building elevations.
- It was asked why build this facility in the existing cemetery at this time. It was clarified by a member of the McGilley Funeral Home team that this was an opportunity for them to expand the business and better serve their customers and the area.
- It was asked if the current owners had cut back maintenance on the existing cemetery over the past several years and noted that some of the areas were not well maintained. It was clarified that maintenance had not been reduced and mowing and regular maintenance occurs generally on a 2 week schedule at the facility.
- It was noted that the although property owners within 500 feet were to be notified, that the homes associations adjacent to development had not been notified. The homes association adjacent to the development was listed in the 500 foot property owners and was included on the mailing list.

- The issues with the storm water runoff was asked in regards to how the storm water would be handled. It was clarified that a preliminary storm water study had been submitted for review with the preliminary development plan. It was clarified that that drainage from the Eastern watershed would be ultimately routed thru the existing detention pond in the adjacent subdivision to the south. In reviewing the storm water design of the adjacent subdivision, it was clarified that the original design accounted for approximately 30% impervious area for the development within the cemetery. It was also clarified that the current development plan only incorporates approximately 12% impervious area into the overall plan.
- It was issue with the adjacent subdivision to the south that the maintenance and upkeep of the pond is part of the Homes Association responsibilities and asked if the owner/developers would consider making a contribution to that upkeep, possibly on a yearly basis. It was clarified that this would be a consideration if the project receives approval and moves forward.
- It was asked if the was a “done deal” and has this already been approved. It was clarified that this was just the first step in seeking planning/permit approvals. The neighborhood meeting was an informational process to make them aware of this project in the early stages, prior to any planning commission or city council hearings.
- It was asked if the owners had any other funeral homes in the Olathe Area. It was clarified that they have an older facility in downtown Olathe.
- It was asked if that facility would close with the opening of this new facility. It was clarified from the owners that no decisions have been made in terms of maintaining that facility along with the new facility or whether that facility would close in the future.
- It was asked about the life expectancy of the existing cemetery. It was clarified that there are many factors involved in determining that, but typically cemeteries have a life expectancy of 100 years before they are full.
- It was asked if there would be a crematorium incorporated into the development of this project. It was clarified that a crematorium is not intended to be part of this project. The building is only for funeral/chapel services
- It was asked if their other facility closed, would they be moving the crematorium services to this facility. It was clarified that there were no plans for that to occur for this new facility.
- Concerns were expressed that the addition of the funeral home and associated parking and infrastructure would bring people into the area and encourage additional access to the rear of the existing detention pond that serves the subdivision and overall watershed. It was emphasized that the detention pond is a private facility for the use of the neighborhood and homes association.
- A brief summary of good principles and planning practices was presented from the Olathe Unified Development Ordinance by one of the attendees with emphasis on good planning practices being followed to protect neighbors and neighborhoods adjacent to development area. It was noted that the residents did not feel like good planning practices were being implemented into this

plan and there was not good community outreach in terms of the planned project.

- It was asked if there were concerns for increased traffic along Blackbob Road and if a traffic signal was being considered at the entrance to the project. It was clarified that a traffic signal was not being required with the development of this project and also clarified that funeral homes and cemeteries are not typically considered high impact traffic generators in terms of the Institute of Traffic Engineers traffic count manuals due to the fact that most services at these facilities occur outside of the a.m and p.m. peak hours of 7:00-9:00 a.m and 4:00-6:00 p.m.
- It was stated that an attendee felt that the initial storm water analysis was flawed, without any clarification or confirmation as to why. It was clarified that the preliminary storm water review and been submitted with the preliminary development plan process and any review from the City of Olathe would have to be satisfactorily addressed prior to proceeding with and permitting of the project.
- It was asked if area lighting was planned for the exterior of the project. It was clarified that that area lighting would be incorporated into the development of the project. The lighting would have be in compliance with City of Olathe Lighting Standards, which includes cut-off light fixtures (lights up inside the fixtures) and less than 0.5 footcandles at the adjacent property lines. It was also clarified that even though a photo-metric plan is not required until the final development plan process, we have initiated that plan now and intend on submitting that plan as part of the preliminary development plan process.
- Mark McGilley, as owner of McGilley Funeral Homes introduced himself and gave a brief history of their business and operations.
- An attendee asked Mr. McGilley when the last time he had been to the cemetery. Mr. McGilley confirmed that he had been at the site earlier that day. It was asked if he had seen the open dumpster at the northeast corner of the property. Mr. McGilley confirmed he had not seen it. It was clarified that the city planning staff has required in their review that the existing dumpster be implemented into the proposed screen area near the northeast corner of the property and the landscape plan was referenced.
- It was asked if the building would be “roughed-in” or framed with the intent to install a crematorium in the future. The floor plan was referenced to indicate that no crematorium is planned for this facility.
- It was asked by that a representative of the funeral home define the processes that would occur as far as body delivery, drop-off, funerals services, etc. The process was defined with the aid of the site plan and building floor plan in reference to circulation thru the proposed project and where the deliveries will be made to the proposed facility.
- It was asked if there was additional landscaping being added to the south side. It was clarified that landscaping was being added adjacent to the building and the landscape plan was referenced. Additional landscaping along the site perimeter would also be considered as part of the plan revisions to address additional buffer concerns that have been brought up tonight.

- It was asked if there would be more funerals with the development of the property. It was clarified that it would be their intent to have funeral services here if the facility is built and would give them an additional location for services.
- It was asked if the owners would consider purchasing property along Santa Fe to develop a funeral home. It was clarified that they did not have any intent of purchasing property along Santa Fe and had not explored that option in regards to expanding their services in the area.
- It was asked to clarify what would be done with the existing facility in downtown Olathe, if this project is constructed. It was clarified that there were no immediate plans for the existing facility and it would continue to operate as it does today.
- It was asked if anyone with the City of Olathe was aware that the downtown facility may be closed with the development of this project. It was clarified that there were no immediate plans for the existing facility and it would continue to operate as it does today.
- The name of the facility was asked. It was confirmed that it would be a McGilley funeral home facility
- It was asked who makes the ultimate decision as far as the approval of this plan and facility. The planning process was clarified that the submittals are directed through the City Planning Staff. The City Planning Staff will review the application in terms of meeting the Unified Development Ordinance and make a staff report and recommendation to the Planning Commission. The Planning Commission will make a recommendation of approval or denial that will be considered by the Mayor and City Council. The Mayor and City Council will have the final decision and approval/denial of the project.
- It was asked if noise would be an issue. It was clarified that all projects have to be developed with considerations for noise ordinances. It was also clarified that we wouldn't anticipate this facility being a large noise generator. The only mechanical equipment planned would be outdoor air-conditioning condensing units, similar to what would be found in a residential neighborhood. Those condensing units are preliminarily planned to be screened via a small screen wall of the building.
- A property owner on the north end of one of the cul-de-sacs to the south of the property expressed concerns of windows facing to the north that would see this facility and felt that the development of this project would greatly affect the values of his property. Also expressed concerns with existing drainage conditions adjacent to his property and asked for additional considerations in regards to both drainage and buffer adjacent to this property.
- It was asked if any council members were notified about the meeting and Marge Vogt was in attendance and introduced. Ms. Vogt made a brief statement about the process and thanked everyone for their attendance and input on the project.
- The cost of the project was asked of the owners. The owners were reluctant to release the overall cost of the project at this time due to the preliminary nature of the process but did confirm that it would be in excess of 1 million dollars. It was further asked if any of the funds were allocated

toward compensating the adjacent neighborhoods. It was not clarified or established in the overall budget due to the early nature of the project.

- It was asked if any tax incentives or tax abatements were being sought in conjunction with this development. It was confirmed that the project would be privately funded and not tax incentives were being sought.
- It was asked how a commercial entity, such as this could existing in an Agricultural (AG) zoning. It was clarified that funeral homes and cemeteries are allowed by the Olathe Unified Development Ordinance in Agricultural zoning district by way of a Special Use Permit, which is the process and application this is currently under consideration.
- There were concerns about the rear of the property and the eastern portion of the building. It was expressed to the owner/developers not to neglect the back portion of the project and not to let the rear of the property to deteriorate into disrepair.
- It was asked what the typical business hours be. It was clarified that typically someone would be at the facility for normal business hours, approximately 8:00 a.m. and be at the facility, if services are occurring in the evening until 8:00-9:00 p.m.
- It was again asked what the ultimate valuation of the project would be upon completion. It was clarified that the project would be in the 1.8 million-2.0 million dollar range.
- The owners were asked about how they feel about geese. It was confirmed and all in attendance agreed that geese can be a nuisance to both recreation water areas and cemeteries.
- It was asked if the cemetery gates would be closed at night. It was confirmed that gates would be closed after hours if the project is developed. It was clarified that in the summer those hours would typically be at dark or around 8:30-9:00 p.m.
- It was asked if security cameras would be implemented into the development of the project and if they area, it was asked that the adjacent neighbors be considered in regards to the extent and capacity of those cameras. It was clarified that, we are only at the preliminary plans stage at this time and decisions on security of the facility have not been made at this time.
- There was a concern over the ability of the facility to be developed as planned now and then expanded in the future with additional building square footage and additional parking areas. It was clarified that the special use permit is tied to the proposed preliminary plan and if the building expands in the future, the developer will have to go thru a similar process to what they are going through now and see new approvals through the planning commission and city council.
- It was asked if any trees would be removed with the development of the project. The landscape plan was referenced and it was clarified that 2 or 3 trees were planned to be removed that were in conflict with the proposed drives. The majority of the mature trees throughout the site are to remain.
- It was asked if any grave site will have to be relocated. It was confirmed that no grave sites would need to be relocated.
- Concerns over the existing roads and deterioration of those roads during construction was mentioned. Although we are only at preliminary plan

approvals considerations for the existing roads will have to be implemented into the final construction plans for the facility. Near the end of construction, the condition of the private drives will need to be evaluated and some maintenance and removal/replacement is likely to be incorporated into the final acceptance of the project. The private drives will also need to meet the City of Olathe Fire Department requirements as a condition of our Special Use Permit Requirements.

- It was asked if smoking areas would be incorporated into the project. It was emphasized that we are still at the preliminary design phase of the project but designated smoking areas will need to be incorporated into the project later on in the design process
- It was asked if any green infrastructure or LEED considerations would be implemented into the project. It is currently too early in the preliminary design process and determining whether those will be implemented into the project has not been determined yet.
- It was asked if any sign would be included with the re-development. It was clarified that the existing sign would only be modified to accommodate the name change of the facility.
- It was asked how tall the building would be. The building elevations were referenced and the building height was clarified at approximately 28'
- A question was raised in regards to the site plan and the callout for the "FUTURE LOT LINE" that is called out on the site plan. It was clarified that the interior "tear-drop" area of the project would be re-platted with the development of the property to consolidate just the building area the funeral home. It was asked what the zoning of the future lot would be and it was clarified that it would remain AG with a Special Use Permit. It was further clarified that the re-platting had nothing to do with the zoning of the property. It was clarified that there were no immediate plans for the existing facility and it would continue to operate as it does today.

With no additional questions, the attendees were thanked for their interest and participation in this process and the meeting time for the February 25th Planning Commission was re-iterated to the attendees. Attendees were also informed that the staff report and agenda would typically be available on-line at the City of Olathe's website (www.olatheks.org) approximately 3-4 days ahead of the Planning Commission date. The meeting closed at approximately 8:15 p.m. among several additional discussions and clarifications amongst the attendees and representatives of the development team

Respectfully submitted

A handwritten signature in blue ink, appearing to read "Jeffrey T. Skidmore".

Jeffrey T. Skidmore, P.E.
Schlagel and Associates