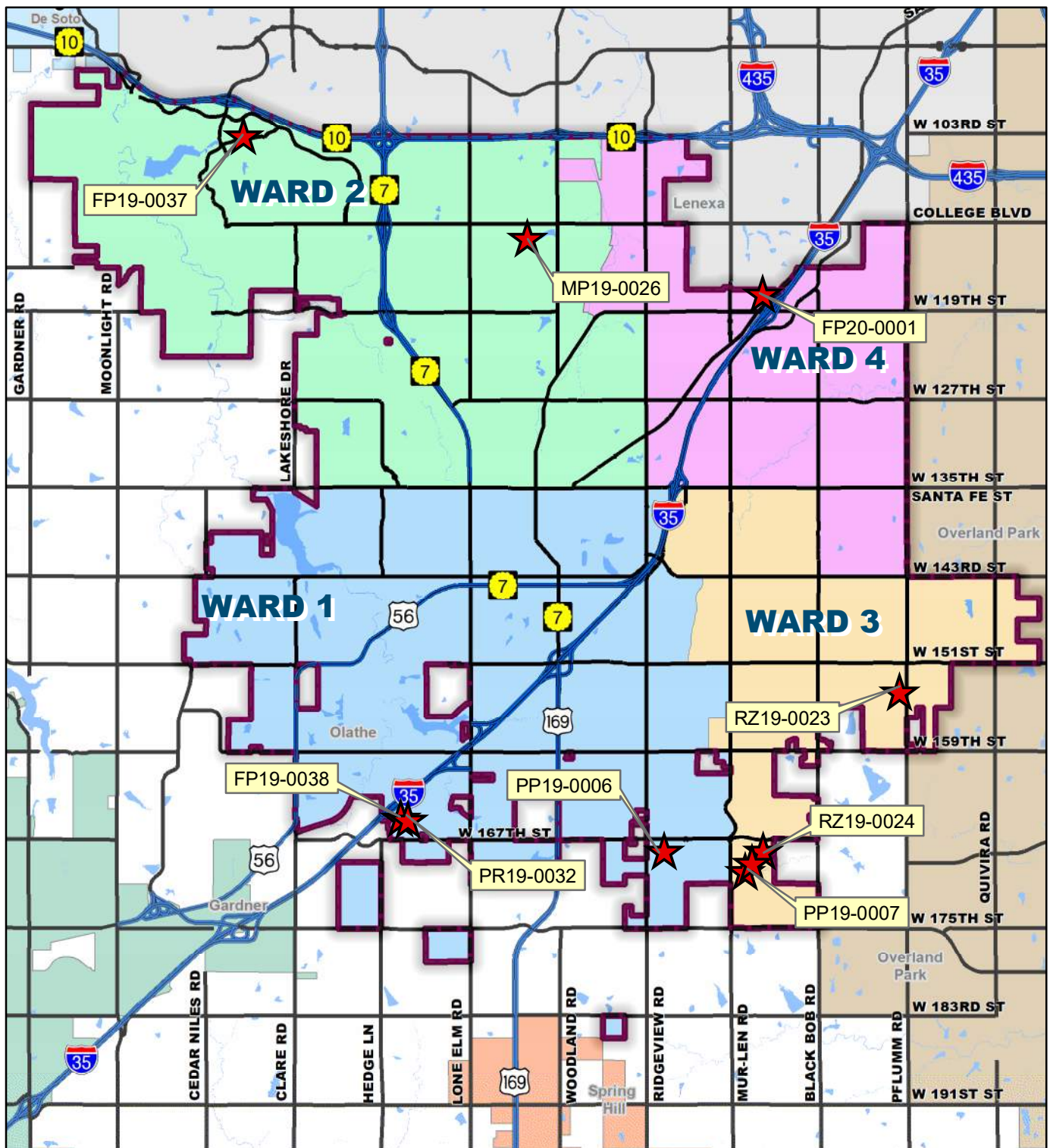


# FEBRUARY 24, 2020

## OLATHE PLANNING COMMISSION

### CASE LOCATIONS



User: jaredmd  
Date: 02/19/2020





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**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**QUORUM ACKNOWLEDGEMENT**

**CONSENT AGENDA**

- A. **MN20-0127:** Standing approval of the minutes as written from the January 27, 2020 Planning Commission meeting.
- B. **MP19-0026:** Request approval for a minor plat for **College Meadows, Sixth Plat** containing one (1) common tract on 0.23 acres  $\pm$ ; located at 11229 S. Race Street.  
Owner / Applicant: Ron VanLerberg, PLK Development  
Engineer: Jerald Pruitt; Pruitt and Dooley Surveying Company
- C. **PP19-0006:** Request approval for a revised preliminary plat for **Stonebridge Meadows** containing 117 lots and seven (7) common tracts on 41.6 $\pm$  acres; located south of W. 167th Street, east of Ridgeview Road & west of Lindenwood Drive.  
Owner/Applicant: Brian Rodrock, Stonebridge Land & Cattle, LLC  
Engineer: Harold Phelps, Phelps Engineering, Inc.
- D. **PP19-0007:** Request approval for a revised preliminary plat for **Stonebridge Villas** containing 115 lots and seven (7) common tracts on 44.24 $\pm$  acres; located south of W.169th Place, east of Mur-Len Road.  
Owner/Applicant: Brian Rodrock, Stonebridge Land & Cattle, LLC  
Engineer: Harold Phelps, Phelps Engineering, Inc.
- E. **FP19-0037:** Request approval for a final plat for **Cedar Creek Business Park, Campus F** containing one (1) lot on 1.78 $\pm$  acres; located north of the intersection of Hollis Lane and W. 103rd Street.  
Owner/Applicant: Craig Eymann, Eymann & Eymann Investments, LLC.  
Engineer: Daniel Foster, Schlagel & Associates, P.A.
- F. **PR19-0032:** Request approval for a revised preliminary site development plan for **Lone Elm Commerce Center** on 122.5 $\pm$  acres; located in the vicinity of W. 167th Street and Lone Elm Road.  
Owner: Hal Wenzel II, BHJ Holdings LLC  
Applicant: Rob Sangdahl, Lineage Logistics  
Engineer: Judd Claussen, Phelps Engineering, Inc

- G. FP19-0038:** Request approval for a final plat for **Lone Elm Commerce Center, Third Plat** containing one (1) lot and one (1) common tract on 60.4± acres; located in the vicinity of W. 167th Street and Lone Elm Road.  
Owner: Hal Wenzel II, BHJ Holdings LLC  
Applicant: Rob Sangdahl, Lineage Logistics  
Engineer: Judd Claussen, Phelps Engineering, Inc
- H. FP20-0001:** Request approval for a final plat for **BSM Business Center Final Plat** containing four (4) lots and one (1) common tract on 17.35± acres; located along the west side of S. Kansas City Road, north of 119th Street.  
Owner: Clay Blair, Prime Development  
Applicant: Brandon Becker, Builders Stone & Masonry, Inc.  
Engineer: Daniel Foster, Schlager & Associates, P.A.

## REGULAR AGENDA-NEW BUSINESS

### A. PUBLIC HEARING

**RZ19-0023:** Request approval for a rezoning from BP (Business Park) to C-2 (Community Center), for **Chinmaya Mission** containing one (1) lot on 16.13± acres; located along the west side of Pflumm Road at 155th Street.

*Staff has requested a continuance to a future Planning Commission Meeting.*

Owner: Dwight Beachboard, Rew Kansas Properties  
Applicant: Rajasree Prakash, Chinmaya Mission  
Engineer: Murali Ramaswami

### B. PUBLIC HEARING

**RZ19-0024:** Request approval for a rezoning from R-1 District to R-3 District and a preliminary site development plan for **Stonebridge Courts** on 27.65± acres; located south of 167th Street, west of future Brougham Drive.

Owner/Applicant: Brian Rodrock, Stonebridge Land & Cattle, LLC  
Engineer: Harold Phelps, Phelps Engineering, Inc.

## ANNOUNCEMENTS

## ADJOURNMENT

The City of Olathe offers public meeting accommodations. Olathe City Hall is wheelchair accessible. Assistive listening devices as well as iPads with closed captioning are available at each meeting. To request an ASL interpreter, or other accommodations, please contact the City Clerk's office at 913-971-8521. Two (2) business days notice is required to ensure availability.



Planning Division

## **MINUTES – Opening Remarks**

**Planning Commission Meeting: January 27, 2020**

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The Planning Commission convened at 7:00 p.m. to meet in regular session with Chairman Dean Vakas presiding. Commissioners Ryan Freeman, Jeremy Fry, Ryan Nelson, Marcia Youker, Chip Corcoran and Taylor Breen were present. Commissioner Shirley Allenbrand and Barry Sutherland were absent.

*Recited Pledge of Allegiance.*

The Chair made introductory comments. Regarding *ex parte* communication, the Chair requested that if a commissioner had something to report, they specify the nature of the *ex parte* communication when item is reached in the agenda.

A motion to approve MN20-0113, the meeting minutes from January 13, 2020, was made by Comm. Corcoran and seconded by Comm. Fry and passed with a vote of 7-0.





Planning Division

## MINUTES

### Planning Commission Meeting: January 27, 2020

<b>Application:</b>	<b>PR19-0013:</b> Request approval for a preliminary site development plan for <b>Olathe Fire Training Center</b> on 22.06± acres; at 1100 N Hedge Lane.
---------------------	--

*A motion to approve PR19-0013 on the Consent Agenda was by Comm. Corcoran and seconded by Comm. Fry, and passed with a vote of 7 to 0 with the following stipulations:*

- 1. A final site development plan must be approved prior to issuance of a building permit.*
- 2. A final plat must be approved and recorded prior to issuance of a building permit.*



Planning Division

## MINUTES

### Planning Commission Meeting: January 27, 2020

<b>Application:</b>	<b>MP19-0025:</b> Request approval for a minor final plat for <b>The Landings at Stone Creek</b> containing three (3) lots on 0.22± acres; located in the vicinity of 124 <sup>th</sup> Street and South Prairie Creek Road.
---------------------	--

*A motion to approve MP19-0025 on the Consent Agenda was made by Comm. Corcoran and seconded by Comm. Fry, and passed with a vote of 7 to 0 with the following stipulations:*

- 1. Sidewalks must be constructed on both sides of all public and private streets.*
- 2. The developer is responsible for planting street trees, subject to UDO 18.30.130.G at the completion of each phase of the development.*
- 3. All above ground electrical and/or telephone cabinets must be placed within the interior side or rear building setback yards. However, such utility cabinets may be permitted within front or corner side yards adjacent to street right-of-way if cabinets are screen with landscape materials.*



Planning Division

## MINUTES

Planning Commission Meeting: January 27, 2020

<b>Application:</b>	<b>FP19-0036:</b> Request approval for a final plat for <b>Townhomes at Fairfield Village, 51<sup>st</sup> Plat</b> containing nine (9) lots and one (1) common tract on 0.92± acres; located in the vicinity of W 167 <sup>th</sup> Terrace and Kimble Street
---------------------	--

*A motion to approve FP19-0036 on the Consent Agenda was made by Comm. Corcoran and seconded by Comm. Fry, and passed with a vote of 7 to 0 with the following stipulations*

:

- 1. Sidewalks will be constructed on both sides of all public and private streets and drives.*
- 2. The developer is responsible for planting street trees, subject to UDO 18.30.130 G.*
- 3. All above ground electrical and/or telephone cabinets must be placed within the interior side or rear building setback yards. However, such utility cabinets may be permitted within front or corner side yards adjacent to street right-of-way if cabinets are screened with landscape materials.*



Planning Division

## MINUTES – Other Matters

### **Planning Commission Meeting: January 27, 2020**

**Chair Vakas** stated that the next Planning Commission is scheduled for Monday, February 10, 2020.

There were no other announcements.

*Meeting adjourned.*

## STAFF REPORT

**Planning Commission Meeting: February 24, 2020**

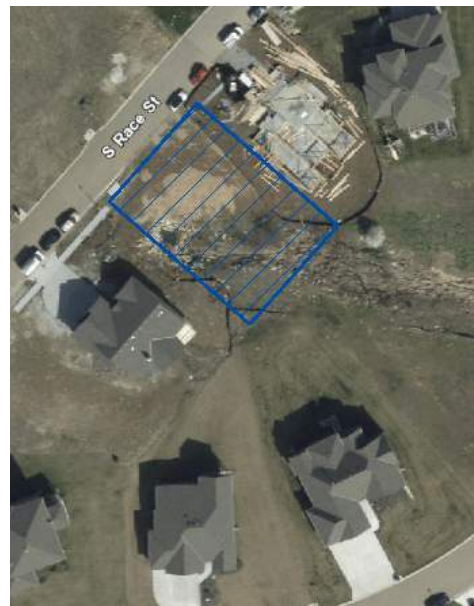
<b>Application:</b>	<b>MP19-0026, Minor Plat, College Meadows, Sixth Plat</b>
<b>Location:</b>	11229 South Race Street
<b>Owner/Applicant:</b>	Ronald VanLerberg, PLK Development, Inc.
<b>Engineer:</b>	Jerald W. Pruitt and Dooley Surveying, LLC
<b>Staff Contact:</b>	Andrea Fair, Planning Intern
<b>Site Area:</b> <u>0.23± Acres</u> <b>Proposed Use:</b> <u>Private Open Space</u>	
<b>Lots:</b> <u>0</u> <b>Current Zoning:</b> <u>RP-1</u>	
<b>Tracts:</b> <u>1</u>	

### 1. Comments:

This is a request for approval of a minor plat for College Meadows, Sixth Plat (a replat of Lot 55) on 0.23± acres located at 11229 South Race Street. The applicant is requesting the subject property be replatted from an existing lot (Lot 55) into a tract (Tract "P"). The subject property cannot be built upon due to existing wetlands that extend through the property.



*Southeast view from Race St.*



*Site Aerial*



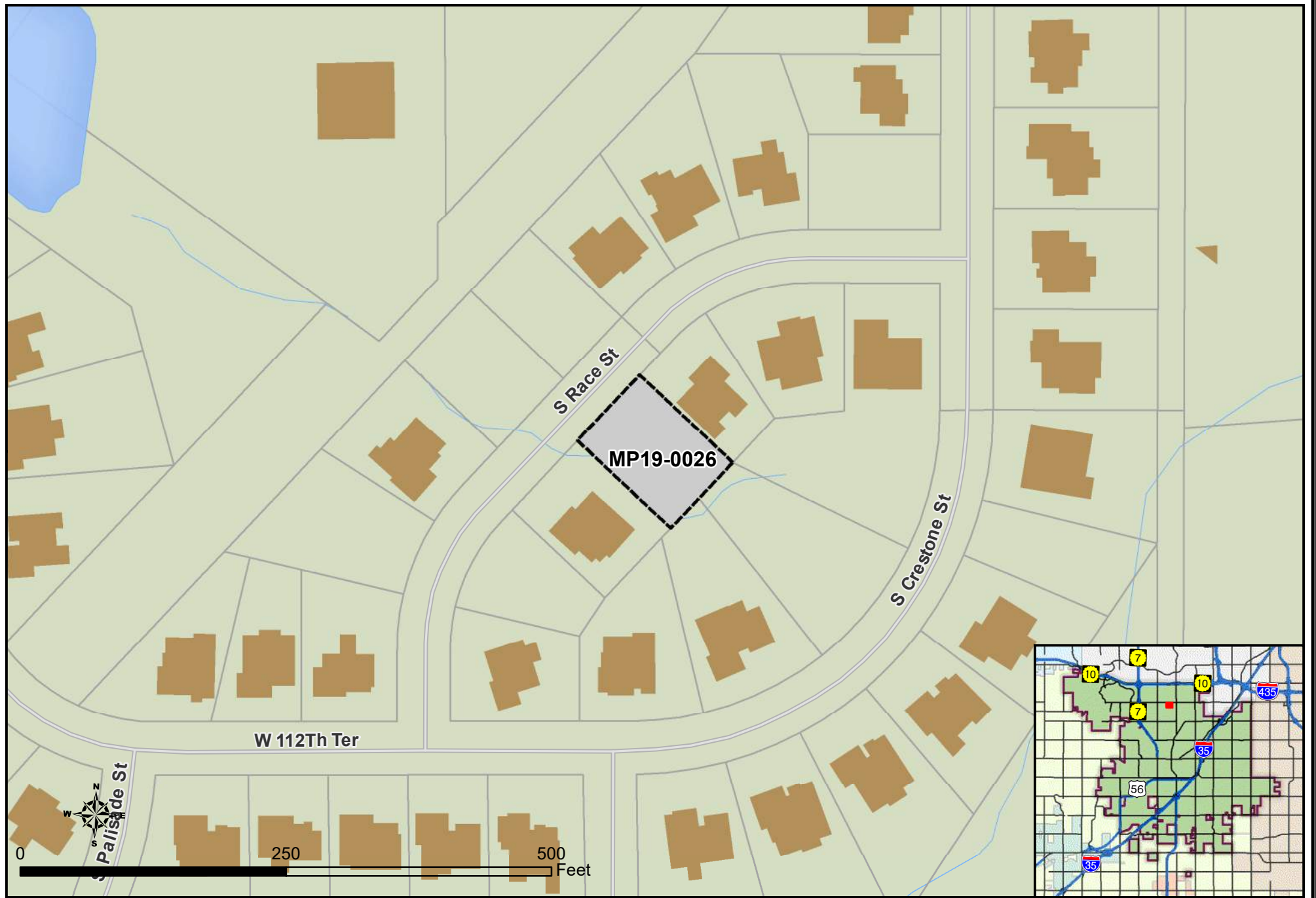
**2. Plat Review:**

- a. **Lots/Tracts** – The replat includes no lots and one tract. The tract will be owned and maintained by the College Meadows Home Association. The sidewalk will need to be constructed and street trees will need to be planted prior to recording of the minor plat.
- b. **Public Utilities** – The property is located within the WaterOne and Johnson County Wastewater service area. All public facilities and utilities were installed for the original plat.
- c. **Streets/Right-of-Way** – The subject property can be accessed via Race Street. No additional street right-of-way will be dedicated with the minor plat.

**3. Staff Recommendation:**

Staff recommends approval of MP19-0026 with the following stipulations:

1. Label the book and page number of all easements previously dedicated on the subject property prior to recording of the minor plat.
2. A five-foot wide concrete sidewalk will be constructed prior to recording of the minor plat.
3. The required street trees per UDO Section 18.30.130.G must be planted prior to recording of the minor plat.

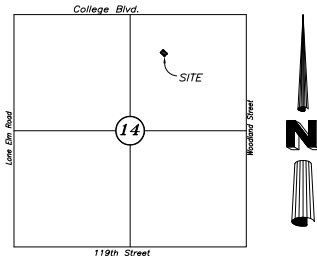


User: jaredmd  
Date: 02/04/2020

# COLLEGE MEADOWS, SIXTH PLAT MP19-0026



MINOR PLAT OF  
**COLLEGE MEADOWS, FIFTH PLAT**  
A Replat of Lot 55, COLLEGE MEADOWS, a subdivision  
in the Northeast 1/4 of Section 14, Township 13 South, Range 23 East,  
in the City of Olathe, Johnson County, Kansas



**LOCATION MAP**  
SEC. 14-13-23  
Scale 1"= 2000'

**DESCRIPTION:**  
All of Lot 55, COLLEGE MEADOWS THIRD PLAT, a subdivision of land in the City of Olathe, Johnson County, Kansas, according to the College Meadows Third Plat filed in Book 201404 at Page 004408.

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat which hereinafter shall be known as "COLLEGE MEADOWS, SIXTH PLAT".

**DEDICATION**

Tract "P", as shown hereon will be owned and maintained by the College Meadows Homes Association. This tract is intended to be used as private open space and common area and may include landscaping, fencing, subdivision monuments, storm water detention and amenities.

**RESTRICTIONS**

All lots, parcels, tracts and properties in this subdivision shall hereinafter be subject to the Declaration of restrictions for "College Meadows", which instrument is recorded in the Office of the Register of Deeds of Johnson County, Kansas, and which shall hereby become a part of the dedication of this plat as though fully set forth herein.

**EXECUTION**

IN TESTIMONY WHEREOF, PLK DEVELOPMENT, INC., has caused this instrument to be executed by it's President  
this \_\_\_\_ day of \_\_\_\_\_, 2020.

PLK DEVELOPMENT, INC.  
Ronald VanLerberg, President

**ACKNOWLEDGMENT**

STATE OF KANSAS }  
COUNTY OF JOHNSON }

BE IT REMEMBERED that on this \_\_\_\_ day of \_\_\_\_\_, 2020, before me, the undersigned, a Notary Public in and for said County and State, came Ronald VanLerberg, President of PLK Development, Inc., who is personally known to me to be the same person who executed the forgoing instrument of writing on behalf of said Corporation, and said person duly acknowledged the execution of same to be the act and deed of same Corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

NOTARY PUBLIC: \_\_\_\_\_  
Jerald W. Pruitt

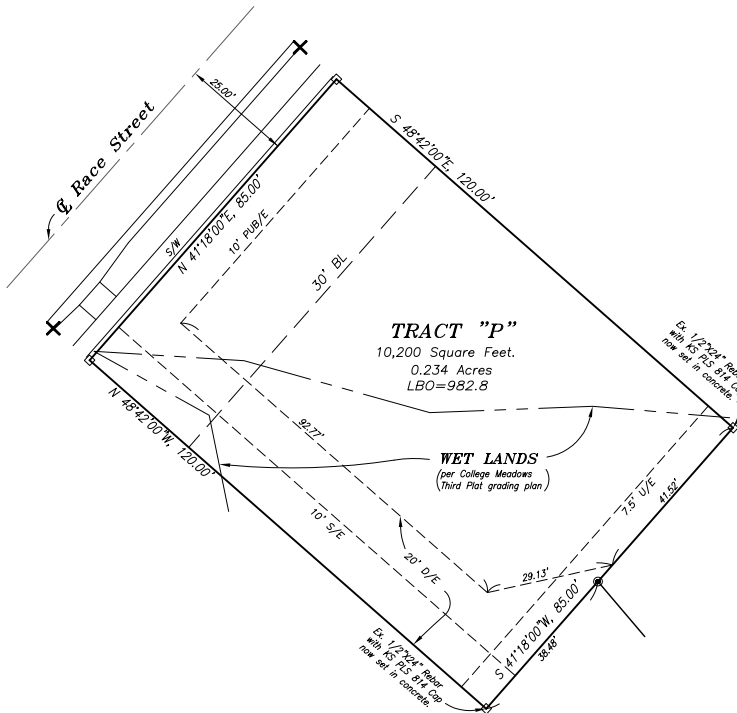
My Appointment Expires: October 29, 2020

**APPROVALS**

APPROVED by the Planning Commission of the City of Olathe, Johnson County, Kansas, this \_\_\_\_ day of \_\_\_\_\_, 2020 .

Chairman: C.S. Vakas

This survey was completed in the field in December, 2019 under my direct supervision, and to the best of my knowledge and belief, this plat correctly portrays the results of the survey of the above described property.  
Jerald W. Pruitt, PS 814  
February



**LEGEND**

- ✕ Indicates Existing Plus Cuts on curb, unless otherwise noted.
- Indicates Existing 1/2" X 24" Rebar with KS PLS 814 Cap.
- Indicates set 1/2" X 24" Rebar with KS PS 814 Cap set in concrete, unless otherwise noted.
- B.L. = Building Line
- D/E = Drainage Easement
- U/E = Utility Easement
- S/W = Proposed Sidewalk
- PUB/E = Public Utility Easement

**SURVEYOR'S NOTES**

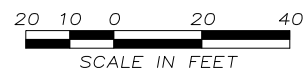
Bearings are based on the COLLEGE MEADOWS THIRD PLAT, subdivision plat, filed in Book 201404 at Page 004408.

The easements shown on this plat were dedicated by the COLLEGE MEADOWS THIRD PLAT, subdivision plat filed in Book 201404 at Page 004408.

The subject property is outside the established flood plain according to the Federal Emergency Management Agency's Flood Map No. 20091C0063 G. Revised map date: August 3, 2009.

DEVELOPER:  
PLK Development, Inc.  
20525 College Blvd.  
Olathe, KS 66061

Scale 1"= 20'



**COLLEGE MEADOWS  
SIXTH PLAT**

N.E. 1/4, Section 14, Township 13 South, Range 23 East  
Olathe, Johnson County, Kansas

**PRUITT and DOOLEY SURVEYING, LLC**

7912 Elm Ave.  
Raytown, MO 64138  
816-699-4239

10777 Barkley, Suite 220-I  
Overland Park, KS 66211  
913-652-9002

Job No. 19-1205, December, 2019, Revised Jan. 25, 2020  
College Meadows Sixth Plat.dwg

1 SHEET  
OF 1

## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b>PP19-0006, Revised Preliminary Plat of Stonebridge Meadows</b>		
<b>Location:</b>	South of W. 167 <sup>th</sup> Street, east of Ridgeview Road & west of Lindenwood Drive		
<b>Owner:</b>	Stonebridge Land & Cattle, LLC		
<b>Engineer:</b>	Harold Phelps; Phelps Engineering, Inc.		
<b>Staff Contact:</b>	Zachary Moore, Planner II		
<b>Site Area:</b>	<u>41.66± acres (total)</u> <u>14.18± acres (east)</u> <u>27.48± acres (west)</u>	<b>Proposed Use:</b>	<u>Single Family Residential</u>
<b>Lots:</b>	<u>117 (total)</u> <u>34 (east)</u> <u>83 (west)</u>	<b>Density:</b>	<u>2.80 units/acre (total)</u> <u>2.39 units/acre (east)</u> <u>3.02 units/acre (west)</u>
<b>Tracts:</b>	<u>7</u>	<b>Existing Zoning:</b>	<u>R-1</u>

### 1. Comments and History:

The following application is a revised preliminary plat for Stonebridge Meadows consisting of 117 single family lots and 7 common tracts on a total of 41.66± acres. The subject property for this preliminary plat is south of W. 167<sup>th</sup> Street between Ridgeview Road to the west and future Lindenwood Drive to the east. The subject property was annexed into the City in 2005 and was subsequently rezoned to the R-1 District (RZ-05-025) with a preliminary plat.

Preliminary plats show the layout of lots, tracts, and location of proposed infrastructure in a subdivision and must be approved prior to a final plat being approved for that subdivision. This is a revised preliminary plat because the site layout and access to Phase 3 have changed from the preliminary plat that was approved in 2005.

### 2. Zoning Requirements:

- Lot Dimensions** – This preliminary plat includes a total of 117 proposed single-family lots and 7 common tracts. The R-1 District has a minimum required lot width of 60 feet and a minimum lot size of 7,200. All proposed lots included in this preliminary plat exceed the minimum lot size as the lots in the proposed subdivision range from 8,358 square feet to approximately 23,114 square feet, with an average lot size of 10,989 square feet.
- Building Height** – The maximum building height for residential buildings in the R-1 District is 2 ½ stories or 35 feet.

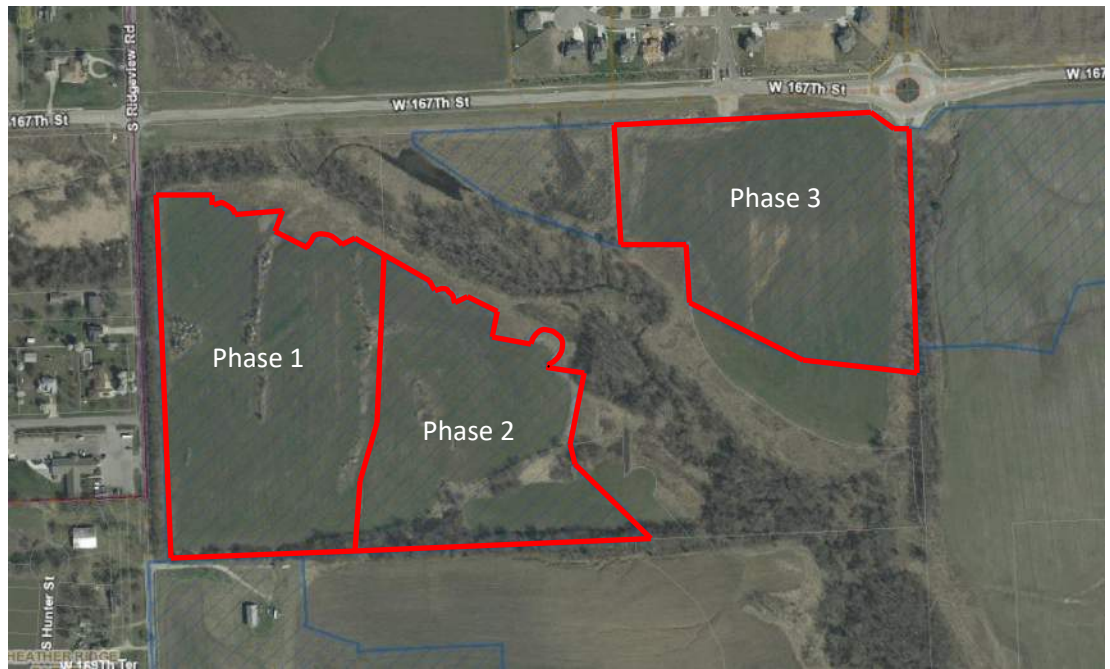
- c. **Setbacks** – The minimum setbacks in the R-1 District are as follows: Front Yard – 30 feet, Side Yard – 7 feet, Corner Side Yard – 20 feet, and Rear Yard – 25 feet. Front yard and corner side yard setbacks are labeled on each lot and notes are included on the preliminary plat to comply with the setback requirements of the R-1 District.

### 3. Development Standards:

- a. **Streets and Right-of-Way** – Phases 1 and 2 of the proposed development (the western side), will have access from S. Ridgeview Road to the west, as well as a future public street connection to the adjacent plat to the south. Phase 3 of the proposed development will have access to W. 167<sup>th</sup> Street to the north. The future Lindenwood Drive, to the east of Phase 3, must be constructed to the SE Corner, N 1/2, NW 1/4, Section 9-14-24, prior to issuance of building permits for any final plats within Phase 3. All streets will meet Unified Development Ordinance (UDO) requirements for public right-of-way and will be dedicated for public use. A minimum 5-foot sidewalk is provided by the applicant on one side of all local streets.
- b. **Landscaping and Tree Preservation** – The applicant is providing the minimum required 25-foot landscape tracts along Ridgeview Road to the west and 35-foot tracts along 167<sup>th</sup> Street to the north. A street tree plan has been provided showing the required street trees along local streets per UDO requirements. A 15-foot wide Tree Preservation Easement (TP/E) is provided along the southern plat boundary at the rear of Lots 47-57. None of the existing trees within the Stream Corridor area which bisects the proposed development will be impacted. A Master Landscape / Screening Plan has been provided identifying areas where vegetation will be provided and areas where vegetation will be preserved throughout the property.
- c. **Stormwater/Detention** – The subject property is subject to condemnation for a regional detention facility, Ordinance number 19-83, which may impact the boundaries of the proposed development on the south side of the subject property. A stipulation has been added to the recommendation, that if the condemnation is completed, then a revised preliminary plat reflecting the legal description of the property identified in the condemnation case must be approved by the Planning Commission prior to submittal of a final plat application. If the regional detention facility does not get constructed, for any reason, then on-site detention must be provided, compliant with Olathe Municipal Code, Title 17.
- d. **Public Utilities** – The subject property is located in the WaterOne and Johnson County Wastewater service areas. The preliminary plat identifies the proposed location of water, storm sewer, and sanitary sewer lines throughout the proposed subdivision, and their off-site connections.
- e. **Fire Access** – The International Fire Code allows a maximum of 30 single-family dwelling units that may take access from one access point. Phase 2 of the preliminary plat includes 36 lots that will only have one access point for Fire protection purposes, at 168<sup>th</sup> Terrace. A stipulation has been included with staff's recommendation that the final plat submitted for Phase 2 must show a design for access east of the portion of South Lawson Street that is south of 168<sup>th</sup> Terrace, that has been approved by the City's Fire Department, Public Works Department, and Planning Division.

Phase 3 of the proposed development, at the southwest corner of the intersection of 167<sup>th</sup> Street and future Lindenwood Drive has 34 proposed lots, and a raised median dividing the entryway to the subdivision was provided to address the Fire access requirements.





*Aerial view of subject property and proposed phases*



*View of subject property looking southwest from 167<sup>th</sup> Street*

#### **4. Neighborhood Meeting:**

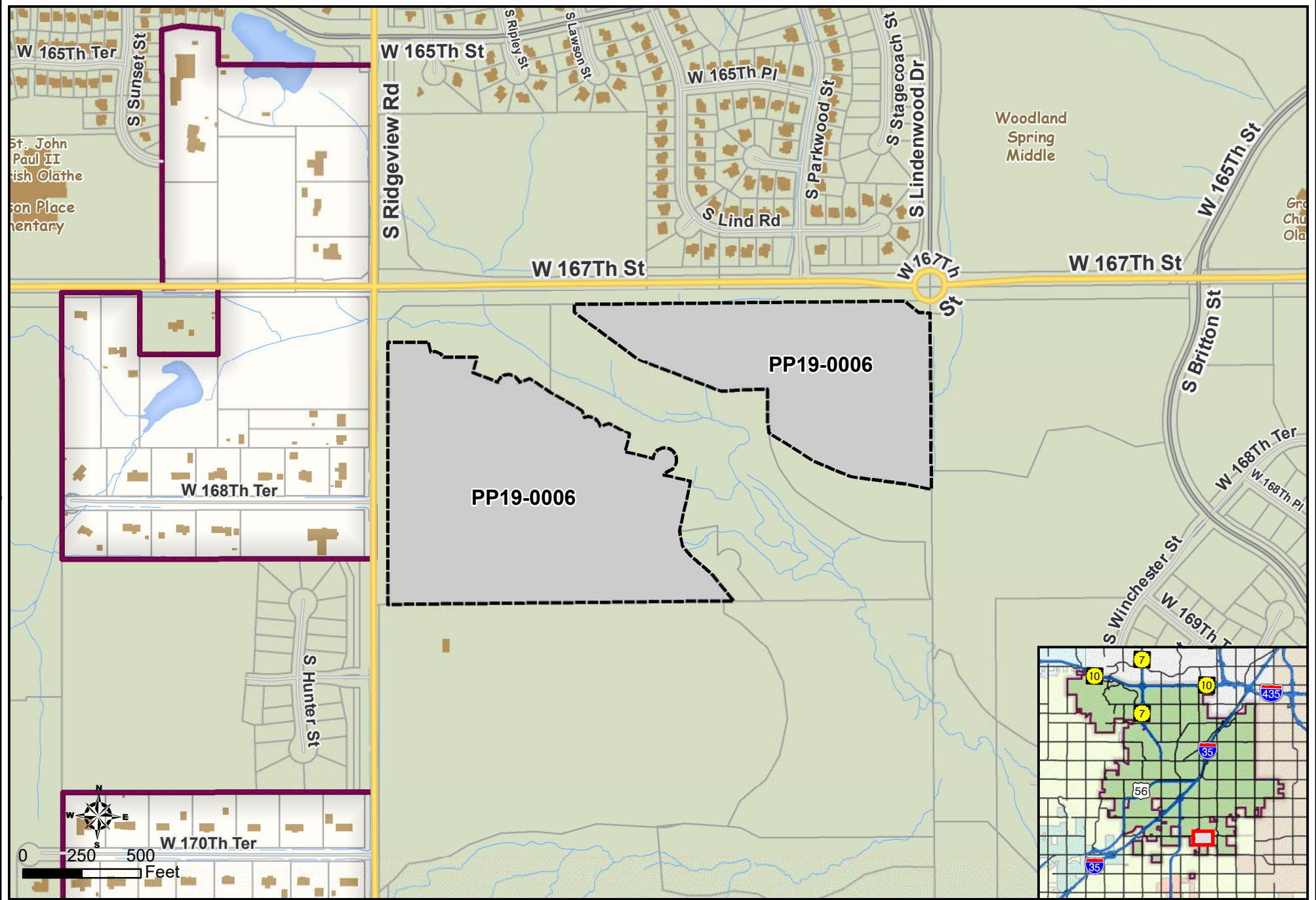
The applicant held a neighborhood meeting on January 28, 2020 that one (1) resident attended (see attached minutes). The resident asked the applicant questions regarding the timing of the proposed development, anticipated home values, and the proposed regional stormwater detention facility. Each of the questions presented was addressed by the applicant, and a copy of the meeting minutes is provided in this packet.

Staff has not received any phone calls or other correspondence from members of the general public regarding this revised preliminary plat.

**5. Staff Recommendation:**

Staff recommends approval of PP19-0006 with the following stipulations:

1. A final plat must be approved and recorded prior to issuance of building permits.
2. A floodplain development permit application must be approved prior to recording a final plat.
3. The property is subject to condemnation Ordinance number 19-83, which may impact the boundaries of proposed development. An updated preliminary plat that reflects the legal description of the property identified in the condemnation case will need to be submitted and approved by the Planning Commission prior to submitting an application for a final plat.
4. If the regional detention facility is not constructed, for any reason, then on-site detention must be provided, compliant with Olathe Municipal Code Title 17.
5. The final plat submitted for Phase 2 must show a design for access east of the portion of South Lawson Street that is south of 168<sup>th</sup> Terrace, that has been approved by the City's Fire Department, Public Works Department, and Planning Division.
6. Lindenwood Drive shall be constructed from 167<sup>th</sup> Street southerly approximately ¼ mile to the SE Corner, N 1/2, NW 1/4, Section 9-14-24, prior to issuance of building permits for any final plats within Phase 3.
7. Tree surveys must be provided with submittal of final plats for all phases of development.
8. All sidewalks within the development must terminate at a driveway.



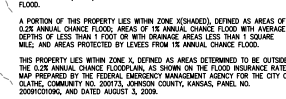
**STONEBRIDGE SOUTH**  
**PP19-0006**



User: jaredmd  
Date: 02/19/2020







PARCEL	LOT AREA			LOT AREA			LOT AREA			LOT AREA			LOT AREA			LOT AREA		
	AREA (SQ. AC)	AREA (SQ. AC)	PARCEL	AREA (SQ. AC)	AREA (SQ. AC)	PARCEL	AREA (SQ. AC)	AREA (SQ. AC)	PARCEL	AREA (SQ. AC)	AREA (SQ. AC)	PARCEL	AREA (SQ. AC)	AREA (SQ. AC)	PARCEL	AREA (SQ. AC)	AREA (SQ. AC)	
1	12534.39	0.2786	16	9288.13	0.2510	31	9555.80	0.2914	46	10060.78	0.2884	61	8897.95	0.1819	76	9452.78	0.2777	
2	10234.39	0.3225	102	10235.00	0.3246	32	985.31	0.2914	47	10646.23	0.2586	62	8897.97	0.2022	77	9452.86	0.2225	
3	10273.89	0.3235	18	13822.35	0.3973	33	8775.01	0.2914	48	8420.21	0.1933	63	8747.61	0.2037	78	9475.90	0.2575	
4	10273.89	0.3235	19	13822.35	0.3973	34	8775.01	0.2914	49	8420.21	0.1933	64	8747.61	0.2037	79	9475.90	0.2575	
5	10273.89	0.3235	20	13822.35	0.3973	35	8775.01	0.2914	50	8420.21	0.1933	65	8747.61	0.2037	80	9475.90	0.2575	
6	10273.89	0.3235	21	13822.35	0.3973	36	8775.01	0.2914	51	8420.21	0.1933	66	8747.61	0.2037	81	9475.90	0.2575	
7	10273.89	0.3235	22	13822.35	0.3973	37	8775.01	0.2914	52	8420.21	0.1933	67	8747.61	0.2037	82	9475.90	0.2575	
8	10273.89	0.3235	23	13822.35	0.3973	38	8775.01	0.2914	53	8420.21	0.1933	68	8747.61	0.2037	83	9475.90	0.2575	
9	10273.89	0.3235	24	13822.35	0.3973	39	8775.01	0.2914	54	8420.21	0.1933	69	8747.61	0.2037	84	9475.90	0.2575	
10	10273.89	0.3235	25	13822.35	0.3973	40	8775.01	0.2914	55	8420.21	0.1933	70	9376.32	0.3016	85	9383.84	0.2847	
11	8951.77	0.3070	26	9937.56	0.3286	41	11976.76	0.3435	56	8420.21	0.1928	71	9108.70	0.2091	86	9383.84	0.2858	
12	8951.77	0.3070	27	9937.56	0.3286	42	11976.76	0.3435	57	8420.21	0.1928	72	9108.70	0.2091	87	9383.84	0.2858	
13	8951.77	0.3070	28	9937.56	0.3286	43	11976.76	0.3435	58	8420.21	0.1928	73	9108.70	0.2091	88	9383.84	0.2858	
14	8951.77	0.3070	29	9937.56	0.3286	44	11976.76	0.3435	59	8420.21	0.1928	74	9108.70	0.2091	89	9383.84	0.2858	
15	8951.77	0.3070	30	9937.56	0.3286	45	11976.76	0.3435	60	8420.21	0.1928	75	14601.79	0.3308	90	12294.42	0.2863	
16	8951.77	0.3070	31	9937.56	0.3286	46	11976.76	0.3435	61	8420.21	0.1928	76	14601.79	0.3308	91	12294.42	0.2863	
17	8951.77	0.3070	32	9937.56	0.3286	47	11976.76	0.3435	62	8420.21	0.1928	77	14601.79	0.3308	92	12294.42	0.2863	
18	8951.77	0.3070	33	9937.56	0.3286	48	11976.76	0.3435	63	8420.21	0.1928	78	14601.79	0.3308	93	12294.42	0.2863	
19	8951.77	0.3070	34	9937.56	0.3286	49	11976.76	0.3435	64	8420.21	0.1928	79	14601.79	0.3308	94	12294.42	0.2863	
20	8951.77	0.3070	35	9937.56	0.3286	50	11976.76	0.3435	65	8420.21	0.1928	80	14601.79	0.3308	95	12294.42	0.2863	
21	8951.77	0.3070	36	9937.56	0.3286	51	11976.76	0.3435	66	8420.21	0.1928	81	14601.79	0.3308	96	12294.42	0.2863	
22	8951.77	0.3070	37	9937.56	0.3286	52	11976.76	0.3435	67	8420.21	0.1928	82	14601.79	0.3308	97	12294.42	0.2863	
23	8951.77	0.3070	38	9937.56	0.3286	53	11976.76	0.3435	68	8420.21	0.1928	83	14601.79	0.3308	98	12294.42	0.2863	
24	8951.77	0.3070	39	9937.56	0.3286	54	11976.76	0.3435	69	8420.21	0.1928	84	14601.79	0.3308	99	12294.42	0.2863	
25	8951.77	0.3070	40	9937.56	0.3286	55	11976.76	0.3435	70	9376.32	0.3016	85	9383.84	0.2847	100	12294.42	0.2863	
26	8951.77	0.3070	41	9937.56	0.3286	56	11976.76	0.3435	71	9108.70	0.2091	86	9383.84	0.2858	101	12294.42	0.2863	
27	8951.77	0.3070	42	9937.56	0.3286	57	11976.76	0.3435	72	9108.70	0.2091	87	9383.84	0.2858	102	12294.42	0.2863	
28	8951.77	0.3070	43	9937.56	0.3286	58	11976.76	0.3435	73	9108.70	0.2091	88	9383.84	0.2858	103	12294.42	0.2863	
29	8951.77	0.3070	44	9937.56	0.3286	59	11976.76	0.3435	74	9108.70	0.2091	89	9383.84	0.2858	104	12294.42	0.2863	
30	8951.77	0.3070	45	9937.56	0.3286	60	11976.76	0.3435	75	14601.79	0.3308	90	12294.42	0.2863	105	12294.42	0.2863	
31	8951.77	0.3070	46	9937.56	0.3286	61	11976.76	0.3435	76	14601.79	0.3308	91	12294.42	0.2863	106	12294.42	0.2863	
32	8951.77	0.3070	47	9937.56	0.3286	62	11976.76	0.3435	77	14601.79	0.3308	92	12294.42	0.2863	107	12294.42	0.2863	
33	8951.77	0.3070	48	9937.56	0.3286	63	11976.76	0.3435	78	14601.79	0.3308	93	12294.42	0.2863	108	12294.42	0.2863	
34	8951.77	0.3070	49	9937.56	0.3286	64	11976.76	0.3435	79	14601.79	0.3308	94	12294.42	0.2863	109	12294.42	0.2863	
35	8951.77	0.3070	50	9937.56	0.3286	65	11976.76	0.3435	80	14601.79	0.3308	95	12294.42	0.2863	110	12294.42	0.2863	
36	8951.77	0.3070	51	9937.56	0.3286	66	11976.76	0.3435	81	14601.79	0.3308	96	12294.42	0.2863	111	12294.42	0.2863	
37	8951.77	0.3070	52	9937.56	0.3286	67	11976.76	0.3435	82	14601.79	0.3308	97	12294.42	0.2863	112	12294.42	0.2863	
38	8951.77	0.3070	53	9937.56	0.3286	68	11976.76	0.3435	83	14601.79	0.3308	98	12294.42	0.2863	113	12294.42	0.2863	
39	8951.77	0.3070	54	9937.56	0.3286	69	11976.76	0.3435	84	14601.79	0.3308	99	12294.42	0.2863	114	12294.42	0.2863	
40	8951.77	0.3070	55	9937.56	0.3286	70	11976.76	0.3435	85	14601.79	0.3308	100	12294.42	0.2863	115	12294.42	0.2863	
41	8951.77	0.3070	56	9937.56	0.3286	71	11976.76	0.3435	86	14601.79	0.3308	101	12294.42	0.2863	116	12294.42	0.2863	
42	8951.77	0.3070	57	9937.56	0.3286	72	11976.76	0.3435	87	14601.79	0.3308	102	12294.42	0.2863	117	12294.42	0.2863	
43	8951.77	0.3070	58	9937.56	0.3286	73	11976.76	0.3435	88	14601.79	0.3308	103	12294.42	0.2863	118	12294.42	0.2863	
44	8951.77	0.3070	59	9937.56	0.3286	74	11976.76	0.3435	89	14601.79	0.3308	104	12294.42	0.2863	119	12294.42	0.2863	
45	8951.77	0.3070	60	9937.56	0.3286	75	11976.76	0.3435	90	14601.79	0.3308	105	12294.42	0.2863	120	12294.42	0.2863	
46	8951.77	0.3070	61	9937.56	0.3286	76	11976.76	0.3435	91	14601.79	0.3308	106	12294.42	0.2863	121	12294.42	0.2863	
47	8951.77	0.3070	62	9937.56	0.3286	77	11976.76	0.3435	92	14601.79	0.3308	107	12294.42	0.2863	122	12294.42	0.2863	
48	8951.77	0.3070	63	9937.56	0.3286	78	11976.76	0.3435	93	14601.79	0.3308	108	12294.42	0.2863	123	12294.42	0.2863	
49	8951.77	0.3070	64	9937.56	0.3286	79	11976.76	0.3435	94	14601.79	0.3308	109	12294.42	0.2863	124	12294.42	0.2863	
50	8951.77	0.3070	65	9937.56	0.3286	80	11976.76	0.3435	95	14601.79	0.3308	110	12294.42	0.2863	125	12294.42	0.2863	
51	8951.77	0.3070	66	9937.56	0.3286	81	11976.76	0.3435	96	14601.79	0.3308	111	12294.42	0.2863	126	12294.42	0.2863	
52	8951.77	0.3070	67	9937.56	0.3286	82	11976.76	0.3435	97	14601.79	0.3308	112	12294.42	0.2863	127	12294.42	0.2863	
53	8951.77	0.3070	68	9937.56	0.3286	83	11976.76	0.3435	98	14601.79	0.3308	113	12294.42	0.2863	128	12294.42	0.2863	
54	8951.77	0.3070	69	9937.56	0.3286	84	11976.76	0.3435	99	14601.79	0.3308	114	12294.42	0.2863	129	12294.42	0.2863	
55	8951.77	0.3070	70	9937.56	0.3286	85	11976.76	0.3435	100	14601.79	0.3308	115	12294.42	0.2863	130	12294.42	0.2863	
56	8951.77	0.3070	71	9937.56	0.3286	86	11976.76	0.3435	101	14601.79	0.3308	116	12294.42	0.2863	131	12294.42	0.2863	
57	8951.77	0.3070	72	9937.56	0.3286	87	11976.76	0.3435	102	14601.79	0.3308	117	12294.42	0.2863	132	12294.42	0.2863	
58	8951.77	0.3070	73	9937.56	0.3286	88	11976.76	0.3435	103	14601.79	0.3308	118	12294.42	0.2863	133	12294.42	0.2863	
59	8951.77	0.3070	74	9937.56	0.3286	89	11976.76	0.3435	104	14601.79	0.3308	119	12294.42	0.2863	134	12294.42	0.2863	
60	8951.77	0.3070	75	9937.56	0.3286	90	11976.76	0.3435	105	14601.79	0.3308	120	12294.42	0.2863	135	12294.42	0.2863	
61	8951.77	0.3070	76	9937.56	0.3286	91	11976.76	0.3435	106	14601.79	0.3308	121	12294.42	0.2863	136	12294.42	0.2863	
62	8951.77	0.3070	77	9937.56	0.3286	92	11976.76	0.3435	107	14601.79	0.3308	122	12294.42	0.2863	137	12294.42	0.2863	
63	8951.77	0.3070	78	9937.56	0.3286	93	11976.76	0.3435	108	14601.79	0.3308	123	12294.42	0.2863	138	12294.42	0.2863	
64	8951.77	0.3070	79	9937.56	0.3286	94	11976.76	0.3435	109	14601.79	0.3308	124	12294.42	0.2863	139	12294.42	0.2863	
65	8951.77	0.3070	80	9937.56	0.3286	95	11976.76	0.3435	110									



<u>LEGEND</u>	
B.L.	DENOTES BUILDING LINE
U/E	DENOTES UTILITY EASEMENT
L/E	DENOTES LANDSCAPE EASEMENT
T.P.E.	DENOTES TREE PRESERVATION EASEMENT

OWNER/DEVELOPER:  
STONEBRIDGE LAND & CAT  
9550 DICE LANE  
LEWISVA, VA 22645

**ENGINEER/APPLICANT:**  
PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KS. 66061  
(913) 393-1155  
(913) 393-1166 FAX

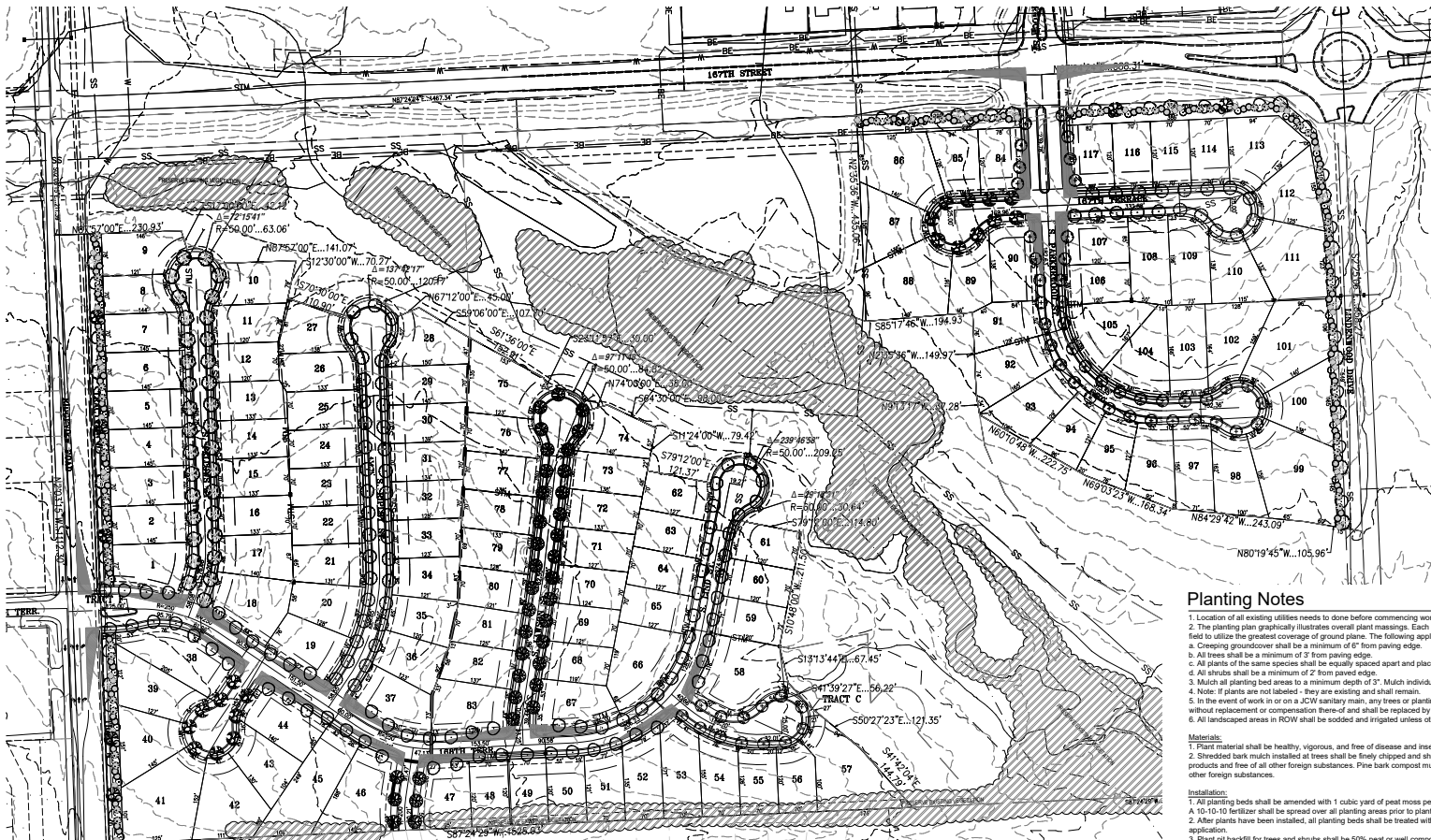
**REVISED PRELIMINARY PLAT**  
STONEBRIDGE SOUTH  
CITY OF OLATHE, JOHNSON COUNTY, KANSAS  
167TH STREET & RIDGEVIEW ROAD

PROJECT NO. 190513	DATE: 8-21-19	DRAWN: DAG
CRITERIA OF AUTHORIZATION PARSONS PROJECT NO. 190513 PROJECT NAME: 190513-02 PROJECT LOCATION: 190513-02		
CRITERIA OF AUTHORIZATION PARSONS PROJECT NO. 190513 PROJECT NAME: 190513-02 PROJECT LOCATION: 190513-02		



CLIENT  
Rodrock Development  
9550 Dice Ln,  
Lenexa, KS 66215

PROJECT  
Stonebridge South  
SE Corner of 167th and  
Ridgeview Rd.  
Olathe, KS



## Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings.
  - Creeping groundcover shall be a minimum of 6" from paving edge.
  - All trees shall be a minimum of 3' from paving edge.
  - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
  - All shrubs shall be a minimum of 2' from paved edge.
  - Much of planting bed areas to a minimum depth of 3'. Match individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.
- In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

### Materials:

- Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
- Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

### Installation:

- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
- After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
- Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
- Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
- Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

## Landscape Calculations

Street Trees: One tree per 40 feet of public or private street frontage. REQUIREMENTS MET.

**Buffer Plantings:** A minimum for each 100 linear feet or portion thereof of thoroughfare or super-collector frontage.  
a) Eight (8) evergreen (conifers) trees with a minimum size of 6 feet in height;  
b) Two (2) shade trees with a minimum caliper of 2 inches as measured 6 inches above the ground;  
c) One (1) ornamental tree with a minimum size of 10 feet in height.

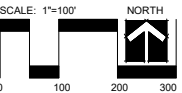
1027 LF of road along Ridgeview Road 776 LF of road along 167th Street  
62 Evergreens Required - 62 Provided 62 Evergreens Required - 62 Provided  
21 Shade trees required - 21 Provided 16 Shade trees required - 16 Provided  
10 Ornamental trees required - 10 Provided 8 Ornamental trees required - 8 Provided

**Residential Lots:** In residential districts, large deciduous shade or evergreen trees are required within the interior of each lot at a ratio of three (3) trees for every single-family dwelling, four (4) trees for every two-family dwelling and one (1) tree for every dwelling unit for multifamily buildings.

**SITE DISTANCE TRIANGLES:** Triangles are shown on the plan. There are no shrubs located in these areas. Trees shall be limbed up to 6' height for visibility.

### STREET TREE PLANTING LOCATION REQUIREMENTS:

- Not located in the site distance triangle.
- 10 feet from box culverts.
- 15 feet in front of regulatory signs.
- 10 feet behind regulatory signs.
- 15 feet from streetlight poles.
- 10 feet from fire hydrants.



Date: 1.29.2020  
Project #: 560  
Landscape Plan  
Master Screening Plan

**L1**

## 1 LANDSCAPE PLAN/MASTER SCREENING PLAN PLAN

SCALE: 1"=100'-0"

### TREE PLANTING NOTES:

- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, COLDWIND LEADERS, A BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
- APPLY 4THQ WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK.

- 5 EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL.
- 6 REMOVE ALL TRUNK HOSE, WIRE AND BURLAP FROM THE UPPER 10 OF ROOT BALL (REMOVE WIRE BARKETS).
- 7 PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL. TYP

### STAKING REQUIREMENTS:

- 1) WIRE / CABLE SHALL BE GALV. 1/4" GAUGE.
- 2) THIRTYFIVE WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 10% OF GROWTH.
- 3) STAKES SHALL BE 2" x 4" HARDWOOD OR EQUAL.

### PERENNIAL PLANTING NOTES:

- 1) APPLY 2THQ BED OF MULCH ON PERENNIAL PLANT BED.
- 2) DO NOT COVER PLANTS.
- 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24".
- 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12".
- 5) BACKFILL IN TANK DEPTH AT WHICH IT GROWN IN THE FIELD OR CONTAINER.
- 6) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE.

### SHRUB PLANTING NOTES:

- 1) WHEN BACKFILL IS 23" COMPLETE, WATER THOROUGHLY UNTIL MOISTURE IS OBSERVED.
- 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE.

### INITIAL WATERING:

- 1) WHEN BACKFILL IS 23" COMPLETE, WATER THOROUGHLY UNTIL MOISTURE IS OBSERVED.
- 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE.

### DO NOT PRUNE LEADER:

- 1) PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE LEAVE "Y" NOTCHES OR DOUBLE LEADER.
- 2) TREES THE SYSTEM, SEE STAKING REQUIREMENTS.
- 3) METAL STAKES. PLACE NEXT TO ROOT BALL AND SHOWN. SPACE EQUIDISTANT AROUND TREE.
- 4) 6" MIN. SPECIFIED MULCH PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GROW.
- 5) INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED.
- 6) CONTINUOUS SAUCER, RIM FOR WATER & MULCH CUT & REMOVE BURLAP FROM TOP 10 OF BALL. SPECIFIED BACKFILL MIXTURE.
- 7) EXISTING UNDISTURBED SUBSOIL.

## Landscape Schedule

Symbol	Qty	Botanical Name	Common Name	Min.Ht.	Min.Stem	Caliper	Remarks
<b>EVERGREEN TREES</b>							
	48	Calallia virens 'Diva'	Shademaster Honeysuckle	2"	6"	min. clear, ground to canopy	
	96	Acer x fraxinifolium 'Warner'	Sweet White Oak	2"	6"	min. clear, ground to canopy	
	37	Acer glabrum	Pacific Sweet Maple	2"	6"	min. clear, ground to canopy	
	56	Ulmus parvifolius	Parrotbark Elm	2"	6"	min. clear, ground to canopy	
	26	Platanus x occidentalis	London Plane Tree	2"	6"	min. clear, ground to canopy	
<b>DECIDUOUS TREES</b>							
	49	Juniperus chinensis 'Suecica'	Goldcrest Juniper	6"	HL	symmetrical pyramidal form	
	101	Juniperus chinensis	Eastern Red Cedar	6"	HL	symmetrical pyramidal form	
	51	Picea abies	Norway Spruce	6"	HL	symmetrical pyramidal form	
<b>ORNAMENTAL TREES</b>							
	26	Cercis canadensis	Eastern Redbud	1.5"			

## 2 PLANTING INSTALLATION DETAILS

SCALE: NTS



Meeting Minutes  
**Stonebridge South**  
January 28, 2020

The Meeting started a 6:10 p.m.

A sign-up sheet was used to record the one neighbor in attendance. See attached

Harold Phelps, P.E. and Jeff Gifford represented for the applicant.

The initial presentation was presented by Harold Phelps.

Harold informed the single neighbor (Grace Church) that attended that the plan is essentially the same plan that was approved as part of the Cedar Ridge subdivision and that the only changes were in the area that the City of Olathe took ownership for the Lindenwood Regional Detention Basin. The two areas were indicated on the plan.

The following questions were asked:

*What is the timing of the sub-division?* This area is probably 3-4 years out from starting.

*What are the projected values of the homes?* In today's dollars, the house prices would be upper \$300,000 to \$500,000.

*How does the regional detention basin impact us or the church?* With the construction of the regional basin none of the properties in the Coffee Creek basin will be required to provide detention, but storm water quality improvements will still be required.

The presentation ended at 6:15 p.m. and we left the clubhouse at 6:30 p.m.



PLANNING  
ENGINEERING  
IMPLEMENTATION

January 7, 2020

Re: Neighborhood Meeting for Stonebridge development project located at the  
SE corner of 167<sup>th</sup> Street and Ridgeview Road, Olathe, Kansas.  
Application No. PP19-0006

Dear Neighbor,

On behalf of our client, Stonebridge Partners, LLC., I would like to invite you to an informational meeting that we are hosting for our neighbors regarding the development on the above referenced property. We will be hosting this gathering on **Tuesday, January 28, 2020 at 6 pm, at Stonebridge Trails Clubhouse** located at 16470 W. 165th Street Olathe, KS 66062.

Our proposed project consists of the continuation of the Stonebridge area with standard 70-foot-wide single-family lots on the South side of 167<sup>th</sup> Street and East side of Ridgeview Road. The project is anticipated to begin construction Spring 2020. A copy of the proposed site plan is attached. We have filed application(s) with the City for their approval and we are excited to share this information with you and answer any questions you may have.

Please feel free to attend this meeting for an opportunity to learn more about the project and discuss any questions you might have.

Sincerely,

Harold A. Phelps, P.E. -  
Phelps Engineering, Inc.,  
Agent for Stonebridge Land & Cattle, LLC  
[hphelps@phelpsengineering.com](mailto:hphelps@phelpsengineering.com)

PHELPS ENGINEERING, INC.

1270 N. Winchester - Olathe, Kansas 66061 - (913) 393-1155 - Fax (913) 393-1166 - [www.phelpsengineering.com](http://www.phelpsengineering.com)

<u>Name</u>	<u>Address</u>	<u>Phone Number</u>	<u>Email</u>
John Rauscher	Grace Church	913-980-9493	john.rauscher@guair.com

Email

John Rauscher Grace Church 913-980-9493 john.rauscher@gmail.com

[illegible]

**STAFF REPORT****Planning Commission Meeting: February 24, 2020**

<b>Application:</b>	<b>PP19-0007, Revised Preliminary Plat of Stonebridge Villas</b>		
<b>Location:</b>	South of W.169 <sup>th</sup> Place, east of Mur-Len Road		
<b>Owner:</b>	Stonebridge Land & Cattle, LLC		
<b>Engineer:</b>	Harold Phelps; Phelps Engineering, Inc.		
<b>Staff Contact:</b>	Zachary Moore, Planner II		

<b>Site Area:</b>	<u>44.24± acres</u>	<b>Proposed Use:</b>	<u>Single Family Residential</u>
<b>Lots:</b>	<u>115</u>	<b>Density:</b>	<u>2.6 units/acre</u>
<b>Tracts:</b>	<u>7</u>	<b>Existing Zoning:</b>	<u>R-1</u>

**1. Comments and History:**

The following application is a revised preliminary plat for Stonebridge Villas, containing 115 single family lots and 7 common tracts on a total of 44.24± acres. The subject property for this preliminary plat is just south of the existing Courts at Fairfield Village development, located southeast of the intersection of 167<sup>th</sup> Street and Mur-Len Road. The subject property was annexed into the City in 2005 and was subsequently rezoned to the R-1 District with a preliminary plat in 2006 (RZ-06-017).

Preliminary plats show the layout of lots, tracts, and location of proposed infrastructure in a subdivision and must be approved prior to a final plat being approved for that subdivision. This is a revised preliminary plat because the original preliminary plat that was approved with RZ-06-017 expired in 2008 and the proposed design of the subdivision has changed. The property for this revised preliminary plat is adjacent to property which is proposed to be rezoned to the R-3 (Residential Low-Density Multifamily) District, which is also on this agenda (RZ19-0024, Stonebridge Courts).

**2. Zoning Requirements:**

- a. **Lot Dimensions** – This revised preliminary plat includes a total of 115 single-family lots and 7 common tracts. The R-1 District has a minimum required lot width of 60 feet and a minimum lot size of 7,200 square feet. All lots included in this preliminary plat exceed the minimum lot size as the proposed lots range from 7,217 square feet to approximately 15,000 square feet, with an average lot size of 8,833 square feet.
- b. **Building Height** – The maximum building height for residential buildings in the R-1 District is 2 ½ stories or 35 feet.

- c. **Setbacks** – The minimum setbacks in the R-1 District are as follows: Front Yard – 30 feet, Side Yard – 7 feet, Corner Side Yard – 20 feet, and Rear Yard – 25 feet. Front yard and corner side yard setbacks are labeled on each lot and notes are included on the preliminary plat to comply with the setback requirements of the R-1 District.

### 3. Development Standards:

- a. **Streets and Right-of-Way** – The proposed development has one access point from an existing public roadway, S. Mur-Len Road to the west. The road that runs along the north side of this preliminary plat, W. 169<sup>th</sup> Place, is a proposed collector roadway, which will have three proposed internal connections to the subdivision. All streets will meet Unified Development Ordinance (UDO) requirements for public right-of-way and will be dedicated for public use. A minimum five-foot sidewalk is provided by the applicant on one side of all local streets.
- b. **Landscaping and Tree Preservation** – The applicant is providing the minimum required 15-foot landscape tracts along the collector roadway, W. 169<sup>th</sup> Place. A street tree plan has been provided showing the required street trees along local and collector streets per UDO requirements. The applicant has provided six trees at the end of the cul-de-sac in the western portion of the preliminary plat, five of which are upright evergreens, to provide a visual screen from the collector roadway. There are existing trees to the south and west of the proposed subdivision, located in Tract G, that the applicant will preserve. The applicant has identified these areas on the Overall Landscape and Master Screening Plan.
- c. **Stormwater and Detention** – The subject property is subject to condemnation for a regional detention facility, Ordinance number 19-83, which may impact the boundaries of the proposed development on the south side of the subject property. A stipulation has been added to the recommendation, that if the condemnation is completed, then a revised preliminary plat reflecting the legal description of the property identified in the condemnation case must be approved by the Planning Commission prior to submittal of a final plat application. If the regional detention facility is not constructed, for any reason, then on-site detention must be provided, compliant with Olathe Municipal Code, Title 17.

There is an existing floodplain at the south of the property that a small portion of the proposed development will encroach upon. A floodplain permit must be approved prior to approval of any final plat.

- d. **Public Utilities** – The subject property is located in the WaterOne and Johnson County Wastewater service areas. The preliminary plat identifies the proposed location of water, storm sewer, and sanitary sewer lines throughout the proposed subdivision, and their off-site connections.
- e. **Public Recreation** – A Public Recreation Easement will be provided in Tract G, south of the subject property, for construction of a future trail. Pedestrian connections will be provided between Lots 8 and 9 at the southwest of the proposed subdivision, as well as through Tract F, between Lots 66 and 67, towards the southeast of the proposed subdivision, compliant with the minimum UDO requirements.





*View of subject property, looking southeast from S. Mur-Len Road*



*Aerial view of subject property outlined in red*

#### **4. Neighborhood Meeting:**

A neighborhood meeting for this revised preliminary plat and the adjacent rezoning and preliminary site development plan to the northeast, was held on January 29, 2020 that twenty-seven (27) residents attended. Topics discussed at the neighborhood meeting included additional traffic in the neighborhood, adjacent greenspaces, phasing, lot pricing, product type, and the City's proposed regional stormwater facility.

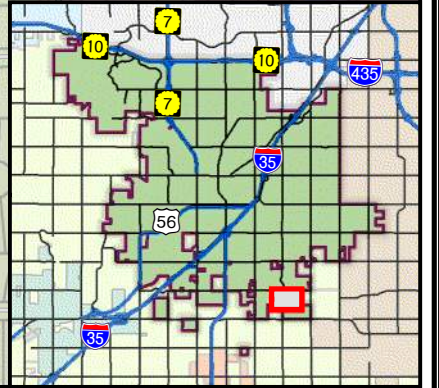
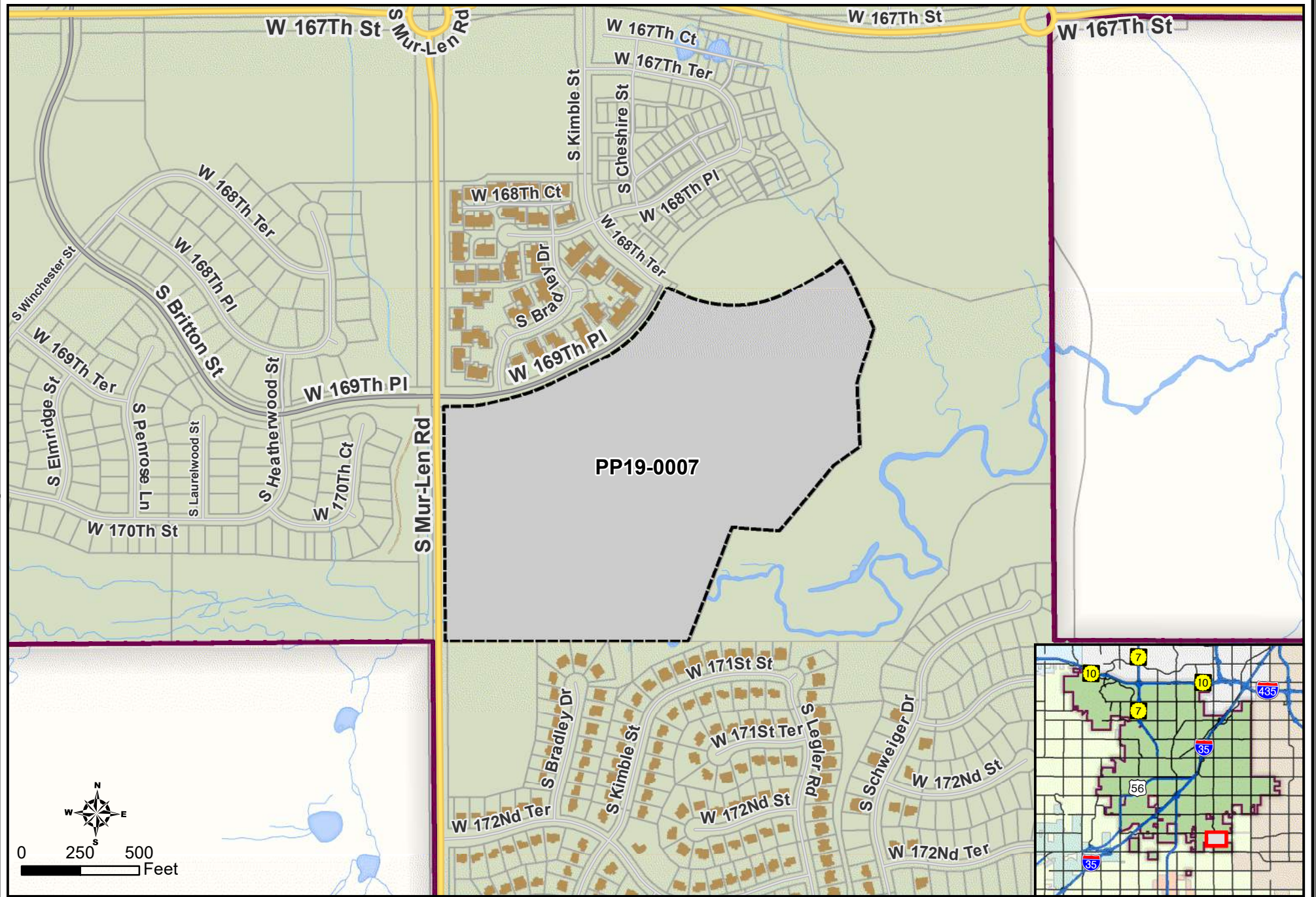
Staff has not received any phone calls or other correspondence from members of the general public regarding this revised preliminary plat.

**5. Staff Recommendation:**

Staff recommends approval of PP19-0007 with the following stipulations:

1. The property is subject to condemnation Ordinance number 19-83, which may impact the boundaries of proposed development. An updated preliminary plat that reflects the legal description of the property identified in the condemnation case will need to be submitted and approved by the Planning Commission prior to submitting an application for a final plat.
2. If the regional detention facility is not constructed, for any reason, then on-site detention must be provided, compliant with Olathe Municipal Code, Title 17.
3. A final plat must be approved and recorded prior to issuance of building permits.
4. All sidewalks within the development must terminate at a driveway.
5. A floodplain development permit must be approved prior to approval of a final plat.
6. Tree surveys must be provided with submittal of final plats for all phases of development.




















**Cuent**  
Rodrock Homes  
9550 Dice Ln,  
Lenexa, KS 66215

Stonebridge Villas and Courts  
167th and Mur-Len Rd.  
Olathe, KS

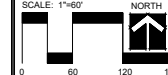


 1 R-1 AREA LANDSCAPE AND MASTER SCREENING PLAN ENLARGEMENT  
SCALE: 1"=60'-0"

### Landscape Schedule

Species	Order	Botanical Name	Common Name	Microvet	WinFlow	Colony	Remarks
<b>SPERMATOPHYTES</b>							
1		<i>Salicornia vermiculata</i> 'Taylor'	Distasteful 'Vegetable'				2" x 1/2" olive, gland to base
2		<i>Quercus ilex</i> 'L'	English Oak				2" x 1/2" olive, gland to base
3		<i>Quercus ilex</i> 'Vermeil'	Reddish Spanish Oak				2" x 1/2" olive, gland to base
4		<i>Pinus gresaultii</i>	Pineapple Palm				2" x 1/2" olive, gland to base
5		<i>Ulmus parvifolia</i>	European Elm				2" x 1/2" olive, gland to base
6		<i>Pinus taeda</i> 'contorta'	Loblolly Pine Tree				2" x 1/2" olive, gland to base
<b>ANGIOSPERMS</b>							
7		<i>Arachis sativa</i> 'Arachis'	Groundnut 'Arachis'				2" x 1/2", asymmetrical pyramidal form
8		<i>Juliflor</i> 'arabidopsis'	Arabis				2" x 1/2", asymmetrical pyramidal form
9		<i>Pinus alba</i>	White Pine				2" x 1/2", asymmetrical pyramidal form
<b>MONOCOTYLEDONS</b>							
10		<i>Cereale cerealia</i>	Corn	Indistinct			1.5"
11		<i>Quercus ilex</i> 'contorta'	English Oak				1.5"

SCALE: 1"=60'



Date: 2.3.2020  
Project #: 576  
Landscape Plan  
Master Screening Plan

## L2

Meeting Minutes  
**Stonebridge Courts and Villa's (Combined Meeting)**  
January 29, 2020

The Meeting started a 6:00 p.m.

A sign-up sheet was used to record those neighbors in attendance. See attached

Harold Phelps, P.E. and Jeff Gifford represented the applicant.

The initial presentation was presented by Harold Phelps.

Harold informed the neighbors that everyone within 500 feet of the property was invited to this neighborhood meeting. Others within 200 foot would receive an additional notice of the public hearing to be held at the planning commission on February 24<sup>th</sup>.

Harold explained that Brian Rodrock and Jeff Gifford had purchased the Stonebridge Development and related property from Darol Rodrock in December of 2018. He further explained that the area that we were discussing this evening was south of 167<sup>th</sup> Street, north of Forest Hills Estates, east of Mur-Len and west of Brougham. He further indicated that Brian and Jeff has made a decision to move the villa product from the planned location north of the new middle school to this location south of 167<sup>th</sup> and east of Mur-Len and build on the success that Gary Jones had developed in The Courts at Fairfield Village and construct attached 3-plex units north of 169<sup>th</sup> Place.

It was indicated that these two developments would have access to the existing four community centers and that no new amenity facilities were planned for these areas, including the clubhouse we were meeting in.

The neighbors immediately started asking questions, so we started answering their questions.

*What projects have Brian and Jeff been involved with?* Arbor Lakes, Arbor Woods, Colton Lakes, Wyngate, Summerwood, Terrybrooke, Mission Ranch, The Willows, Hills of Forest Creek, Herrington Park and Sundance.

*What is the difference between the two project areas?* The area to the north of 169<sup>th</sup> Place would be 3-plexes with some 2-plexes and the area south would be detached villas. The attached product would be very similar to The Courts at Fairfield Village that Gary Jones had constructed and were shown the colored renderings and the villas would be free-standing units with landscaping and snow removal provided.

*A comment was made that there will be considerably more traffic on 169<sup>th</sup> Place with these developments.* The City's street hierarchy was explained that the local streets would tie into the collector streets (169<sup>th</sup> Place, Brougham and Kimball Streets) and that the collector streets would tie into

the arterial streets (Mur-Len and 167<sup>th</sup> Street). The applicant acknowledged that there would be additional traffic but that the City's Street Network was designed for this amount of traffic.

*Will Brougham be extended to the south?* Yes, Rodrock will construct that portion of Brougham adjacent to the development and the remainder would be constructed when the adjacent Linn property developed.

*Who owns the greenspace to the south?* There are two ownerships, one being the City of Olathe and the other being the Rodrock group. The City property is going to develop as a regional detention basin and the Rodrock property will be a native preservation area with a trail easement so that the City will be allowed to construct a trail from Mur-Len to Heritage Park.

*What would be the difference between the existing Courts of Fairfield and the proposed Stonebridge Courts be?* They will be very similar in style as Gary Jones is consulting with Rodrock on the unit design. The City has changed some of their regulations regarding the exterior materials and fire suppression that would be incorporated into the design.

*What is the proposed phasing?* Rodrock plans to start as soon as approvals can be obtained. We would like to continue the momentum that Gary Jones has developed in his project and provide the additional villa market product to the south. Phases will be added every 12-18 months to keep inventory until the project is fully developed in 6-8 years.

*What are the lots going to be priced at?* The lots prices have not been set but would expect them to be in the \$120,000 range for the villa product. The sales price of the court units is expected to start in the mid \$300,000 and the villas are expected to start in the \$400,000 range.

*What about construction traffic?* Initial construction traffic will use 169<sup>th</sup> Place and Kimball Streets. Brougham construction is most like to start with the second phase of the courts project and construction traffic will enter from Brougham.

*Will there be rock blasting?* Maybe, we have not performed any rock depth studies to date. The only rock basting we would anticipate would be for the sanitary sewer construction as the start of construction and none for foundation excavation.

*Will there be a Home Owner's Association and additional amenities?* It was explained that there would be a tiered HOA with a master association for the entire Stonebridge area and an additional association for each of the courts and villa areas. There is a gazebo and pickle ball court planned in the court area but not additional amenities in the villa area. A City trail system was anticipated in the open area to the south and the connections were being allowed for with in the plan.

*Will the trees and vegetation remain to the south and in the existing ditch east of The Courts at Fairfield?* Yes, a landscape plan has been submitted indicating that the existing vegetation would remain in the open areas.

*Is there going to be a walking trail between the Fairfield and Stonebridge projects?* At the meeting we were not sure if a walking trail would be constructed. One property owner stated that they thought the County was going to construct the trail.

Who is responsible for maintaining the creek between the Fairfield and Stonebridge projects? Typically the developer is responsible until the property is dedicated to the HOA. We do not know if Fairfield has made this transfer.

*What will happen to the existing driveway that is currently constructed into the property along 167<sup>th</sup> Street?* This access drive will be removed as part of the construction project.

*One of the neighbors indicated that they lived north of 167<sup>th</sup> Street and that they understood that this property was going to be constructed as single family residential, why is this changing?* The City's Master Plan indicates this property to be "Mixed Density Neighborhood" and with the initiation of the Fairfield project in the early 2000's this property is very suitable to continue the trend and build on that success. Add to this, the planned villa product to the south and this "pocket" of Stonebridge will be the "empty nester" area providing a more carefree living environment for those wanting a different lifestyle.

*What is the status of the City's Regional Stormwater Detention Project?* It was stated that the contractor has been awarded the contract and the City was wrapping up land acquisition and permitting.

*When will Mur-Len and 167<sup>th</sup> Street be further improved?* It was explained that the existing improvements were funded by the adjacent property owners and developers and any further improvements would be facilitated by the City of Olathe. We were not aware of any imminent improvements.

*What are the planned square footages of the courts and villa units?* The units will be designed with living space on the main floor and the basement areas. One would expect the total square footage of the courts to be in the 2,300-2,400 square foot range and the villa's to be in the 3,000 square foot range.

*What builders are going to be allowed to construct the units and will you allow for single builders to build in the villa area?* Rodrock intends to construct all of the attached courts units and have not decided whether or not they will build or have 4-5 builders in the villa product. For control and continuity reasons they are not likely to allow one-time builders in the project.

*There was a comment/concern about the landscaping maintenance/replacement in the Stonebridge on the Trails areas.* It was indicated that the City has specific landscape requirements that we must meet along arterial roadways and when units back up to collector streets. We will meet this requirements in this development.

*Will there be any separation or buffer between the Court at Fairfield and the new Stonebridge Court area?* Other than the addition of the 132 trees that the developer is required to plant within the court area there would not be a "buffer" area between the similar projects.



*What is the detention area that the City is going to be constructing?* The City is going to construct the embankment for Brougham that will have a culvert installed that will restrict the flow and create a backwater condition onto the City owned property west of Brougham. This will not be a permanent pond but rather a just a backwater condition and would drain down over time. One of the property owners to the south in the Forest Hills Estates area asked if this would continue to back up into their area? It was stated that there are 100-year floodplain areas designated in that area and that one should expect those areas to continue to flood.

There was one comment about removing the dirt pile at the corner of 167<sup>th</sup> and Kimball as it was made it difficult to maneuver onto 167<sup>th</sup> Street.

All were asked to sign the sign-in sheet, if they hadn't already done so.

The formal presentation and questions ended at 7:10 p.m., Harold and Jeff stayed around to answer individuals questions or comments and we left the clubhouse around 7:30 p.m.

## SIGN-IN SHEET

<u>Name</u>	<u>Address</u>	<u>Phone Number</u>	<u>Email</u>
Ralph & Amy Thompson	16262 W. 171 <sup>st</sup> Terr.	913-980-7425	abt75@hotmail.com
Tim & Carrie Ayers	16274 168 <sup>th</sup> Place	801-541-4098	acrew72@icloud.com
Tom Boehm	18185 W 215 <sup>th</sup> Springsh. II	913-980-6826	boehmT57@hotmail.com
Kathy Utting	16396 W. 171 <sup>st</sup> St		return-of-skutt@hotmail
Diana Gragson	16270 W 171 St	913 449 5648	diana.gragson@gmail.com
Dave & Victoria Murphy	16242 W 168 <sup>th</sup> Pl	913 226 6088	damurphy44@gmail.com
Chris & Patti Larizer	16260 W 171 <sup>st</sup> Terr	913-827-8222	plarizer@gmail.com
Dona Rude Lewis	16304 W. 167 <sup>th</sup> Terr	816-289-9322	rudie <sup>ANN</sup> lewis@aol.com
Gae & Margaret Gammell	16280 W 167 <sup>th</sup> Terr	913-526-4061	gargammell@att.net
Barbara & Riccio	16798 S. Cheshire St.	913-515-4009	Br Br Riccio@aol.com



## SIGN-IN SHEET

<u>Name</u>	<u>Address</u>	<u>Phone Number</u>	<u>Email</u>
Jim Roffert	16946 S. Bradley Dr	405-520-2371	poteroffj@yahoo.com
STANTON & TERRA WHITE	16958 S. BRADLEY DR	913-283-4551	STANTONWHITE@GMAIL.COM
DAVID & LINDA MOLZ	16677 So Chateaufort	913-782-0347	DAMOLINZ@ATT.NET
Gloria Crouch	16829 S BRADLEY DR	913-378-3473	gloracrouch11@gmail.com
BENJAMIN LIPSCHUTZ	16361 W 168th L	913-660-0363	BENJAMIN@AOL.COM
DON LUNBECK	16309 W. 167th CT	913-645-5943	donlunbeck@qmail.com
Rick Hastings	16288 W 167th CT	913-488-3284	RHAST89158@ATT.NET
Row Whittecar	16296 W 167th CT	913-302-0525	ECDDT0410@GMAIL.COM



PLANNING  
ENGINEERING  
IMPLEMENTATION

January 7, 2020

Re: Neighborhood Meeting for Stonebridge development project located at the  
SE corner of 167<sup>th</sup> Street and Ridgeview Road, Olathe, Kansas.  
Application No. PP19-0006

Dear Neighbor,

On behalf of our client, Stonebridge Partners, LLC., I would like to invite you to an informational meeting that we are hosting for our neighbors regarding the development on the above referenced property. We will be hosting this gathering on **Tuesday, January 28, 2020 at 6 pm, at Stonebridge Trails Clubhouse** located at 16470 W. 165th Street Olathe, KS 66062.

Our proposed project consists of the continuation of the Stonebridge area with standard 70-foot-wide single-family lots on the South side of 167<sup>th</sup> Street and East side of Ridgeview Road. The project is anticipated to begin construction Spring 2020. A copy of the proposed site plan is attached. We have filed application(s) with the City for their approval and we are excited to share this information with you and answer any questions you may have.

Please feel free to attend this meeting for an opportunity to learn more about the project and discuss any questions you might have.

Sincerely,

Harold A. Phelps, P.E. -  
Phelps Engineering, Inc.,  
Agent for Stonebridge Land & Cattle, LLC  
[hphelps@phelpsengineering.com](mailto:hphelps@phelpsengineering.com)

PHELPS ENGINEERING, INC.

1270 N. Winchester - Olathe, Kansas 66061 - (913) 393-1155 - Fax (913) 393-1166 - [www.phelpsengineering.com](http://www.phelpsengineering.com)



Planning Division

## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b>FP19-0037, Final Plat for Cedar Creek Business Park, Campus F</b>		
<b>Location:</b>	North of the intersection of Hollis Lane and W. 103 <sup>rd</sup> Street		
<b>Owner/Applicant:</b>	Craig Eymann; Eymann & Eymann Investments, LLC		
<b>Engineer:</b>	Daniel G. Foster, PLA; Schlagel & Associates, P.A.		
<b>Staff Contact:</b>	Zachary Moore, Planner II		

<b>Site Area:</b>	<u>1.78± acres</u>	<b>Use:</b>	<u>Office Building</u>
<b>Lots:</b>	<u>1</u>		
<b>Tracts:</b>	<u>0</u>	<b>Current Zoning:</b>	<u>BP</u>

### 1. Comments:

The following application is a final plat for Cedar Creek Business Park, Campus F. This plat will establish new lot lines and dedicate land for public easements. The subject property was rezoned to the BP District in 1997 (RZ-27-97) but has never been platted. A revised preliminary site development plan was approved by the Planning Commission in October 2019, and a final site development plan is currently under staff review.

### 2. Plat Review:

- Lots/Tracts** – The plat includes one commercial lot totaling approximately 1.78± acres.
- Public Utilities** – The subject property is located within the City of Olathe Water and Sewer service areas and a new Waterline Easement (WL/E) will be dedicated with this final plat.

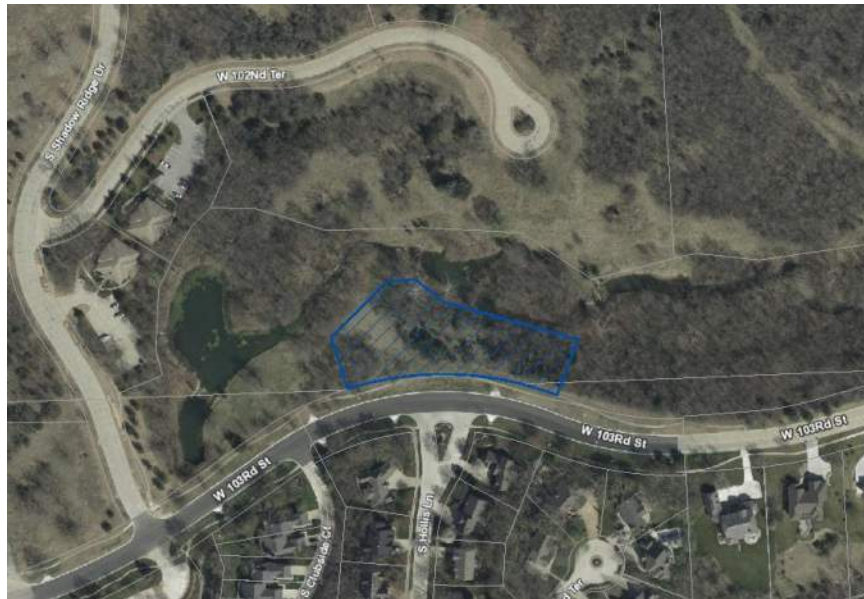
### 3. Excise Taxes:

This final plat is located within a completed Benefit District for Streets, the Cedar Creek Parkway Benefit District (34988), therefore, this plat is exempt from paying street excise taxes, per Olathe Municipal Code, Section 3.35.050.

Final plats are subject to a traffic signal excise tax of \$0.0098 per square foot of land for office zoning districts. The required excise tax must be submitted to the Planning Division prior to recording of the final plat.



*View of the subject property, looking north from W. 103<sup>rd</sup> Street*



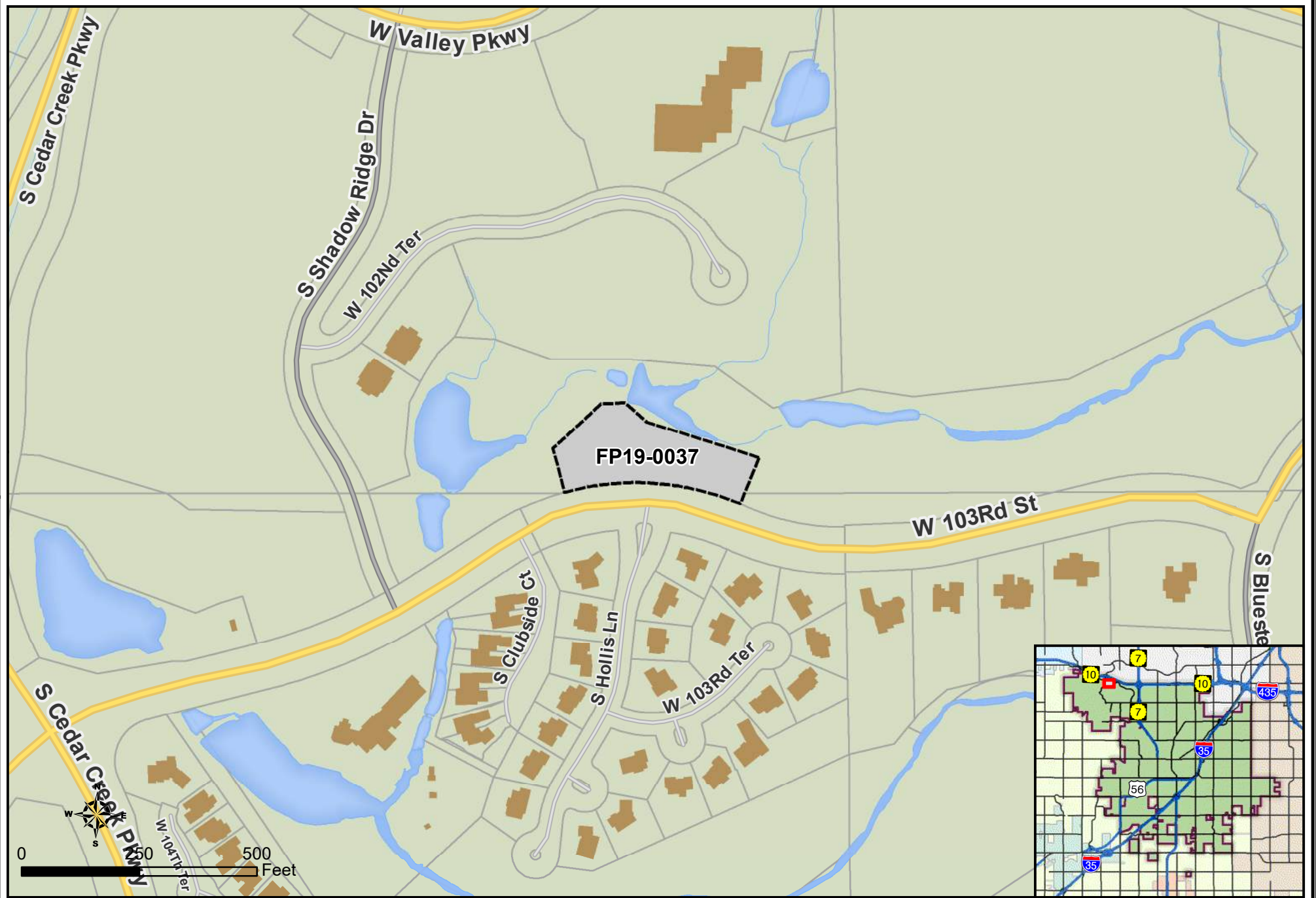
*Aerial view of site outlined in navy*

**Staff Recommendation:**

Staff recommends approval of FP19-0037, final plat for Cedar Creek Business Park, Campus F with the following stipulation:

- a. Prior to recording the plat, a digital file of the final plat (.pdf format) must be submitted to the Planning Division.





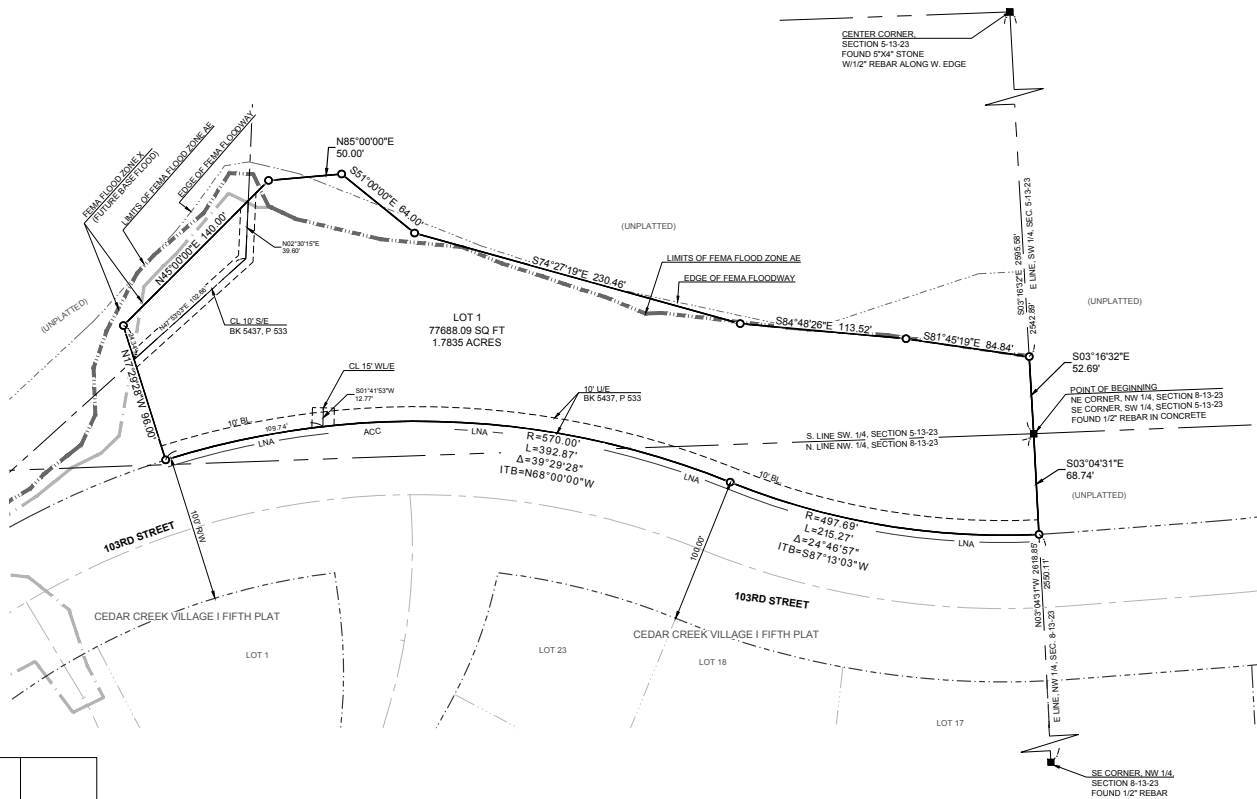
**CEDAR CREEK CAMPUS F**  
**FP19-0037**



User: jaredmd  
Date: 02/04/2020



FINAL PLAT OF  
CEDAR CREEK BUSINESS PARK, CAMPUS F  
PART OF THE SW. 1/4 OF SEC. 5-13-23 AND THE NW. 1/4 OF SEC. 8-13-23 IN  
THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS

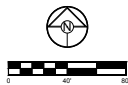


**FLOOD NOTE:**

A portion of this property lies within Flood Zone AE (Base Flood Elevations determined) and Zone X (Future Base Flood) Areas of 1% annual chance flood based on future conditions hydrology. Base Flood Elevations determined. The approximate location of the flood zones are shown herein scaled from the FIRM MAP # 20910046G, revised August 3, 2009. The remainder of this property lies within (ZONE X - Areas determined to be outside the 02% annual chance floodplain).

**LEGEND:**

- FOUND MONUMENT AS NOTED
- FOUND 1/2" REBAR WITH L.S.-54 CAP UNLESS OTHERWISE NOTED
- SET 1/2" REBAR WITH L.S.-54 CAP UNLESS OTHERWISE NOTED
- EXISTING LOT AND PROPERTY LINES
- EXISTING PLAT AND ROW LINES
- BL BUILDING LINE
- R/W RIGHT-OF-WAY
- SE SANITARY SEWER EASEMENT
- U/E UTILITY EASEMENT
- WUE WATER LINE EASEMENT
- ACC ACCESS
- LNA LIMITS OF NO ACCESS



**BASIS OF BEARINGS:**  
CEDAR CREEK VILLAGE I  
FIFTH PLAT  
HIDDEN LAKE NORTH

**EXECUTION:**

IN TESTIMONY WHEREOF, EYMAN & EYMAN INVESTMENTS, LLC, a Kansas limited liability company, by the authority of its Managing Member, has caused this instrument to be executed, this day of \_\_\_\_\_, 20\_\_.

EYMAN & EYMAN INVESTMENTS, LLC

By: \_\_\_\_\_ Member

**ACKNOWLEDGMENT:**

STATE OF KANSAS )  
COUNTY OF JOHNSON )

BE IT REMEMBERED that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, before me, the undersigned, a Notary Public in and for said County and State, came \_\_\_\_\_ Member of EYMAN & EYMAN INVESTMENTS, LLC, a Kansas Limited Liability Company, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and such duly acknowledged the execution of the same to be the act and deed of same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal on the day and year last above written.

Notary Public \_\_\_\_\_ My Commission Expires: \_\_\_\_\_

Print Name \_\_\_\_\_

**Description:**

A tract of land in the Southwest One-Quarter of Section 5, and the Northwest One-Quarter of Section 8, Township 13 South, Range 23 East, in the City of Olathe, Johnson County, Kansas, being more particularly described as follows:  
Beginning at the Northwest corner of the said Northwest One-Quarter of Section 8, thence South 03 degrees 04 minutes 31 seconds East, along the East line of the Northwest One-Quarter of said Section 8, a distance of 68.74 feet to a point on the Northern right-of-way line of 103rd Street as platted in Cedar Creek Village I, Fifth Plat, said point being on a curve; thence Westerly along said Northern right-of-way line and on a curve to the right having an initial tangent bearing of South 87 degrees 15 minutes 03 seconds West a radius of 497.69 feet, a central angle of 24 degrees 46 minutes 57 seconds, and an arc length of 215.27 feet to a point of reverse curvature; thence Westerly continuing along said Northern right-of-way line and on a curve to the left having an initial tangent bearing of North 03 degrees 00 minutes 00 seconds West a radius of 570.00 feet, a central angle of 39 degrees 23 minutes 29 seconds and an arc length of 392.87 feet; thence North 17 degrees 23 minutes 29 seconds West a distance of 96.00 feet; thence North 45 degrees 00 minutes 00 seconds East a distance of 140.00 feet; thence North 85 degrees 00 minutes 00 seconds East a distance of 50.00 feet; thence South 51 degrees 00 minutes 00 seconds East a distance of 64.00 feet; thence South 74 degrees 27 minutes 19 seconds East a distance of 230.46 feet; thence South 84 degrees 48 minutes 29 seconds East a distance of 113.52 feet; thence South 81 degrees 45 minutes 19 seconds East a distance of 84.84 feet to a point on the East line of the said Southwest One-Quarter of Section 5, thence South 03 degrees 16 minutes 32 seconds East, along said East line a distance of 52.69 feet to the Point of Beginning and containing 1.7635 acres or more or less.

**DEDICATIONS:**

The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "CEDAR CREEK BUSINESS PARK, CAMPUS F".

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of water pipes and associated facilities, upon, over and under these areas outlined and designated on this plat as "Water Line Easement" or "WLE" is hereby granted to the City of Olathe, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

The undersigned proprietor of said property shown on this plat hereby certifies that all prior existing easement rights on land to be dedicated for public use and public ways and thoroughfares running to any person, utility or corporation have been abolished except that same person, utility or corporation shall retain whatever easement rights they would have as if located in a public street.

**RESTRICTIONS:**

All landscaping and related materials that are planted or constructed within the adjacent Street right-of-way shall be maintained by the Property Owners and the Developer, or their authorized representatives therefor.

The undersigned proprietor of the described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of the unpaid special assessment on such land dedicated shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public ways or thoroughfares.

The use of all lots, units and properties in this subdivision shall hereafter be subject to the Declarations, which instruments are to be recorded in the Office of the Registrar of Deeds of Johnson County, Kansas, as provided above, and which shall hereby become a part of the dedication of this plat as though set forth herein.

NOTICE: This site is served by a regional stormwater detention facility.

**APPROVALS:**

APPROVED by the Planning Commission of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Chairman, C.S. VAKAS

APPROVED by the Governing Body of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Mayor, MICHAEL COPLAND

City Clerk, DAVID F. BRYANT III, MMC



Aaron T. Reuter - Land Surveyor  
KS# 15-1429

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
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DATE 12-12-2019  
DRAWN BY SCH  
CHECKED BY JWJ  
PROJ. NO. 18-144

FINAL PLAT OF  
CEDAR CREEK BUSINESS PARK  
CAMPUS F  
SHEET NO. 1



## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application</b>	<b><u>PR19-0032</u> Revised Preliminary Site Development Plan for Lone Elm Commerce Center</b>
<b>Location</b>	Vicinity of W. 167 <sup>th</sup> Street and Lone Elm Road
<b>Applicant</b>	Rob Sangdahl, Lineage Logistics
<b>Owner</b>	Hal Wenzel II, BHJ Holdings LLC
<b>Engineer</b>	Judd Claussen, Phelps Engineering, Inc
<b>Staff Contact</b>	Kim Hollingsworth, AICP, Senior Planner

**Site Area:** 122.5± acres

**Proposed Use:** Cold Storage/  
Refrigerated Warehouse

**Zoning:** M-2 (General Industrial)

**Plat:** Unplatted

	<b>Plan Olathe Land Use Category</b>	<b>Existing Use</b>	<b>Current Zoning</b>
<b>Site</b>	<b>Employment Area</b>	<b>Vacant</b>	<b>M-2</b>
<b>North</b>	Employment Area	I-35 Right-of-Way	N/A
<b>South</b>	Employment Area	Industrial	M-2
<b>East</b>	Employment Area	Vacant	M-2
<b>West</b>	Employment Area / Secondary Greenway	Single-Family / Agricultural	N/A

### 1. Introduction

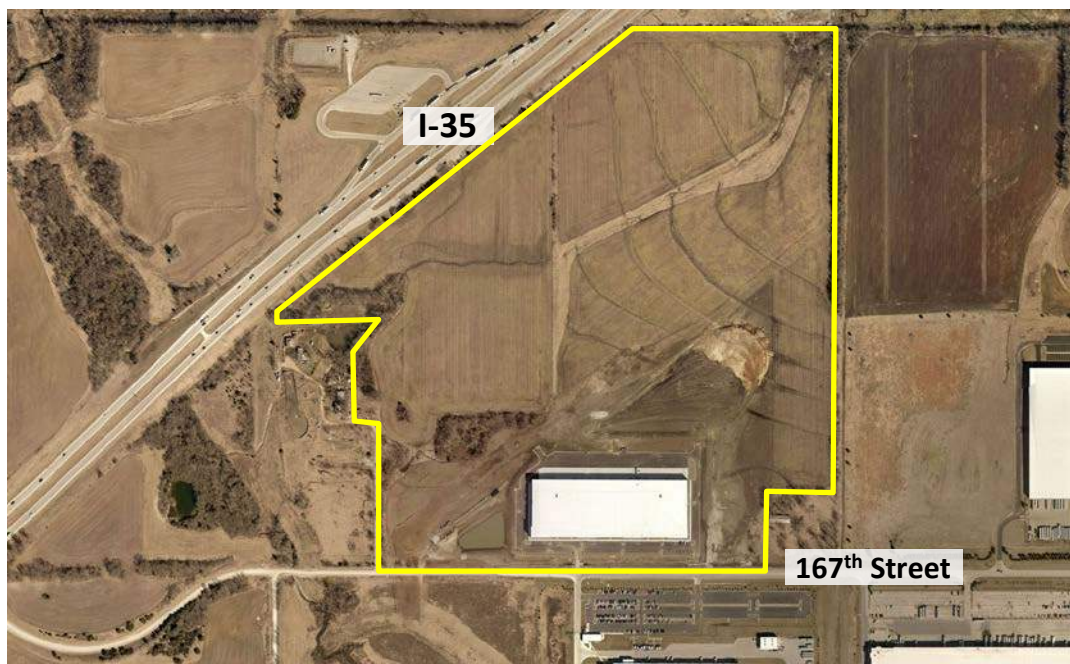
The following item is a revised preliminary site development plan for Lone Elm Commerce Center northwest of W. 167<sup>th</sup> Street and Lone Elm Road. The applicant is seeking approval for a 407,940 square foot refrigerated warehouse facility for Lineage Logistics. The warehouse would replace four planned industrial buildings totaling approximately 1.2 million square feet previously approved through the existing preliminary site development plan.

The proposed building is an automated freezer facility for the storage and distribution of cold food products. The proposed building consists of 165,454 square feet of cooler space maintained at 35°F, 53,960 square feet of freezer space kept at -5°F, a blast area at -40°F and 33,428 square feet of building area devoted to the tempering process. The proposed

plans also include a 22,380 square foot office area in the southwest portion of the building, an outdoor amenity area for employees and loading docks along the south facing façade of the building. Lineage Logistics has facilities located internationally as well as throughout the United States and this facility would be the first newly constructed facility for the company in the Kansas City region.

## 2. History

The property is designated as Employment Area on the PlanOlathe future land use map and is surrounded by properties within the Employment Area. A rezoning to the M-2 General Industrial District and preliminary site development plan for Lone Elm Commerce Center (RZ17-0006) were approved in September 2017. The overall development consisted of eight lots for large office/warehouse buildings with a total area of 1,988,690 square feet. The property is currently unplatted and two plats have already been approved in Lone Elm Commerce Center for a 210,000 square foot industrial building and outdoor storage area. A final plat of Lone Elm Commerce Center, Third Plat (FP19-0038) is also on this agenda for Planning Commission consideration.



*Aerial View of Subject Property*

## 3. Zoning Requirements

- a. **Uses** – The cold storage facility is a permitted use within the M-2 District and is compatible with other uses in the surrounding M-2 and MP-2 industrial districts.
- b. **Setbacks** – The proposed building setback significantly exceeds the minimum setbacks in the M-2 District of 30 feet in the front yard and 10 feet for the side and rear yard setbacks. The building will be located approximately 320 feet from Erickson Street and 479.5 feet from the rear property line adjacent to Interstate 35.

- c. **Height** – The maximum height typically permitted in the M-2 District is 55 feet; however, buildings can be constructed to a maximum height of 144 feet or 12 stories if enhanced site design and landscape buffers are established in conjunction with the increased building height. The proposed building is designed to a maximum height of 88 feet to accommodate the storage pallets within the cold storage portion of the building. The office and loading dock areas are proposed at a lower maximum height of 51 feet. Staff is supportive of the proposed height of the building due to the increased setbacks from all property lines and the use of significant landscaping berms, screening and buffering throughout the property.

#### 4. Development Requirements

- a. **Site Access** – The access and street layout for Lone Elm Commerce Center will be largely consistent with the layout shown on the previous preliminary site development plan. The internally located collector roadway, S. Erickson Street will be extended northeast to provide access for the proposed development and future buildings on Lots 3 and 4. The site will also receive secondary access from the driveway located directly east of the existing building on Lot 1. The future collector roadway, Monticello Road, located east of Lot 3 will be constructed during a future phase of development in Lone Elm Commerce Center.
- b. **Truck/Trailer Stacking** – The main entry into the proposed facility includes a long access drive that leads to a gated entry point with a guard shack to meet the off-street staging requirements. The driveway is 478 feet in length and is designed to accommodate a double-wide inbound capacity of 10 truck/trailers that are 85 feet in length. The applicant expects that the interaction between the driver and guard house attendant is typically less than one minute and the facility has an estimated frequency of 20 trucks per hour. The access driveway is also designed so the gate could be moved further into the site to provide additional on-site staging area if warranted by future demand.
- c. **Parking** – On-site parking will be provided through a combination of parking for employees, trailer parking spaces and opportunities for deferred parking. The number of required parking spaces for the proposed refrigerated/cold storage use is 272 parking spaces. The applicant is requesting a total of 171 parking spaces for passenger vehicles due to the unique staffing needs for a primarily automated facility. There will typically be no more than 50 employees on-site at one time with a maximum of 100 employees during a once-daily shift change. The additional parking spaces are planned to accommodate visitors, repair personnel and vendors. The remainder of the 100 spaces typically required by the UDO are shown as deferred parking within the western portion of the property.

The preliminary site development plan shows a total of 255 trailer parking spaces throughout the development. These parking areas will be screened from street right-of-way and meet required parking/paving setbacks. The applicant estimates about 200 truck trips per day in and out of the property. Sufficient parking spaces are provided for an 85-foot-long trailer to be separated into a tractor and trailer unit within the parking spaces measuring 50 feet in length. An area within the northwest portion of the site shows an additional 24 deferred parking spaces for trailer parking.

- d. **Landscaping/Screening** – The landscape plan includes a variety of evergreen, deciduous and ornamental trees throughout the overall development area. Street trees will be provided on both sides of the entire length of Erickson Street where they will not conflict with utilities. Landscaping is disbursed throughout parking areas and building foundation landscaping is provided adjacent to the office portion of the building.

A significant berm and landscape buffer will be provided along the northern portion of the property adjacent to Interstate 35. A double row of evergreens within the landscape buffer will provide screening of the parking area to the rear of the building. There are existing trees along the north and west property lines. The preliminary landscape plan indicates areas where existing vegetation will remain, and additional trees will be added to fill any gaps to fulfill the Type 3 Landscape Buffer requirements. Additionally, the entire property will be enclosed in a 6-foot tall fence that will consist of black vinyl coated chain link along all boundaries except fencing adjacent to Erickson Street will be upgraded to a black aluminum picket fencing.

- e. **Tree Preservation** – The site and surrounding vicinity contain several mature tree stands along the west and north property boundaries. The landscape plan indicates areas for preservation of existing landscaping to provide additional screening from Interstate 35 and preservation of vegetation in the wetland areas within the western portion of the property. Tree preservation fencing to delineate areas for preservation will be required throughout the construction process.
- f. **Lighting** – The site will meet parking and building lighting requirements as reviewed with the final development plan.
- g. **Stormwater/Detention** – The property will contain two primary stormwater and detention areas which are located adjacent to existing wetland areas on the property. The site was designed so existing wetland areas in the western portion of the property are not disturbed by the development.
- h. **Public Utilities** – The site is located within the City of Olathe sewer and WaterOne service areas. Public utilities including water and sanitary sewer lines will be extended along Erickson Street to serve the subject property.

## 5. Site Design Standards

The subject property is located in the PlanOlathe Employment Area future land use map designation; and is subject to requirements of **Site Design Category 5** per *UDO, Section 18.15.125*. The following is a summary of the site design elements proposed on site:

- a. **Parking Area** – Parking area for developments must be designed in pods no greater than 160 stalls. The 171 parking spaces will be separated into pods of approximately 57 parking spaces thus meeting the requirement.
- b. **Pedestrian Connectivity** – Adequate pedestrian connections must be provided to surrounding development, parking areas and transit stops. A five-foot sidewalk will be constructed along Erickson Street and connect internally into the development with a designated crosswalk for pedestrians.
- c. **Drainage Features** – The development will comply with requirements for open detention or drainage features. The drainage basin within the northwest portion of the property is designed to function as a natural vegetative feature and will have minimal visibility from adjacent properties.
- d. **Landscape Buffer Area** – The development significantly exceeds the requirement for the building to be setback with significant landscaping areas adjacent to major roadways and residential properties.

## 6. Building Design Standards

The development is subject to **Building Design Category E** as established with the rezoning of the property in 2017 (Ordinance No. 17-38). The building meets several of the design criteria, but the applicant is requesting waivers for some design standards due to the unique structural components and nature of the building.

<b><i>Design Standard</i></b>	<b><i>UDO Requirement (Category E)</i></b>
<i>Horizontal Articulation</i>	<p><b><i>One or more wall offsets, notch or projections must be used every 100' of primary façade width.</i></b></p> <p>Vertical panels will be attached to the building every 100 feet to provide increased articulation of the north façade. Additionally, colored decorative skin panels will be attached to both primary facades to create increased articulation and visual interest of the facades.</p>
<i>Vertical Articulation</i>	<p><b><i>Variation in height or roof form must be used every 100' of primary façade width.</i></b></p> <p>The overall structure has varying roof heights especially when viewed from the main entrance to the building. Vertical panels will be attached to the building to provide a variation in height of at least 4 feet on the primary, north façade. The south primary façade will include raised parapets at least every 100 feet to meet the UDO requirement.</p>
<i>Focal Point Element</i>	<p><b><i>Towers, raised parapets, cap elements or pitched roof elements are required on primary facades.</i></b></p> <p>Raised parapets will be provided on both primary facades at least every 100 feet of façade width. Additionally, tower elements with columns and significant glass will be provided at the corners of the office portion of the building.</p>
<i>Façade Expression Tools</i>	<p><b><i>A change in materials, expression line, awnings, arcade elements or an ornamental cornice are required on primary facades.</i></b></p> <p>All facades contain expression lines measuring at least 42' in width through a different band of color. Additionally, an ornamental cornice will be used on the north and south primary facades.</p>
<i>Transparent Glass</i>	<p><b><i>Requirement for 20% glass on primary facades.</i></b></p> <p>The proposed elevations include 0.9% transparent glass on the primary facades. A waiver is being requested from this requirement due to the specific insulation needs for a cold storage facility.</p>
<i>Overhead Doors</i>	<p><b><i>Overhead doors for vehicular access may not be located on a primary façade.</i></b></p> <p>Overhead doors will only be located on the primary south façade which faces internally into Lone Elm Commerce Center. A waiver is being requested from this requirement.</p>

- a. **Building Materials** – The proposed building elevations, material percentages and conceptual renderings are included in the packet for reference. The applicant also provided material samples for the architectural metal and images of similar recently constructed buildings. The applicant is requesting waivers for the minimum building material requirements of Building Design Category E as detailed in the waiver request letter.

#### **Proposed Building Materials**

<b>Primary Facade</b>	<b>Category 1 (Min. UDO requirement 70%)</b>	<b>Category 2 (Max. UDO requirement 30%)</b>
North Elevation	Glass/ Detailed Concrete <b>(10.49%)</b>	Architectural Metal/ Concrete <b>(89.51%)</b>
South Elevation	Glass/ Detailed Concrete <b>(56.72%)</b>	Architectural Metal/ Concrete <b>(43.28%)</b>

<b>Secondary Facades</b>	<b>Category 1 (Min. UDO requirement 50%)</b>	<b>Category 2 (Max. UDO requirement 50%)</b>
East Elevation	Glass/ Detailed Concrete <b>(15.53%)</b>	Architectural Metal/ Concrete <b>(84.47%)</b>
West Elevation	Glass/ Detailed Concrete <b>(37.06%)</b>	Architectural Metal/ Concrete <b>(62.94%)</b>

## **7. Waiver Requests**

The applicant is requesting waivers from the following sections of the Unified Development Ordinance due to the specific nature and layout of the building as an automated freezer facility:

- Exterior building materials for Building Design Category E (UDO Section 18.15.045.E and F)
- Transparent glass on primary facades for Building Design Category E (UDO Section 18.15.045.D)
- Concealed downspouts on primary façades (UDO Section 18.15.020.E.9)
- Overhead doors on primary facades for Building Design Category E (UDO 18.15.045.H)

The waiver request letter provided by the applicant and the analysis of each criteria for waiver requests from UDO, Section 18.40.240.D can be found in this packet.

## **8. Staff Analysis of Waiver Requests**

Staff worked closely with the applicant to understand the unique functionality and design needs of the building as an automated freezer facility. The applicant provided detailed narratives, material samples and precedent images of the proposed facility to convey the reasoning behind specific design choices to accommodate the business needs of the operation. The applicant was also very amendable to suggestions from staff and revised the building elevations significantly from the initial submittal to more closely align with building design standards.

Staff is supportive of the waiver request regarding minimum building material percentages on primary/secondary facades and the request regarding the minimum glass percentages on primary facades. The proposed architectural metal is classified as a Category 2 material for Building Design Category E. High-quality insulated architectural metal is a durable material that can produce a streamline and professional design within employment and industrial areas. The architectural metal would be valued as a Class 1 (high-quality) material in the current UDO and the applicant has provided sufficient justification regarding the thermal needs of the building that would be more challenging with other Category 1 building materials.

The applicant also employed a creative use of articulation tools through the attached colored panels and expression lines in the building. This design provides increased visual interest that would typically be achieved with the distribution of glass and other materials throughout the building. Finally, the applicant is providing significant berms and screening along Interstate 35 as depicted in the submitted renderings which decreases the building area visible from adjacent properties.

Staff is supportive of the requests for overhead doors and downspouts on the primary facades. The design requirement for the overhead doors is in place to encourage service areas to be located out of public view. The location of the doors internal to the property will be the least visible façade from Interstate 35 where the majority of the public would be located. Additionally, the downspouts will be painted to match the exterior building color and the building will be setback so significantly from property lines that they are expected to blend with the entire building façade.

## **9. Neighborhood Meeting/ Public Correspondence**

The applicant sent notice to all properties within 1,000 feet of the proposed development which exceeds minimum neighborhood notice and waiver request notice requirements. Planning Staff have not received any public feedback or correspondence regarding the proposed project.

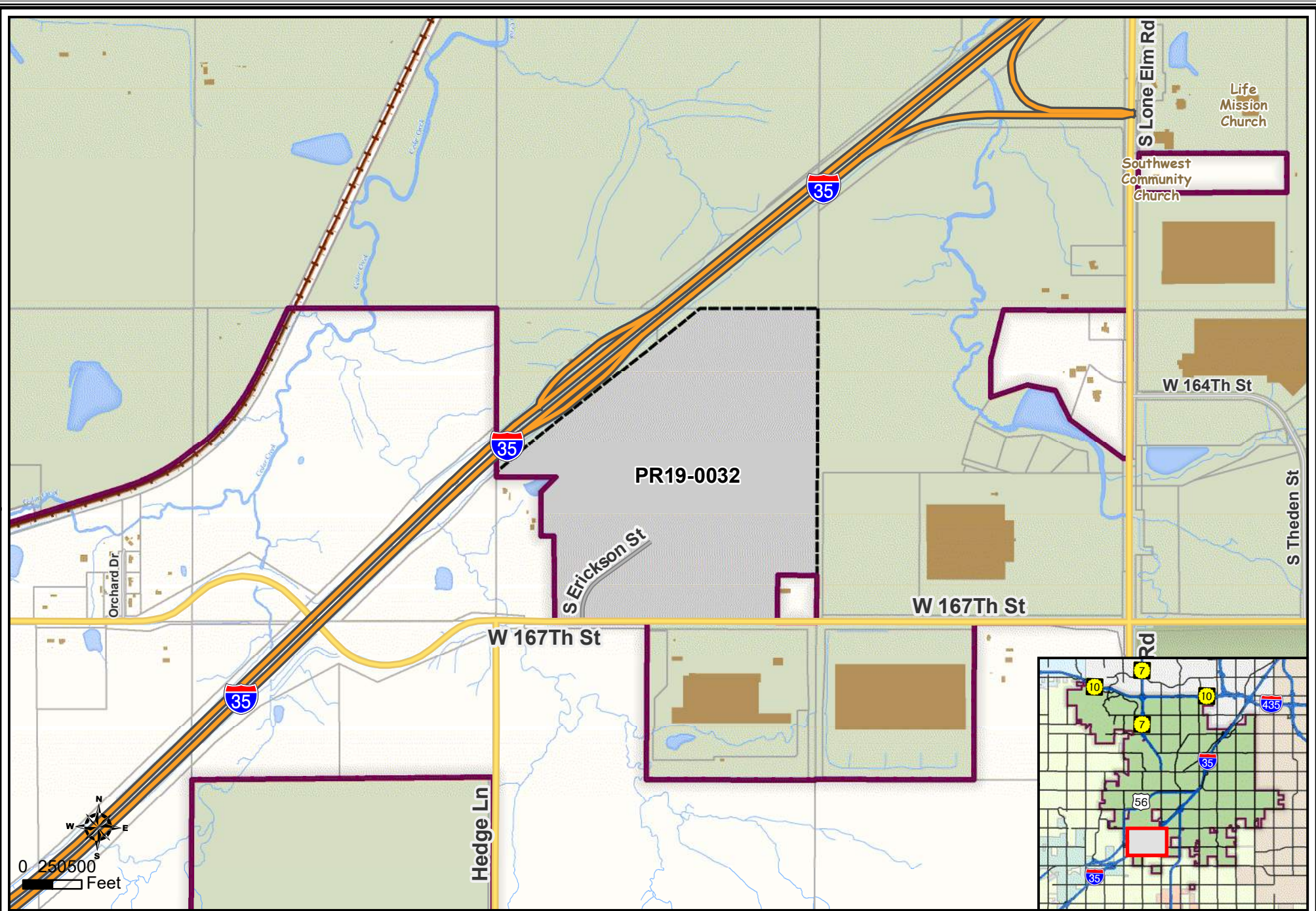
## **10. Recommendation**

Staff recommends approval of the preliminary site development plan (PR19-0032) with the following stipulations:

1. A final site development plan must be approved and a final plat recorded prior to issuance of a building permit.
2. A waiver is granted from UDO Section 18.15.045.E and F to permit the quantity of Category 1 and 2 materials as shown on the submitted elevations.
3. A waiver is granted from UDO Section 18.15.045.D to permit the quantity of transparent glass on primary facades as shown on the submitted elevations.

4. A waiver is granted from UDO Section 18.15.020.E.9 to permit exposed downspouts on primary facades that will be painted to match the adjacent building façade.
5. A waiver is granted from UDO Section 18.15.045.H to permit overhead doors on the primary south façade as shown on the submitted elevations.
6. The development is subject to the City's public art ordinance (No. 19-80).
7. Erickson Street will be extended to the east plat line and will have plans approved and bonded prior to release of a building permit.
8. Erickson Street will be constructed prior to certificate of occupancy for the building.
9. The private drive between Lot 1 and 3 from 167<sup>th</sup> Street to Erickson Street must be constructed prior to certificate of occupancy for the building.
10. Security gates across a fire apparatus access road must be approved by the Fire Department.





**LONE ELM COMMERCE CENTER**  
**PR19-0032**



User: jaredmd  
Date: 02/19/2020





NOTE: OPEN SPACE CALCULATIONS INCLUDE ALL LOTS AND TRACTS. OPEN SPACE CALCULATIONS EXCLUDE RIGHT OF WAY. TOTAL OPEN SPACE TAKES INTO ACCOUNT ALL FUTURE PAVEMENT.

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SHEET  
C4

[illegible]

1. Location of all existing utilities must be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field of the landscape to be protected coverage of ground plane. The following applies for individual plantings:
  - A. Creeping groundcover shall be a minimum of 6" from paved edge.
  - B. Field of groundcover shall be a minimum of 12" from paved edge.
  - C. All plantings of the same species shall be equally spaced apart and placed for best aesthetic viewing.
  - D. All shrubbery shall be a minimum of 2' from paved edge.
  - E. All plants at planting bed areas to a minimum depth of 3'. Much individual trees to a minimum depth of 4'.
3. All trees shall be not less than 12" in diameter and shall remain.
4. In the event of work in or on a JCW sanitary man, any trees or plantings adjacent to the work excavation shall be removed with replacement of same. The cost thereof and shall be replaced by the property owner as required by the City.
5. All landscaped areas in ROW shall be sodded or irrigated unless otherwise specified.
6. Exterior ground-mounted or building-mounted equipment including, but not limited to, air conditioning units, exhaust fans, and roof top air conditioning must be screened from public view with three (3) sided landscaping or with an architectural treatment compatible with the building.

### Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

### Installation

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 15-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
- 6.1. Landscape contractor shall maintain all plant material until final

## Landscape Calcs M-2 Zoning

### Street Trees

**Street Trees**  
Street Trees shall be spaced as uniformly as possible, with an average spacing of forty (40) linear feet between trees. Street trees may count toward the required number of trees within the interior of the lot only in residential districts for single-family and two-family dwellings.

Non-residential Buffer Landscaping (adjacent to Street ROW or Non-Residential Use)

**Non-Residential Use:** If the property is zoned or designated on the Comprehensive Zoning Map for nonresidential use, a continuous ten (10) foot landscape area shall be provided with landscaping at a rate of one (1) deciduous shade or evergreen tree for every fifty (50) feet of linear property, and screening (berms/shrubs) across twenty-five (25) percent of all parking and vehicular use areas to a minimum height of three (3) feet as measured from the grade of the parking and vehicular use areas. In addition, one (1) ornamental tree shall be planted for every three (3) required deciduous shade or evergreen tree.

1,365 Total Linear Footage of South Property Line.

PLEASE EXISTING VEGETATION PRESERVED FOR 193' OF FRONTAGE.

*Revised 10/26/2017*

#### Perimeter Parking and Vehicular use area Landscaping

**Requirements Met:**

#### Interior Landscaping Within Parking and Vehicular Use Areas

One (1) shade tree shall be provided for every parking and vehicular use landscape island.  
*Requirements Met.*

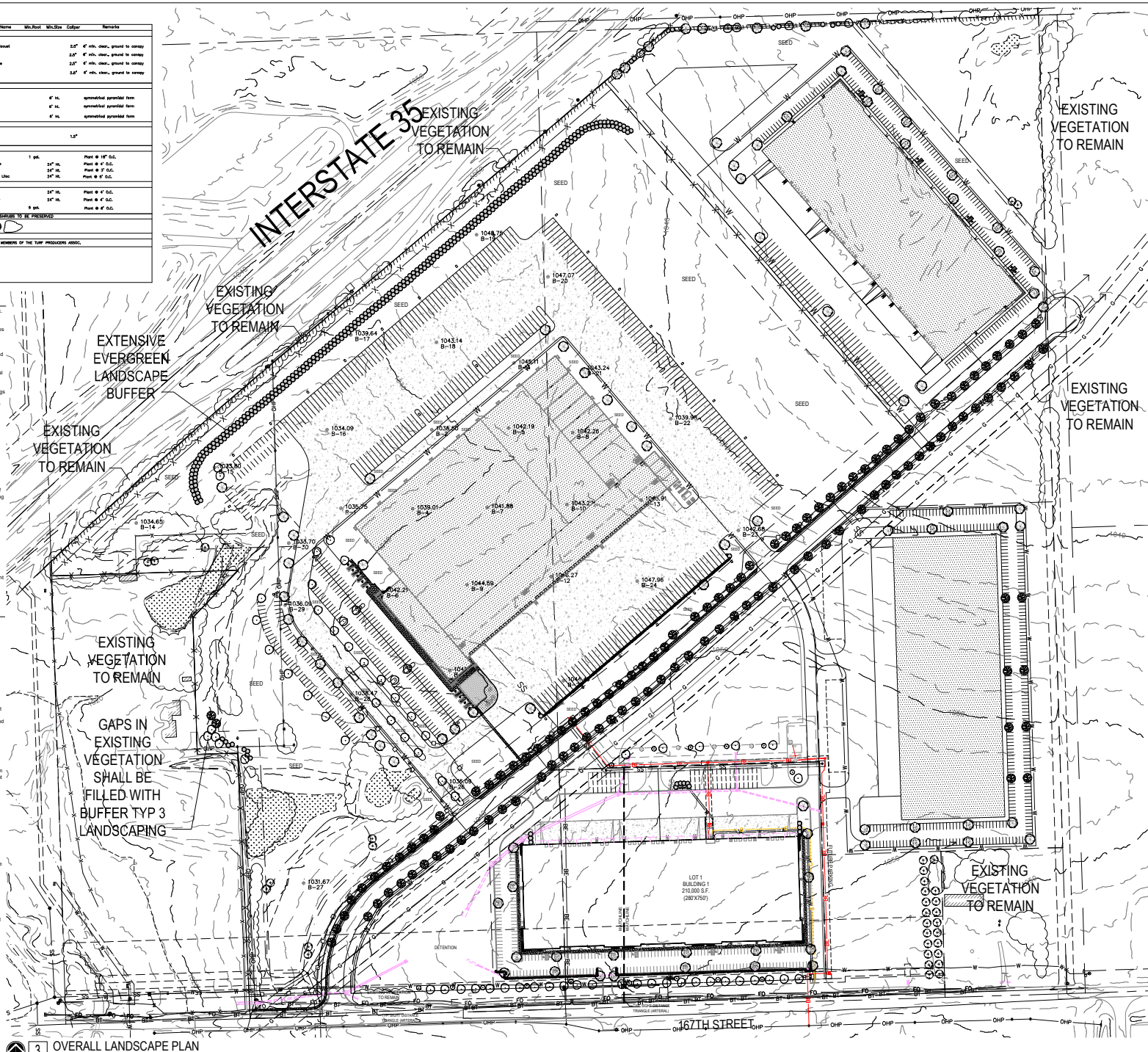
### Building Facade/Foundation Landscaping

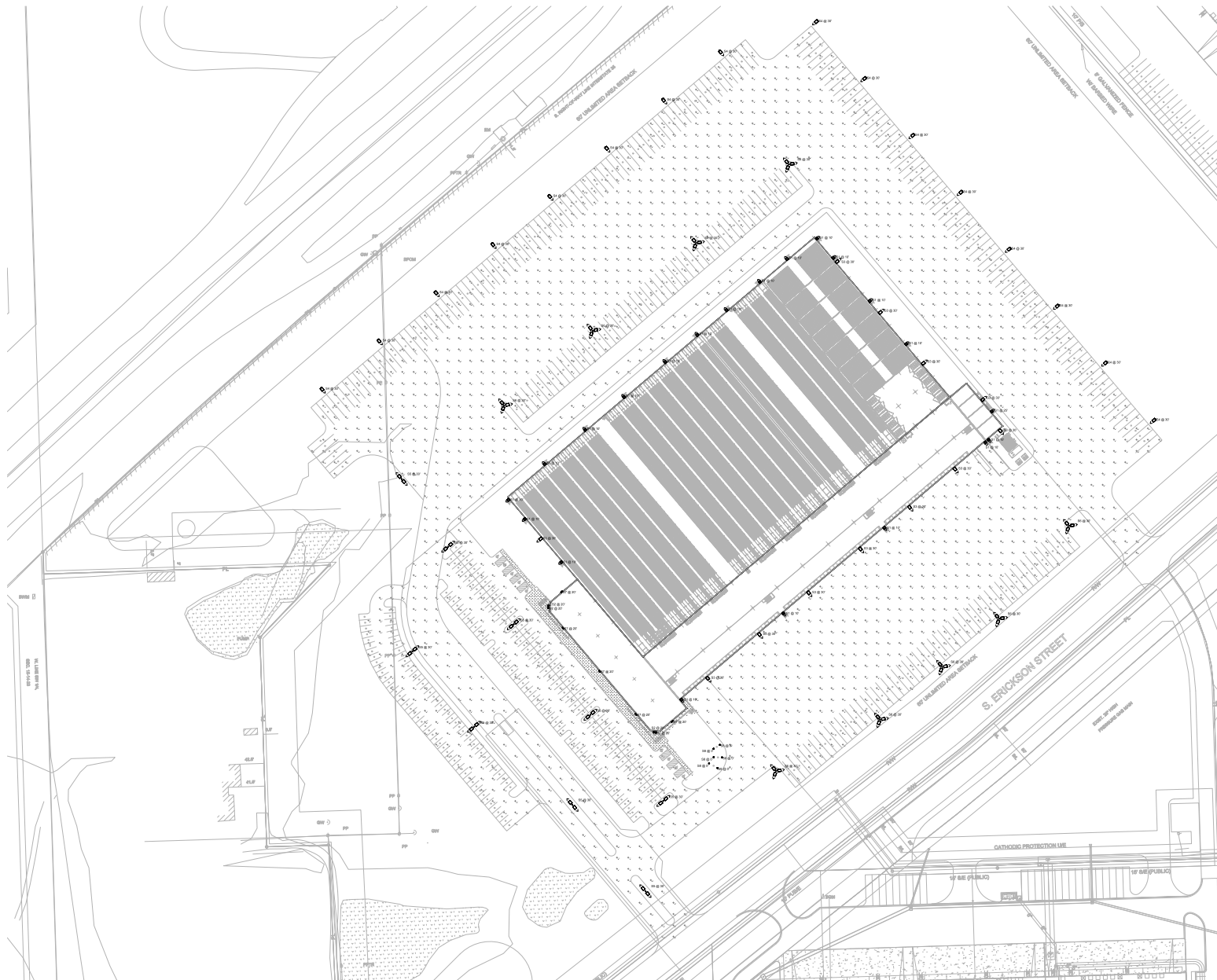
Along any building facade or foundation that fronts upon a public right-of-way or a parking lot provided for the building, landscape areas shall be provided equivalent to a minimum of twenty-five (25) percent of each building facade or foundation. Each landscape area shall be planted with shrubs capable of reaching three (3) feet in height above the adjacent parking area or drive, covering a minimum of seventy-five (75) percent of the length of the landscape area. West and East sides are 284' long. 71' of landscape required. South side is 758' long. 190' of landscape required.

**Requirements Met.**

### Landscape Screening

Trash containers, trash compactors, shall be screened from public view on all four sides: on three (3) sides with a six (6) to eight (8) foot solid wall constructed of masonry and on one (1) side with a gate and the container/compactor areas shall be appropriately landscaped. Dock areas shall also be appropriately landscaped.





## Site Photometric Statistics

### PARKING LOTS / DRIVEWAYS

AVERAGE = 15 FC  
MAXIMUM = 52 FC  
MINIMUM = 03 FC  
MAX/MIN = 1731  
AVE/MIN = 501

### PEDESTRIAN WALKWAYS

AVERAGE = 2.4 FC  
MAXIMUM = 03 FC  
MINIMUM = 03 FC  
MAX/MIN = 111  
AVE/MIN = 301

## Site Luminaire Schedule

### TYPE S1 - LED WALLPACK

LITHONIA LIGHTING MODEL #OLM14-W1 W/ FC05-WH-N24  
5000K, 1430 LM, 15 W, D1-U2-60

### TYPE S2 - LED DOWNLIGHT

GOOTAM LIGHTING MODEL #EVOB-A2/10-AR-WD-LSS-MVOLT-6210  
4000K, 1287 LM, 31 W

### TYPE S3 - LED AREA WALLPACK

LITHONIA LIGHTING MODEL #DSXLED-PA-AK-TFTM-MVOLT-WBA-DWHDD  
4000K, 33330 LM, 270 W, D3-U2-65

### TYPE S4 - LED AREA FIXTURE SINGLE POLE MOUNT

LITHONIA LIGHTING MODEL #DSXLED-P6-AK-TFTM-MVOLT-RFA-DWHDD  
4000K, 40785 LM, 343 W, D4-U2-65

### TYPE S5 - LED AREA FIXTURE TWIN POLE MOUNT

(2) LITHONIA LIGHTING MODEL #DSXLED-P2-AK-T5W-MVOLT-RFA-DWHDD  
4000K, 49620 LM, 370 W, D5-U2-64

### TYPE S6 - LED AREA FIXTURE TRIPLE POLE MOUNT

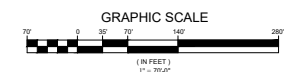
(3) LITHONIA LIGHTING MODEL #DSXLED-P3-AK-T5W-MVOLT-RFA-DWHDD  
4000K, 74430 LM, 555 W, D5-U2-64 4000K, 24310 LM, 185 W, D5-U2-64

### TYPE S7 - LED WALLPACK

LITHONIA LIGHTING MODEL #DSXWLED-10C-100-AK-T2M-MVOLT-DWHDD  
4000K, 5360 LM, 47 W, D1-U2-62

### TYPE S8 - LED IN-GRADE FLOOD LIGHT FLARE/FLIES

HYDREL MODEL #M710C-A-LED-P3-AK-MVOLT-NFL-FLC-DNA  
4000K, 4303 LM, 46 W



## PROJECT FROSTY - OLATHE, KS Site Lighting Plan





View from Erickson Street



PROJECT FROSTY - OLATHE, KS

## Building Rendering

RKB

zero campanelli drive, braintree, ma 02184 [www.rkbarch.com](http://www.rkbarch.com)

February 10, 2020

ds 17.00A



View from I-38



PROJECT FROSTY - OLATHE, KS

## Building Rendering

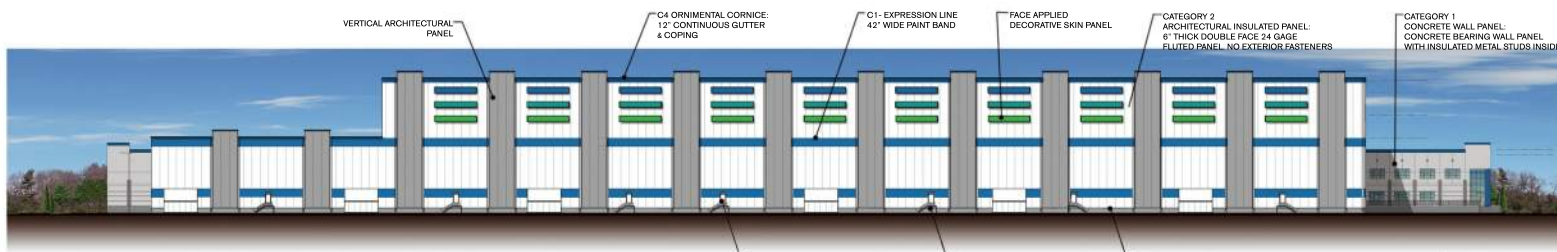
RKB

zero campanelli drive, braintree, ma 02184 [www.rkbarch.com](http://www.rkbarch.com)

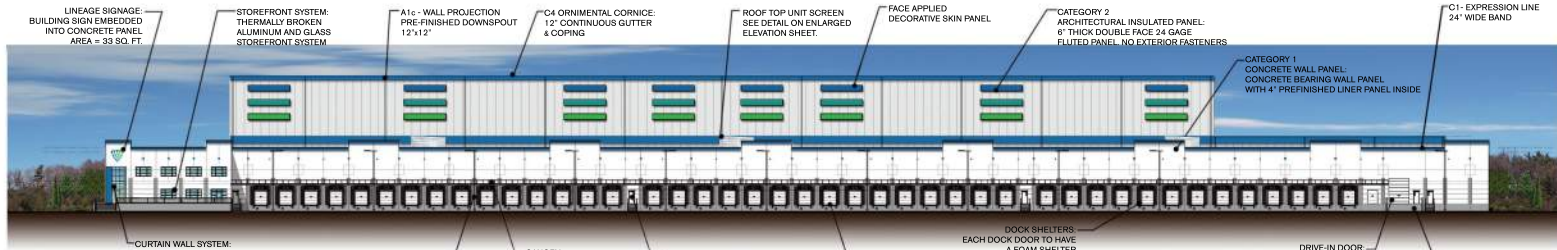
February 10, 2020

ds 17.00B

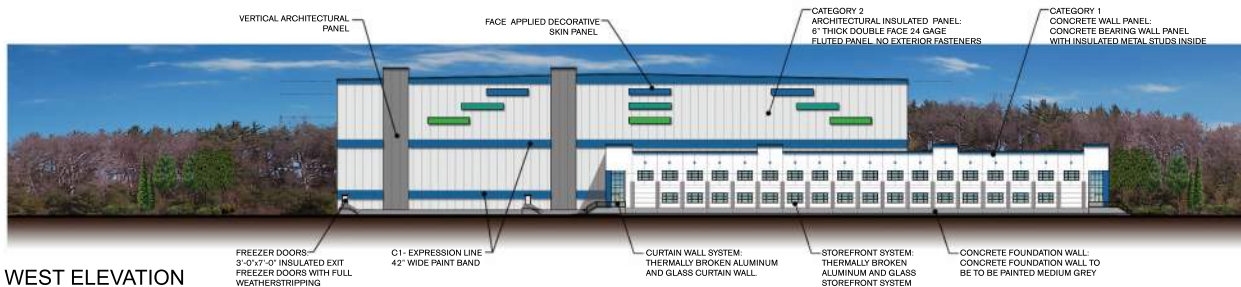




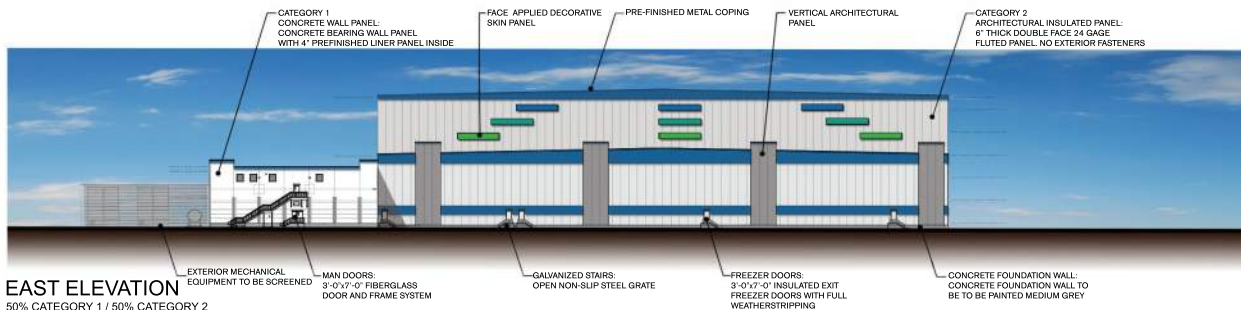
**PRIMARY NORTH ELEVATION**  
70% CATEGORY 1 MATERIAL / 30% CATEGORY 2 MATERIAL



**PRIMARY SOUTH ELEVATION**  
70% CATEGORY 1 MATERIAL / 30% CATEGORY 2 MATERIAL



**WEST ELEVATION**  
50% CATEGORY 1 / 50% CATEGORY 2



**EAST ELEVATION**  
50% CATEGORY 1 / 50% CATEGORY 2

## PRIMARY NORTH ELEVATION

BUILDING AREA	PERCENT
CONCRETE AREA = 5,595 S.F.	9.62%
GLASS = 504 S.F.	0.87%
ARCHITECTURAL INSULATED PANEL = 52,071 S.F.	89.51%
TOTAL AREA = 58,170 S.F.	100%

## PRIMARY SOUTH ELEVATION

BUILDING AREA	PERCENT
CONCRETE AREA = 31,851 S.F.	55.84%
GLASS = 504 S.F.	0.88%
ARCHITECTURAL INSULATED PANEL = 24,681 S.F.	43.28%
TOTAL AREA = 57,036 S.F.	100%

## WEST ELEVATION

BUILDING AREA	PERCENT
CONCRETE AREA = 9,996 S.F.	30.72%
GLASS = 2,064 S.F.	6.34%
ARCHITECTURAL INSULATED PANEL = 20,474 S.F.	62.94%
TOTAL AREA = 32,534 S.F.	100%

## EAST ELEVATION

BUILDING AREA	PERCENT
CONCRETE AREA = 4,808 S.F.	15.53%
GLASS = 0 S.F.	0.00%
ARCHITECTURAL INSULATED PANEL = 26,727 S.F.	84.47%
TOTAL AREA = 31,535 S.F.	100%

ALL ROOF TOP EQUIPMENT TO BE FULLY SCREENED



PROJECT FROSTY - OLATHE, KS

# Rendered Elevations - E

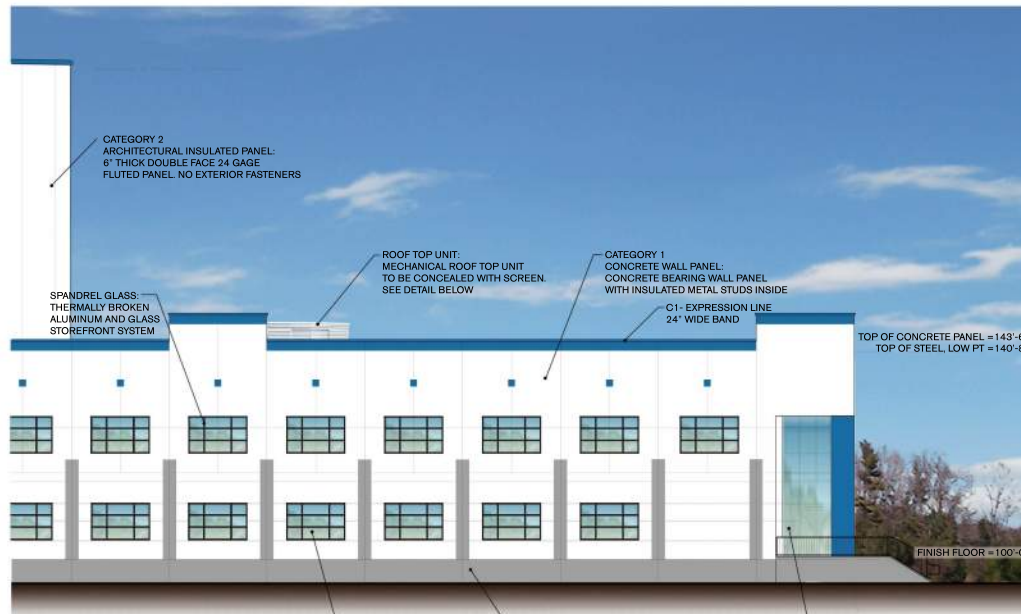
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zero campanelli drive, braintree, ma 02184

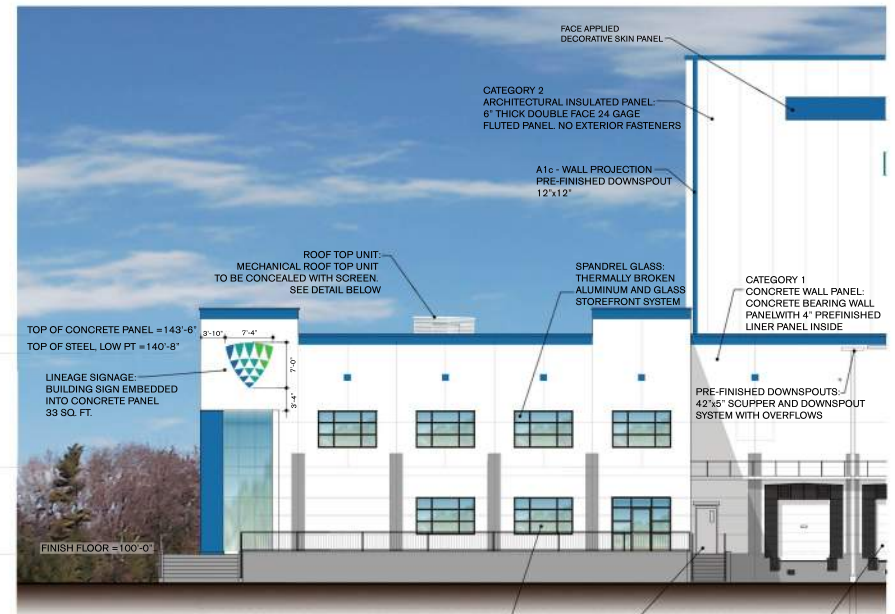
www.rkbarch.com

February 10, 2020

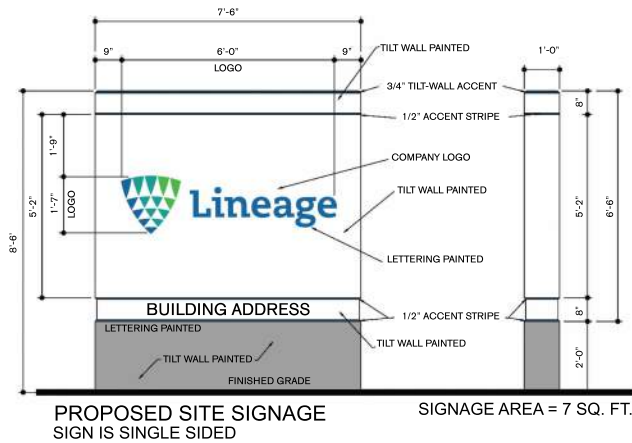
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ENLARGED WEST ELEVATION



ENLARGED PRIMARY SOUTH ELEVATION



- MONUMENT SIGNAGE:**
- ALLOWABLE NUMBER OF SIGNS PER SITE = 2
  - ACTUAL NUMBER OF SIGNS = 1
  - REQUIRE SETBACK FOR SIGNAGE = 15'-0"
  - ALLOWABLE MAX HEIGHT FOR SIGNAGE = 15'-0"
  - ACTUAL HEIGHT OF SIGNAGE = 8'-6"
  - ALLOWABLE SIGN FACE AREA = 65 SQ. FT.
  - ACTUAL SIGN FACE AREA = 7 SQ. FT.
  - ALLOWABLE SIGN WIDTH NOT TO EXCEED 25% OF SIGN FACE
  - ACTUAL SIGN WIDTH: 7'-6" WHICH IS THE MAX ALLOWED WIDTH
  - 6'-0" SIGN FACE x 25% = 1'-6" EXTRA WIDTH (7'-6" TOTAL)
  - LANDSCAPING IS REQUIRED AROUND SIGNAGE.



EQUIPMENT SCREEN

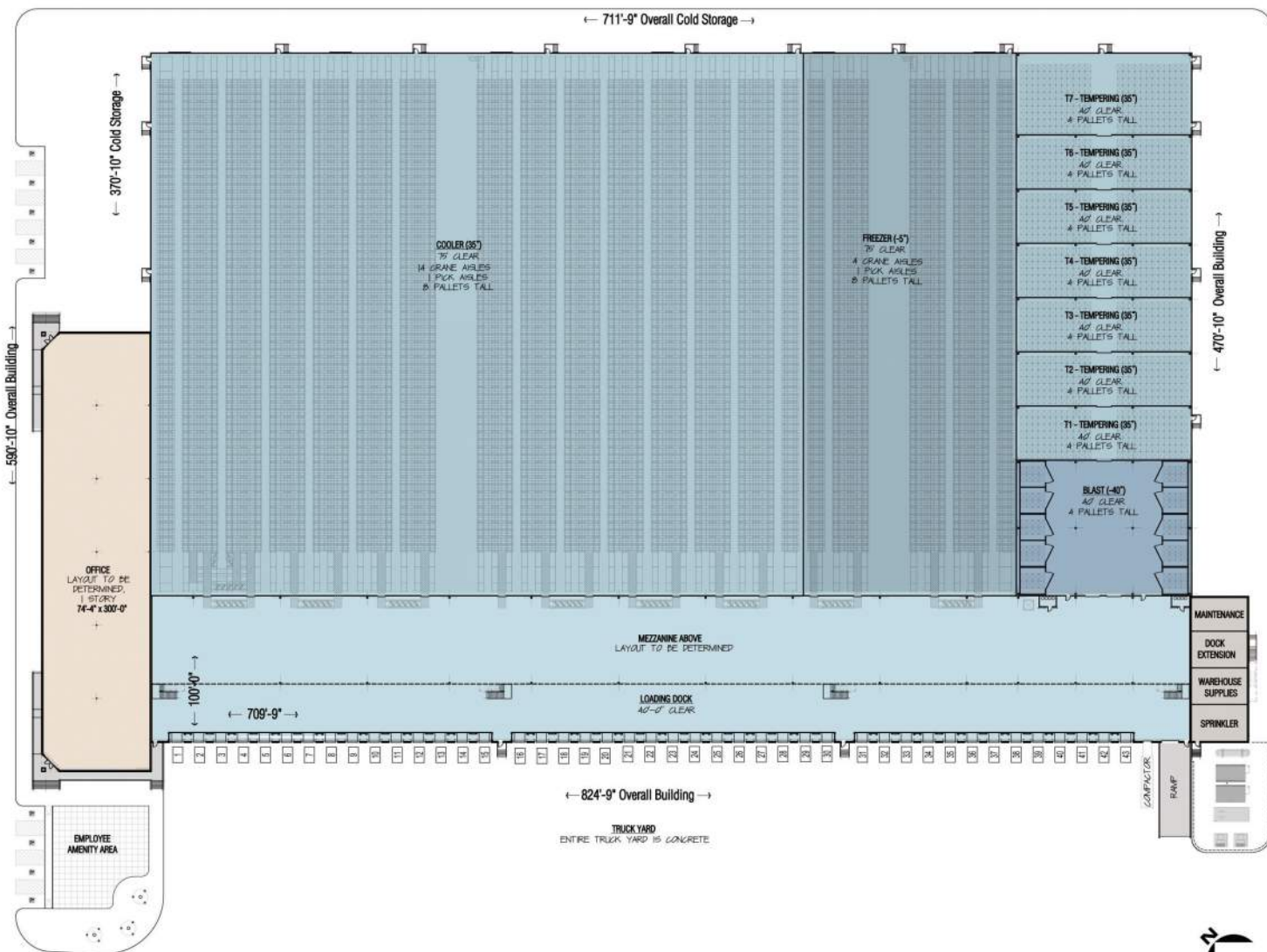
ALL ROOF TOP EQUIPMENT TO BE FULLY SCREENED



PROJECT FROSTY - OLATHE, KS

Enlarged Elevations





## Building Calculations

COOLER (36') = 16,854 GROSS SF.  
 FREEZER (-5') = 9,560 GROSS SF.  
 BLAST (-40') = 11,409 GROSS SF.  
 TEMPERING (36') = 39,818 GROSS SF.  
 TOTAL STORAGE AREA = 77,641 GROSS SF. (TOTAL)

LOADING DOCK (36') = 10,516 GROSS SF.  
 DOCK MEZZANINE (36') = 41,939 GROSS SF.  
 TOTAL DOCK AREA = 115,549 GROSS SF. (TOTAL)

OFFICE AREA = 21,960 GROSS SF.

SUPPORT AREA = 4,000 GROSS SF.  
 MECH AREA MEZZ. = 4,000 GROSS SF.  
 TOTAL SUPPORT AREA = 8,000 GROSS SF. (TOTAL)

**Total Building Area =**  
**407,940 G.S.F**

## Pallet Calculations

COOLER (36')  
 PALLETS = 45 DOWN AISLE x 6 = 378 PER AISLE  
 378 PALLETS X 14 AISLES = 5,292 PALLETS  
 5,292 PALLETS X 8 HIGH = 42,336 PALLETS

FREEZER (-5')  
 PALLETS = 45 DOWN AISLE x 6 = 378 PER AISLE  
 378 PALLETS X 4 AISLES = 1,512 PALLETS  
 1,512 PALLETS X 8 HIGH = 12,096 PALLETS

BLAST (-40')  
 PALLETS = 8 PALLETS X 4 HIGH = 32 PALLETS PER CELL  
 32 PALLETS X 10 CELLS = 320 PALLETS

TEMPERING (36') T1-T6  
 PALLETS = 7 DOWN AISLE x 14 = 148 PER LEVEL  
 148 PALLETS X 4 HIGH = 671 PALLETS PER CELL  
 671 PALLETS X 6 CELLS = 4,026 PALLETS

TEMPERING (36') T7  
 PALLETS = 10 DOWN AISLE x 14 = 240 PER LEVEL  
 240 PALLETS X 4 HIGH = 960 PALLETS

**TOTAL PALLETS = 59,744**  
**43- Dock Spaces**

MECH AREA  
 2nd story  
 47'-0" x 100'-0"

REFRIGERATION  
 EQUIPMENT  
 ELECTRICAL  
 EQUIPMENT



**Lineage**

PROJECT FROSTY - OLATHE, KS

**Overall Floor Plan**

## Building Calculations

COOLER (95) = 146,454 GROSS SF.  
 FREEZER (-5) = 99,560 GROSS SF.  
 BLAST (-40) = 11,149 GROSS SF.  
 TEMPERING (95) = 39,418 GROSS SF.  
 TOTAL STORAGE AREA = 395,581 GROSS SF. (TOTAL)

LOADING DOCK (95) = 10,516 GROSS SF.  
 DOCK MEZZANINE (95) = 41,939 GROSS SF.  
 TOTAL DOCK AREA = 119,560 GROSS SF. (TOTAL)

OFFICE AREA = 21,960 GROSS SF.  
 SUPPORT AREA = 4,000 GROSS SF.  
 MECH AREA MEZZ = 4,000 GROSS SF.  
 TOTAL SUPPORT AREA = 8,000 GROSS SF. (TOTAL)

**Total Building Area =**  
**407,940 G.S.F**

## Pallet Calculations

COOLER (95)  
 PALLETS = 49 DOWN AISLE x 6 = 378 PER AISLE  
 378 PALLETS X 4 AISLES = 5,232 PALLETS  
 5,232 PALLETS X 8 HIGH = 41,856 PALLETS

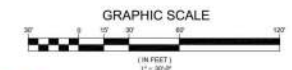
FREEZER (-5)  
 PALLETS = 49 DOWN AISLE x 6 = 378 PER AISLE  
 378 PALLETS X 4 AISLES = 5,232 PALLETS  
 5,232 PALLETS X 8 HIGH = 41,856 PALLETS

BLAST (-40)  
 PALLETS = 8 PALLETS X 4 HIGH = 32 PALLETS PER CELL  
 32 PALLETS X 10 CELLS = 320 PALLETS

TEMPERING (95) T1-T6  
 PALLETS = 7 DOWN AISLE x 14 = 148 PER LEVEL  
 148 PALLETS X 4 HIGH = 671 PALLETS PER CELL  
 671 PALLETS X 6 CELLS = 4,026 PALLETS

TEMPERING (95) T7  
 PALLETS = 10 DOWN AISLE x 14 = 240 PER LEVEL  
 240 PALLETS X 4 HIGH = 960 PALLETS

**TOTAL PALLETS = 59,744**  
**43- Dock Spaces**

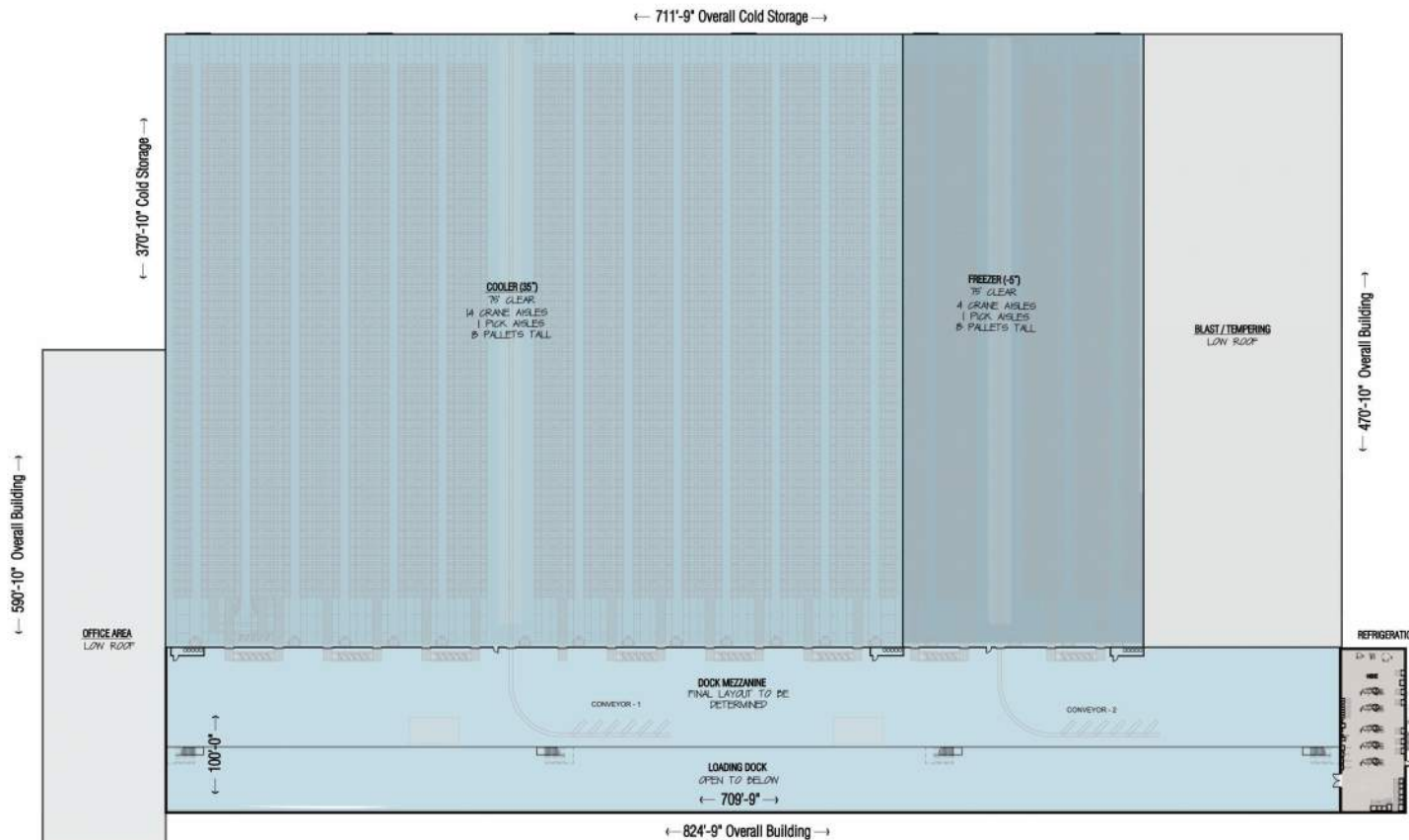


PROJECT FROSTY - OLATHE, KS

## Overall Mezzanine Plan

February 10, 2020

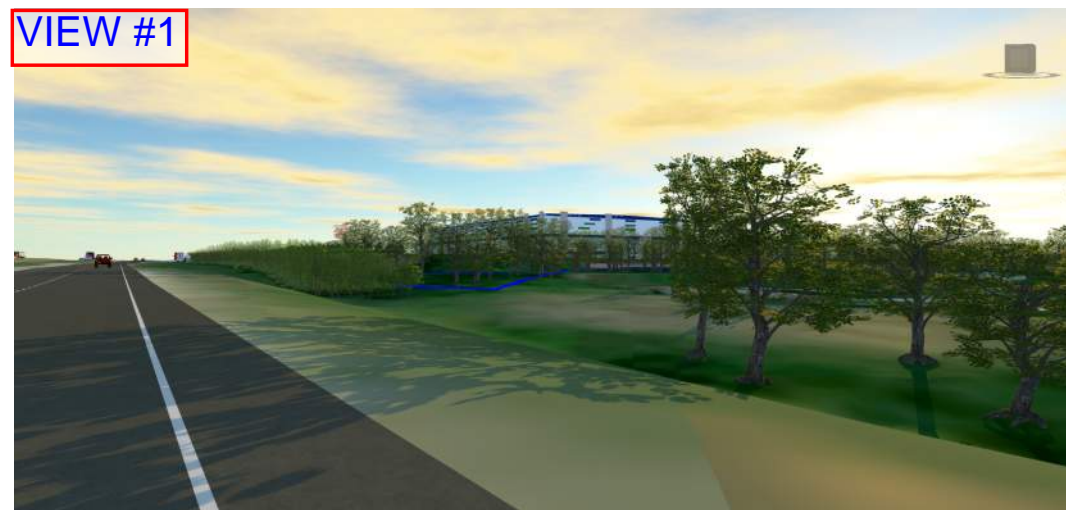
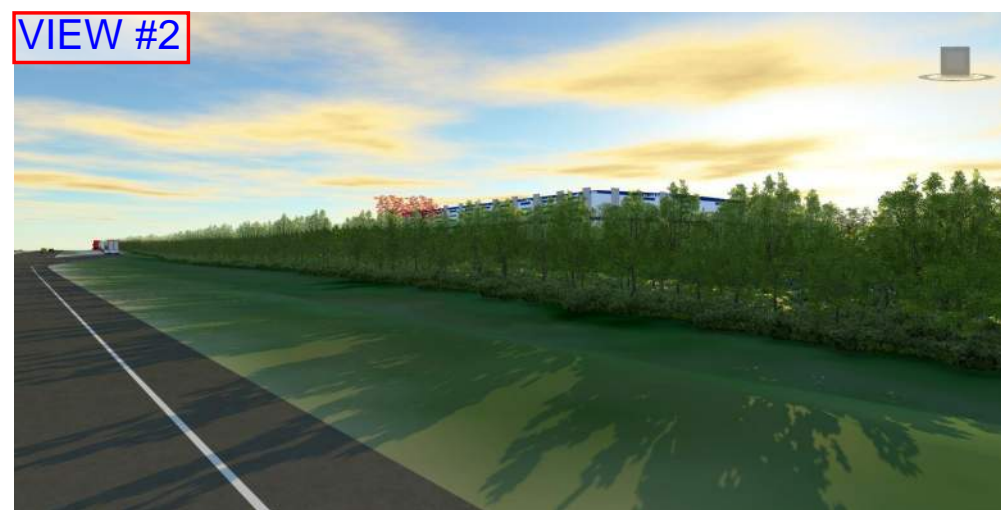
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VIEW #4



VIEW #3





**Lone Elm Commerce Park / PR19-0032 and FP19-0038**  
**REQUEST FOR WAIVERS**

**In accordance with Olathe UDO Section 18.40.240, please see the following request for waivers from Section 18.15.045 Building Design Category E:**

- (1) Exterior Building Materials.** Section 18.15.045(E)-(F) provides that: (i) for primary facades, a minimum of 70% of Category 1 materials and a maximum of 30% of Category 2 materials is allowed; and (ii) for secondary facades, a minimum of 50% of Category 1 materials and a maximum of 50% of Category 2 materials is allowed. Due to the unique nature of this building as a state-of-the-art automated freezer facility, the applicant is limited to using materials with extremely efficient structural and insulating properties, and as a result, is proposing lower percentages of Category 1 materials and higher percentages of Category 2 materials.<sup>1</sup> As explained in greater detail below, however, the applicant is offsetting the requested waivers through the use of an alternative high-quality design concept, including increased vertical elements and enhanced color schemes on all four (4) facades. The applicant believes that the intent of Section 18.15.045(E)-(F), to provide appropriate breaks and avoid long monotonous facades, will be achieved with this alternative enhanced design.
- (2) Transparent Glass on Primary Facade.** Although Section 18.15.045(D) requires a minimum of 20% transparent glass on primary facades, as noted above, the applicant is limited to using materials with highly efficient structural and insulating properties due to the unique nature of this facility, which must at all times be kept at negative five (-5) degrees or below. The applicant is, therefore, proposing a lower percentage of transparent glass on primary facades,<sup>2</sup> but is offsetting the requested waivers through the use of an alternative high-quality design concept as further described below.

**The approving authority may approve the above building materials waivers if the applicant demonstrates one (1) or more of the following, and if the area proposed for modification is illustrated on the plat or site development plan:**

- (a) An alternative higher quality development design with no negative impacts to either the residential or nonresidential properties.

RESPONSE: The applicant believes that the proposed building design meets the intent of the Composite Building Design Category E standards. This building will be a state-of-the-art automated freezer facility that must at all times be kept at negative five (-5) degrees or below. The applicant is, therefore, extremely limited in the materials that can be utilized, as only those materials with very specific (and efficient) structural and insulating properties can be used to maintain the requisite thermal properties. Glass, for example—like most of the other Category 1 materials—does not have the necessary insulating properties

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<sup>1</sup> The applicant is proposing approximately the following percentages for exterior building materials: (i) North Side (primary facade): 11.39% Class 1 materials and 88.61% Class 2 materials; (ii) South Side (primary facade): 55.88% Class 1 materials and 44.12% Class 2 materials; (iii) West Side (secondary facade): 34.20% Class 1 materials and 65.80% Class 2 materials; and (iv) East Side (secondary facade): 11.26% Class 1 materials and 88.74% Class 2 materials, all as more particularly described in the latest plans and elevations on file with the City.

<sup>2</sup> The applicant is proposing glass in approximately the following amounts: (i) North Side (primary facade): 0.95%; and (ii) South Side (primary facade): 0.95%, all as more particularly described in the latest plans and elevations on file with the City.

to maintain the required temperatures. Those can only be achieved by using the insulated architectural panels proposed by the applicant. It is equally important that these insulating properties be preserved and not compromised through the piercing or other manipulation of the exterior facades. Applying or mounting anything to the architectural panels greatly reduces the structural and thermal properties. Despite these constraints, the waivers requested above have been addressed in an alternative, but complementary, manner that both acknowledges the unique nature of the building as an automated freezer facility, and also respects the desired exterior design aesthetic. The insulated architectural panels will have decorative reveals, horizontal banding and vertical projections, for example, which will offer a clean and defined presence. The applicant is also enhancing the overall building design with increased vertical elements such as decorative light weight skin panels and piers, and enhanced color schemes on all four (4) facades, which will similarly help to add articulation. This alternative design will not have any negative impact to residential or nonresidential properties, and will instead result in an attractively-designed, graciously landscaped e-commerce facility in the City of Olathe. The applicant believes this alternative, high-quality design concept meets the intent of the Composite Building Design Category E standards to provide appropriate breaks and avoid long monotonous facades.

- (b) Development restrictions imposed on the property to ensure low impact land uses, low scale buildings and a site design arrangement in which adjoining residential properties will not be negatively impacted by any change in the applicable regulations.

RESPONSE: The applicant is enhancing the overall building design as described above, and also providing an extensive landscaping package and increased setbacks. The combination of these features will result in a building and site design arrangement in which the single adjoining residential property to the west will not be negatively impacted by the requested changes.

- (c) Existing topography, hedgerows or natural features provide significant screening and an appropriate buffer for adjoining properties.

RESPONSE: A substantial row of existing, mature trees is present along the I-35 façade and will remain with the proposed development. This existing tree cover will be further augmented through the extensive landscaping package that the applicant is proposing around the entire facility, including enhanced fencing, berms, and additional trees to help provide an appropriate buffer for adjoining properties and rights-of-way.

- (d) Significant buffers are provided on adjoining residential properties and those properties will not be negatively impacted by a change in the applicable regulations.

RESPONSE: The single residential property that adjoins the site to the west is screened from the site by an existing pond and substantial, mature tree cover. When coupled with the extensive landscaping package and increased setbacks proposed by the applicant, these features will ensure that there are no negative impacts to this single residential property adjoining the site as a result of the requested changes.

- (e) The regulation imposes an unnecessary hardship upon the property owner arising from conditions unique to the property and alternative site design, building design and building arrangements are not possible. In such instances, findings shall be prepared that:
- (i) No private rights will be injured or endangered by the waiver.
  - (ii) The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

RESPONSE: The applicant is proposing an alternative building design that—through the combination of increased vertical elements and enhanced colors schemes on all four (4) facades—meets the intent of the City’s design standards to avoid long monotonous facades and provide a visually-pleasing exterior design aesthetic. No private rights will be injured or endangered by the waiver, nor will the public suffer a loss or inconvenience thereby, and—in justice to the applicant—the requested changes should be granted.

**In accordance with Olathe UDO Section 18.40.240, please see the following request for a waiver from Section 18.15.020:**

- (1) Concealed Downspouts on Primary Facades.** Section 18.15.020(E)(9) prohibits “[e]xposed gutters and downspouts on primary facades[.]” The unique nature of this building, which must at all times be kept at negative five (-5) degrees or below, prohibits roof drains from being located inside the building or they would freeze. However, the applicant is offsetting the requested waiver by painting the Erickson-facing downspouts to blend in with the rest of the building, and by concealing the I-35 facing downspouts as requested by staff, both of which help meet the intent of Section 18.15.020(E)(9) to avoid having external downspouts serve as a focal point of the design.

**The approving authority may approve the internal downspout waiver if the applicant demonstrates one (1) or more of the following, and if the area proposed for modification is illustrated on the plat or site development plan:**

- (a) An alternative higher quality development design with no negative impacts to either the residential or nonresidential properties.

RESPONSE: The applicant believes that the proposed building design meets the intent of the Building Design Standards for Industrial Buildings. This building will be a state-of-the-art automated freezer facility that must at all times be kept at negative five (-5) degrees or below, which—as noted above—prohibits roof drains from being located inside the building. The applicant has addressed the waiver requested above in an alternative, but complementary manner, however, in that the external downspouts on the Erickson-facing facade will be painted to blend in with the rest of the building, and those on the I-35 facing facade will be concealed as requested by staff. The applicant is also providing an extensive landscaping package and increased setbacks that will help provide an appropriate buffer for adjoining properties and rights-of-way. This alternative design will not have any negative impact to residential or nonresidential properties, and will instead result in an attractively-designed, graciously-landscaped e-commerce facility that meets the intent of Section 18.15.020(E)(9) to avoid having external downspouts serve as a focal point of the design.

- (b) Development restrictions imposed on the property to ensure low impact land uses, low scale buildings and a site design arrangement in which adjoining residential properties will not be negatively impacted by any change in the applicable regulations.

RESPONSE: The applicant is enhancing the overall building design as described above, and also providing an extensive landscaping package and increased setbacks. The combination of these features will result in a building and site design arrangement in which the single adjoining residential property to the west will not be negatively impacted by the requested changes.

- (c) Existing topography, hedgerows or natural features provide significant screening and an appropriate buffer for adjoining properties.

RESPONSE: A substantial row of existing, mature trees is present along the I-35 façade and will remain with the proposed development. This existing tree cover will be further augmented through the extensive landscaping package that the applicant is proposing around the entire facility, including enhanced fencing, berms, and additional trees to help provide an appropriate buffer for adjoining properties and rights-of-way.

- (d) Significant buffers are provided on adjoining residential properties and those properties will not be negatively impacted by a change in the applicable regulations.

RESPONSE: The single residential property that adjoins the site to the west is screened from the site by an existing pond and substantial, mature tree cover. When coupled with the extensive landscaping package and increased setbacks proposed by the applicant, these features will ensure that there are no negative impacts to this single residential property adjoining the site as a result of the requested changes.

- (e) The regulation imposes an unnecessary hardship upon the property owner arising from conditions unique to the property and alternative site design, building design and building arrangements are not possible. In such instances, findings shall be prepared that:
  - (iii) No private rights will be injured or endangered by the waiver.
  - (iv) The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

RESPONSE: The applicant is proposing an alternative building design that—through the combination of increased vertical elements and enhanced colors schemes on all four (4) facades—meets the intent of the City’s design standards to avoid long monotonous facades and provide a visually-pleasing exterior design aesthetic. No private rights will be injured or endangered by the waiver, nor will the public suffer a loss or inconvenience thereby, and—in justice to the applicant—the requested changes should be granted.

**In accordance with Olathe UDO Section 18.40.240, please see the following request for a waiver from Section 18.15.045 Building Design Category E:**

- (1) **Garage and Overhead Doors.** Section 18.15.045(H) provides that overhead doors for vehicular Access “[m]ay not be located on primary facade[s]”. The applicant is proposing to have the building’s loading docks face Erickson, however, in order to provide for the maximum possible efficiency with

respect to product flow and function, which are critical components to the successful operation of an automated freezer facility.

**The approving authority may approve the building materials waiver if the applicant demonstrates one (1) or more of the following, and if the area proposed for modification is illustrated on the plat or site development plan:**

- (a) An alternative higher quality development design with no negative impacts to either the residential or nonresidential properties.

RESPONSE: The applicant believes that the proposed building design meets the intent of the Composite Building Design Category E standards to provide a visually-pleasing design. This building will be a state-of-the-art automated freezer facility that must at all times be kept at negative five (-5) degrees or below. Given the unique nature of the use in question, the building has been located on the site to allow for product flow and function in the building. Specifically, the loading dock, office, and freezer components are all laid out to allow for systematic product movement and human interface, which—after analyzing multiple options—was determined to be the most efficient design. The waiver requested above has been addressed in an alternative, but complementary manner, in that the applicant is enhancing the overall building design as described above, and also providing an extensive landscaping package and increased setbacks to provide an appropriate buffer to adjoining properties and rights-of-way. This alternative design will not have any negative impact to residential or nonresidential properties, and will instead result in an attractively-designed, graciously landscaped e-commerce facility that meets the intent of the Composite Building Design Category E Standards.

- (b) Development restrictions imposed on the property to ensure low impact land uses, low scale buildings and a site design arrangement in which adjoining residential properties will not be negatively impacted by any change in the applicable regulations.

RESPONSE: The applicant is enhancing the overall building design as described above, and also providing an extensive landscaping package and increased setbacks. The combination of these features will result in a building and site design arrangement in which the single adjoining residential property to the west will not be negatively impacted by the requested changes.

- (c) Existing topography, hedgerows or natural features provide significant screening and an appropriate buffer for adjoining properties.

RESPONSE: A substantial row of existing, mature trees is present along the I-35 façade and will remain with the proposed development. This existing tree cover will be further augmented through the extensive landscaping package that the applicant is proposing around the entire facility, including enhanced fencing, berms, and additional trees to help provide an appropriate buffer for adjoining properties and rights-of-way.

- (d) Significant buffers are provided on adjoining residential properties and those properties will not be negatively impacted by a change in the applicable regulations.



RESPONSE: The single residential property that adjoins the site to the west is screened from the site by an existing pond and substantial, mature tree cover. When coupled with the extensive landscaping package and increased setbacks proposed by the applicant, these features will ensure that there are no negative impacts to this single residential property adjoining the site as a result of the requested changes.

(e) The regulation imposes an unnecessary hardship upon the property owner arising from conditions unique to the property and alternative site design, building design and building arrangements are not possible. In such instances, findings shall be prepared that:

(v) No private rights will be injured or endangered by the waiver.

(vi) The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

RESPONSE: The applicant is proposing an alternative building design that—through the combination of increased vertical elements and enhanced colors schemes on all four (4) facades—meets the intent of the City’s design standards to avoid long monotonous facades and provide a visually-pleasing exterior design aesthetic. No private rights will be injured or endangered by the waiver, nor will the public suffer a loss or inconvenience thereby, and—in justice to the applicant—the requested changes should be granted.

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## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b>FP19-0038, Final Plat, Lone Elm Commerce Center, Third Plat</b>		
<b>Location:</b>	Vicinity of W. 167 <sup>th</sup> Street and Lone Elm Road		
<b>Applicant:</b>	Rob Sangdahl, Lineage Logistics		
<b>Owner:</b>	Hal Wenzel II, BHJ Holdings LLC		
<b>Engineer:</b>	Judd Claussen, Phelps Engineering, Inc.		
<b>Staff Contact:</b>	Kim Hollingsworth, Senior Planner		

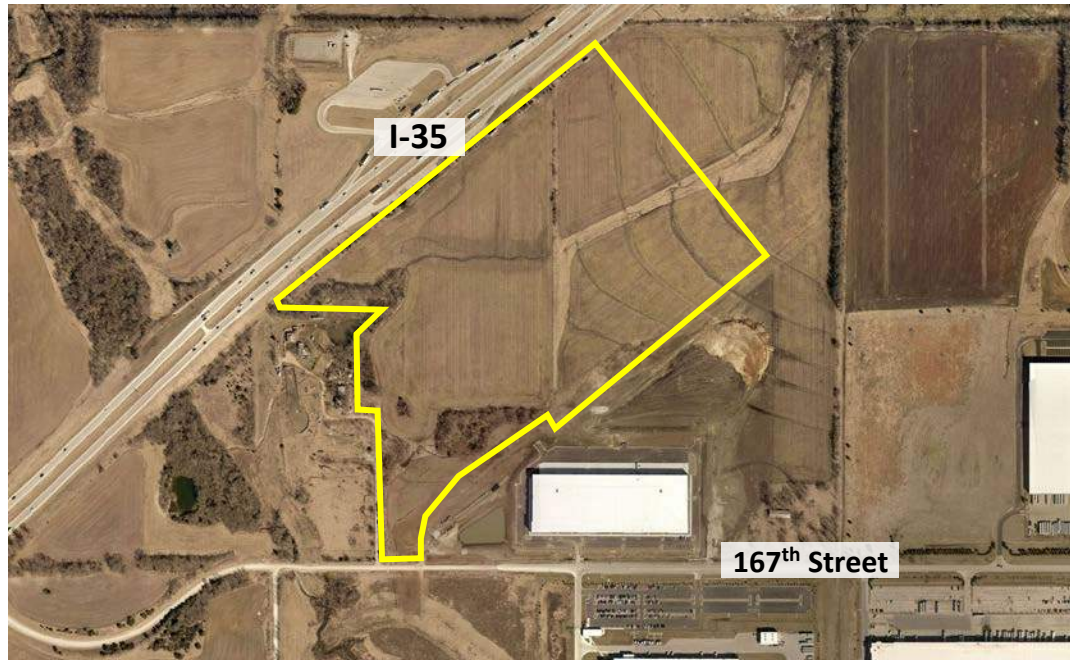
<b>Site Area:</b>	<u>60.44± acres</u>	<b>Proposed Use:</b>	<u>Cold Storage/Refrigerated Warehouse</u>
<b>Lots:</b>	<u>1</u>	<b>Current Zoning:</b>	<u>M-2 (General Industrial)</u>
<b>Tracts:</b>	<u>1</u>		

### 1. Introduction:

The following item is a request for a final plat for Lone Elm Commerce Center, Third Plat containing one lot and one tract. This plat establishes lot lines and dedicates public easements for the development of a 407,940 square foot refrigerated warehouse facility. The approximately 60.44-acre subject property is located northwest of W. 167<sup>th</sup> Street and Lone Elm Road. A rezoning to the M-2 (General Industrial) District and preliminary site development plan were approved in September 2017. A revised preliminary site development plan (PR19-0032) for the proposed facility is also on this agenda for Planning Commission consideration.

### 2. Plat Review:

- Lots/Tracts** – The plat includes two lots and no common tracts. The plat contains 60.44± acres that are within the overall 122.5± acre Lone Elm Commerce Center development. Lot 2 will accommodate the refrigerated warehouse building, landscape buffers, parking and on-site detention for the proposed development. Tract C will be used for private open space and landscaping.
- Public Utilities** – The subject property is located within the City of Olathe sewer and WaterOne water service areas. Several easements including Utility Easements (U/E), Drainage Easements (D/E), and Sewer Easements (S/E) will be dedicated with this final plat.
- Streets/Right-of-Way** – Additional street right-of-way for Erickson Street will be dedicated as the street will be extended to the southeast corner of the plat area. Additional right-of-way for 167<sup>th</sup> Street will also be dedicated in order to extend the street towards the southwest corner of the plat area.



*Aerial View of Subject Property*

- d. **Floodplain** – The areas within FEMA Zone X are marked on the plat indicating 1% annual chance flood based on future conditions. These areas along the west property boundary will be preserved as open space or detention areas as part of the preliminary site development plan.
- e. **Stormwater/Detention** – Areas for detention and water quality Best Management Practices are marked on the plat. Two primary detention areas will serve the development within the western portion of the subject property.

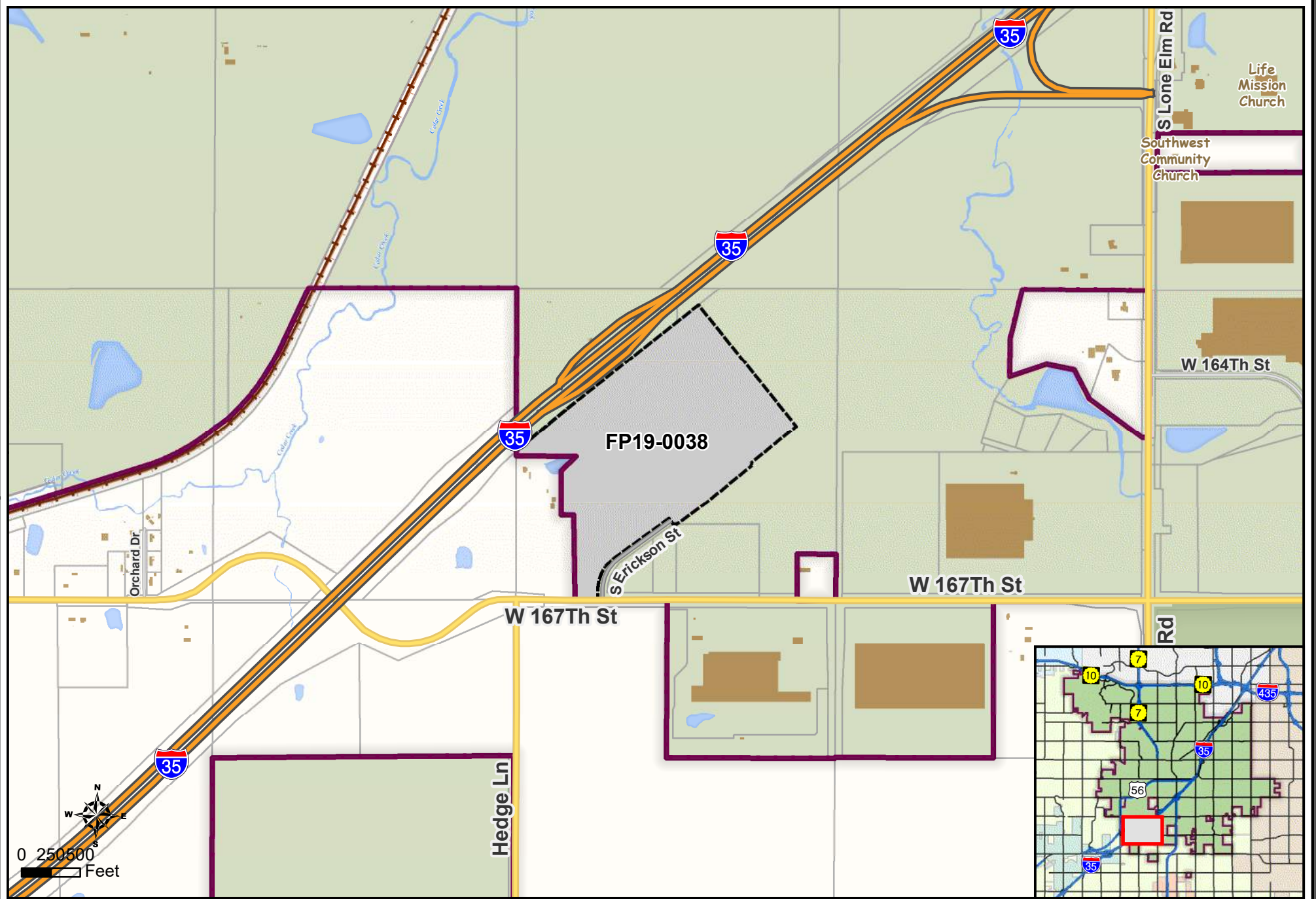
### 3. Excise Taxes:

Final plats are subject to a street excise tax of \$0.215 per square foot of unplatted land area and a traffic signal excise tax of \$0.0098 per square foot of land area in industrial zoning districts. The required excise fees must be submitted to the Planning Division prior to recording of the final plat.

### 4. Staff Recommendation:

Staff recommends approval of FP19-0038 with the following stipulations:

1. A digital file of the final plat must be submitted to the Planning Division prior to recording of the plat.



**LONE ELM COMMERCE CENTER, THIRD PLAT**  
**FP19-0038**



User: jaredmd  
Date: 02/19/2020









Planning Division

## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b>FP20-0001, Final Plat for BSM Business Center</b>		
<b>Location:</b>	Along the west side of S. Kansas City Road, north of 119 <sup>th</sup> Street		
<b>Owner/Applicant:</b>	Brandon Becker; Builders Stone and Masonry		
<b>Engineer:</b>	Daniel G. Foster, PLA; Schlagel & Associates, P.A.		
<b>Staff Contact:</b>	Zachary Moore, Planner II		

<b>Site Area:</b>	<u>17.35± acres</u>	<b>Use:</b>	<u>Commercial</u>
<b>Lots:</b>	<u>4</u>		
<b>Tracts:</b>	<u>1</u>	<b>Current Zoning:</b>	<u>C-3 (Regional Center)</u>

### 1. Comments:

The following application is a final plat for BSM Business Center. This plat will establish new lot lines and dedicate land for public easements and public right-of-way. The subject property was rezoned to the C-3 District in 2019 (RZ19-0006) but was never platted. A preliminary site development plan was approved by City Council with the rezoning, and a final site development plan for Lot 2 is currently under staff review.

### 2. Plat Review:

- Lots/Tracts** – The plat includes four (4) commercial lots and one (1) common tract totaling approximately 16.35± acres.
- Access and Right-of-Way** – This final plat dedicates public right-of-way for both S-. Kansas City Road and 117<sup>th</sup> Place, totaling approximately 1 acre. An Access Easement (A/E) will be dedicated from the northern portion of the cul-de-sac at 117<sup>th</sup> Place to the eastern and northern portions of Lot 2, to accommodate a private drive to the north of the proposed building.
- Public Utilities** – The subject property is located within the City of Olathe Water and Johnson County Wastewater service areas. New Public Utility Easements (PUB/E), Water Line Easements (W/E), Utility Easements (U/E), Drainage Easements (D/E), and Stormwater Quality / Quantity Easements (BMP/E) will be dedicated to the City with this final plat.

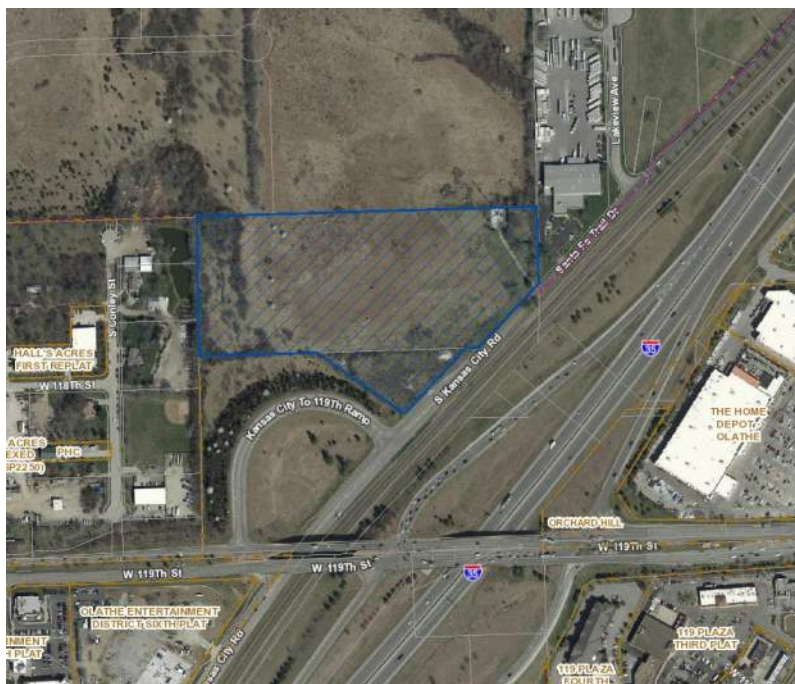
### 3. Excise Taxes:

Final plats are subject to a street excise tax of \$0.215 per square foot of land to be platted, with exemptions for arterial street right-of-way, and a traffic signal excise tax of \$0.0576 per square foot of land for commercial zoning. The required excise taxes must be submitted to the Planning Division prior to recording the final plat.





*View of the subject property, looking west from E. Kansas City Road*

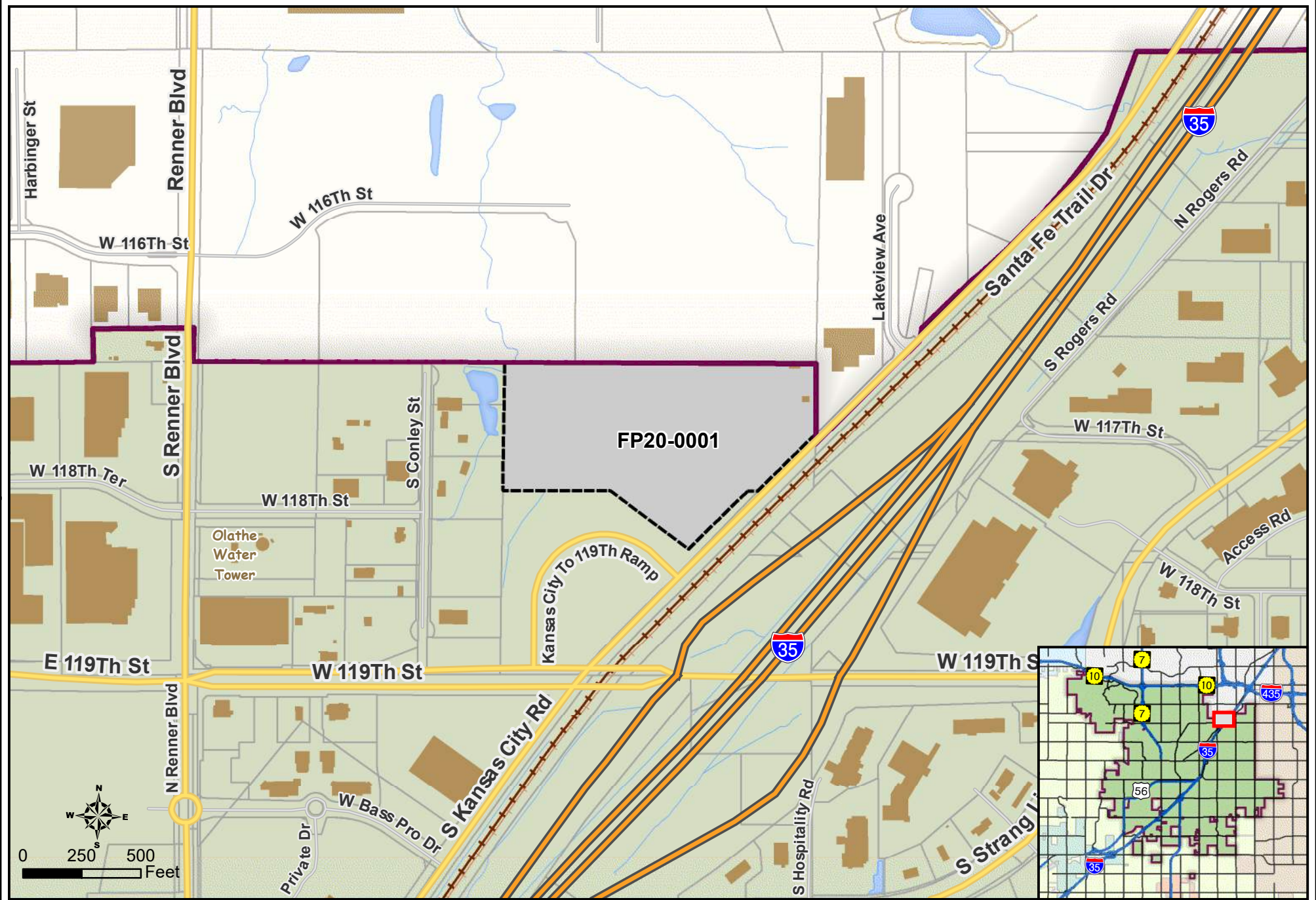


*Aerial view of site outlined in navy*

#### **4. Staff Recommendation:**

Staff recommends approval of FP20-0001, final plat for BSM Business Center with the following stipulations:

- a. Prior to recording the plat, a digital file of the final plat (.pdf format) must be submitted to the Planning Division.
- b. Dedication language for the Access Easement (A/E), Gas Easement (G/E), and Temporary Access Easement must be provided on the final plat prior to recording.



**BUILDER'S STONE FINAL PLAT**  
**FP20-0001**



User: jaredmd  
Date: 02/19/2020





FINAL PLAT OF  
BSM BUSINESS CENTER  
PART OF THE SW 1/4 OF SEC. 17-13-24  
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS

DEDICATIONS:

The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "BSM BUSINESS CENTER".

The undersigned proprietor of said property shown on this plat does hereby dedicate those portions of the streets and roadways shown as " " together with all other parcels and parts of land indicated on this plat, and not heretofore dedicated, as streets, terraces, roads, drives, lanes, avenues, courts, places, etc., for public use as public ways or thoroughfares, subject to the right hereby reserved to the present owner and its successors and assigns for the location, construction and maintenance of conduits, water, gas and sewer pipes, poles and wires under, over and along said roadways.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water lines, storm sewer pipes, sanitary sewer pipes and related facilities and structures, upon, over and under the areas outlined and designated on this plat as "Public" or "Public Utility Easement", is hereby granted to the City of Olathe, Johnson County, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of water pipes and associated facilities, upon, over and under these areas outlined and designated on this plat as "Water Line Easement" or "WLE", is hereby granted to the City of Olathe, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

An easement or license to lay, construct, maintain, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat, together with the right of ingress and egress over and through adjoining land as may be reasonably necessary to access said easement and is hereby dedicated to the Consolidated Main Sewer District of Johnson County, Kansas or their assigns - Alteration of land contours will be permitted only with the express written approval of JCW - Any placing of improvements or planting of trees on said permanent right-of-way will be done at the risk of subsequent damage thereto without compensation therefor.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, electrical, sewer pipes, poles, wires, drainage facilities, ducts and cables, and similar utility facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "UE", is hereby granted to the City of Olathe, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to enter upon, construct and maintain pipes, inlets, manholes, surface drainage facilities, drainage ditches, drainage channels or water courses, over, under, or under the areas outlined and designated on this plat as "Drainage Easement" or "DE".

An easement or license is hereby granted to the City of Olathe, Johnson County, Kansas, to enter upon, construct and maintain pipes, inlets, manholes, surface drainage facilities, drainage ditches, drainage channels or water courses, over, under, or under the areas outlined and designated on this plat as "Stormwater Quality / Quantity Easement" or "BMP/E", Tract "A" is hereby designated as "Stormwater Quality / Quantity Easement" or "BMP/E".

The undersigned proprietor of said property shown on this plat hereby certifies that all prior existing easement rights on land to be dedicated for public use and public ways and thoroughfares running to any person, utility or corporation have been absolved except that same person, utility or corporation shall retain whatever easement rights they would have as if located in a public street.

RESTRICTIONS:

All landscaping and related materials that are planted or constructed within the adjacent Street right-of-way shall be maintained by the Property Owners and the Developer, or their authorized representatives thereof.

Tract A shall be maintained by the BSM Business Center Association or their authorized representatives thereof. It is the BSM Business Center Association or their authorized representatives thereof permanent responsibility and authority to enter upon the said tract to maintain, plant, replant, repair, replace, mow, clip, trim, spray, chemically treat, repair, or otherwise maintain it and all grass, trees, shrubs, flowers, plants, fences, and walls. Deed restrictions shall be recorded with the Register of Deeds of Johnson County concurrently with the recording of the final plat.

The maintenance of the stormwater detention facilities located within Tract "A" and all water quality BMP's within Tract "A" are to be maintained by the property owners and their successors and assigns.

The undersigned proprietor of the described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of unpaid special assessment on such land dedicated shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public ways or thoroughfares.

The use of all lands, units and properties in this subdivision shall hereafter be subject to the Declarations, which instruments are to be recorded in the Office of the Register of Deeds of Johnson County, Kansas, as provided above, and which shall hereby become a part of the dedication of this subdivision as though set forth herein.

NOTICE: This site includes Stormwater Treatment Facilities, as defined and regulated in the Olathe Municipal Code. Restrictions on the use or alteration of the said facilities may apply. This property is also subject to the obligations and requirements of the Stormwater Treatment Facility Maintenance Agreement approved by the City.

CONSENT TO LEASE:

The undersigned proprietor of the above described tract of land hereby agrees and consents that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of unpaid special assessment on such land dedicated shall become and remain a lien on the remainder of this land fronting or abutting on said dedicated public way or thoroughfare.

SURVEYOR'S CERTIFICATE:

To: First American Title Insurance Company, Principal Auto Group LLC, and Clay C. Blair. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-4, 6(a), 8, 11(a), 13, 16 and 18 of Table A thereto. The field work was completed 02-2015.

PRELIMINARY

APPROVALS:

APPROVED by the Planning Commission of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman, C.S. VAKAS

APPROVED by the Governing Body of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, MICHAEL COPELAND

Deputy City Clerk, DAVID F. BRYANT II, MMC

EXECUTION:

IN TESTIMONY WHEREOF, Brandon Becker, Member of ACE PROPERTIES, LLC, a Kansas limited liability company, by the authority of its Managing Member, has caused this instrument to be executed, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

ACE PROPERTIES, LLC

By: BRANDON BECKER, Member

ACKNOWLEDGMENT:

STATE OF KANSAS )  
COUNTY OF JOHNSON ) ss.

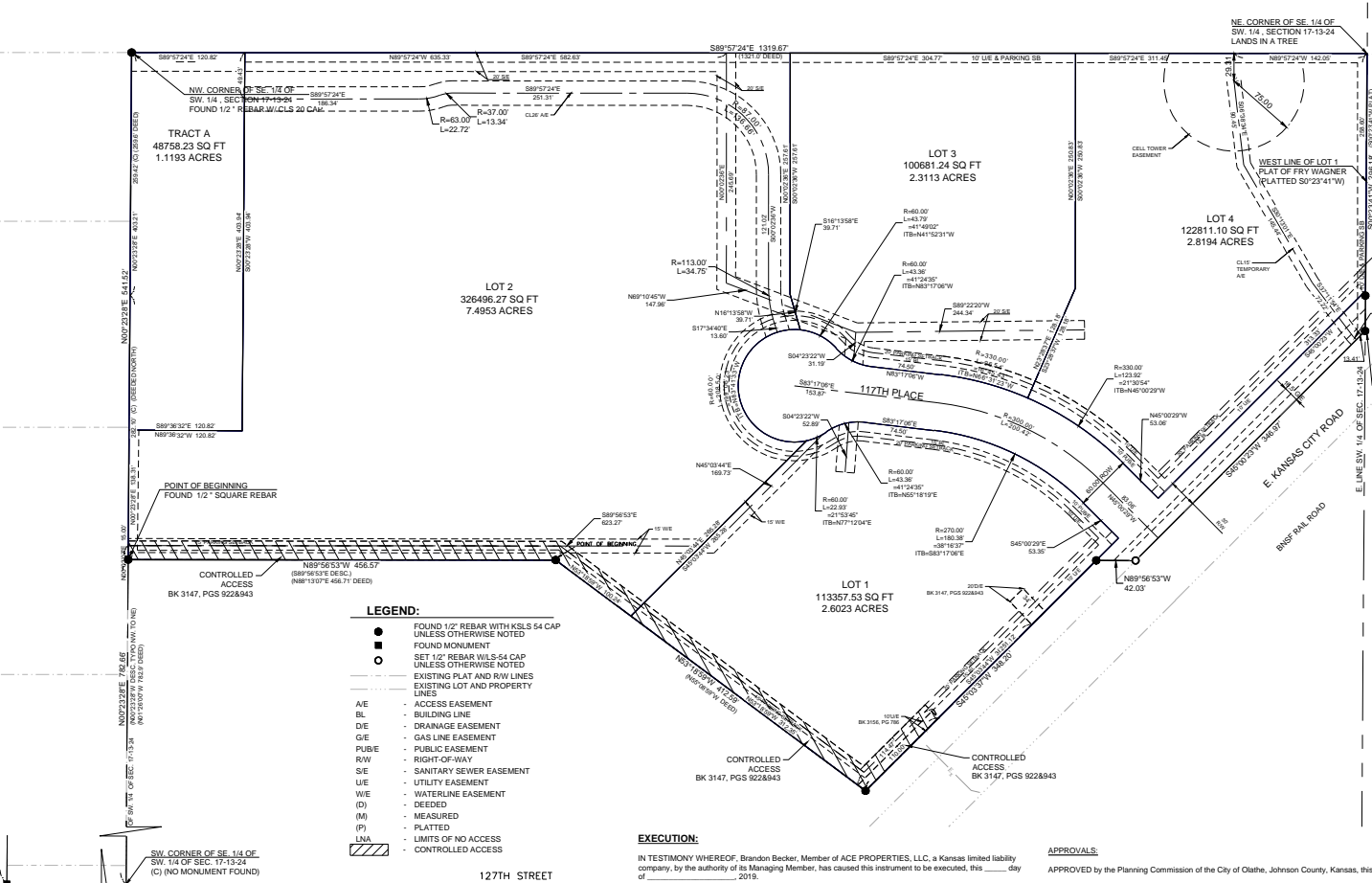
BE IT REMEMBERED that on this \_\_\_\_\_ day of \_\_\_\_\_, 2019, before me, the undersigned, a Notary Public in and for said County and State, came BRANDON BECKER, Member of ACE PROPERTIES, LLC, a Kansas Limited Liability Company, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and such duly acknowledged the execution of the same to be the act and deed of said same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal on the day and year last above written.

Notary Public:

My Commission Expires: \_\_\_\_\_

Print Name

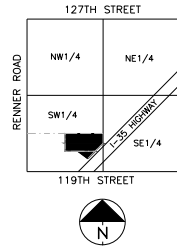


LOT #	AREA (SF)
LOT 1	113,357.53
LOT 2	326,496.27
LOT 3	100,681.24
LOT 4	122,811.10
TRACT A	48,758.23
R/W	43,705.19
TOTAL	756,809.56

DESCRIPTION: AS PROVIDED IN COMMITMENT NCS-703112-KCTY

A TRACT OF LAND WITHIN THE SOUTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 17, TOWNSHIP 13 SOUTH, RANGE 24 EAST IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST ONE-QUARTER OF THE S40 SOUTHWEST ONE-QUARTER, THENCE NORTH 00° 23' 28" (DEEDED NORTH 01° 28' 00" WEST) ALONG THE WEST LINE OF THE S40 SOUTHWEST ONE-QUARTER, A DISTANCE OF 782.66 FEET; THENCE SOUTH 89° 59' 59" EAST, (DEEDED NORTH 89° 13' 07" EAST) A DISTANCE OF 456.71 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING SOUTH 89° 59' 59" EAST A DISTANCE OF 577.35 FEET TO A POINT; THENCE SOUTH 40° 03' 37" WEST, (DEEDED NORTH 43° 13' 37" EAST) A DISTANCE OF 348.20 FEET TO A POINT; THENCE NORTH 53° 18' 59" WEST, (DEEDED NORTH 55° 08' 59" WEST) A DISTANCE OF 412.50 FEET TO THE POINT OF BEGINNING, EXCEPT ANY PART USED OR DEDICATED FOR STREETS, ROADS OR PUBLIC RIGHTS OF WAY.



LOCATION MAP  
SECTION 17-13-24



SCHLAGEL & ASSOCIATES, P.A.  
Engineers • Planners • Surveyors • Landscape Architects  
14920 West 107th Street • Lenexa, Kansas 66155  
(913) 492-5158 • Fax: (913) 492-8602

DATE 1-3-20  
DRAWN BY SCH  
CHECKED BY SCH  
PROJ. NO. 18-134

FINAL PLAT OF  
BSM BUSINESS CENTER  
OLATHE, KANSAS  
SHEET NO. 1



Planning Division

## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b><u>RZ19-0023</u></b> Request to rezone approximately 16.13± acres from the BP (Business Park) District to the C-2 (Community Center) Commercial District and a revised preliminary site development plan for Chinmaya Mission, located along the west side of Pflumm Road at 155 <sup>th</sup> Street.
<b>Location:</b>	Along the west side of Pflumm Road at 155 <sup>th</sup> Street
<b>Owner:</b>	Dwight Beachboard; Rew Kansas Properties
<b>Applicant:</b>	Rajasree Prakash; Chinmaya Mission Kansas City
<b>Architect:</b>	Murali Ramaswami
<b>Staff Contact:</b>	Zachary Moore, Planner II

### Comments:

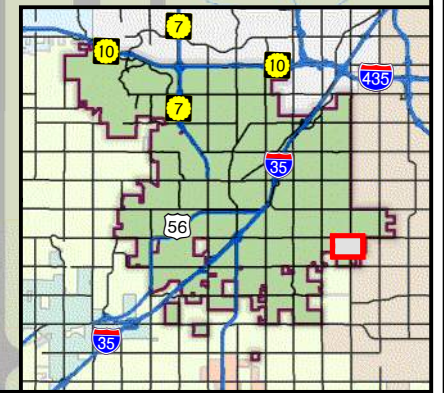
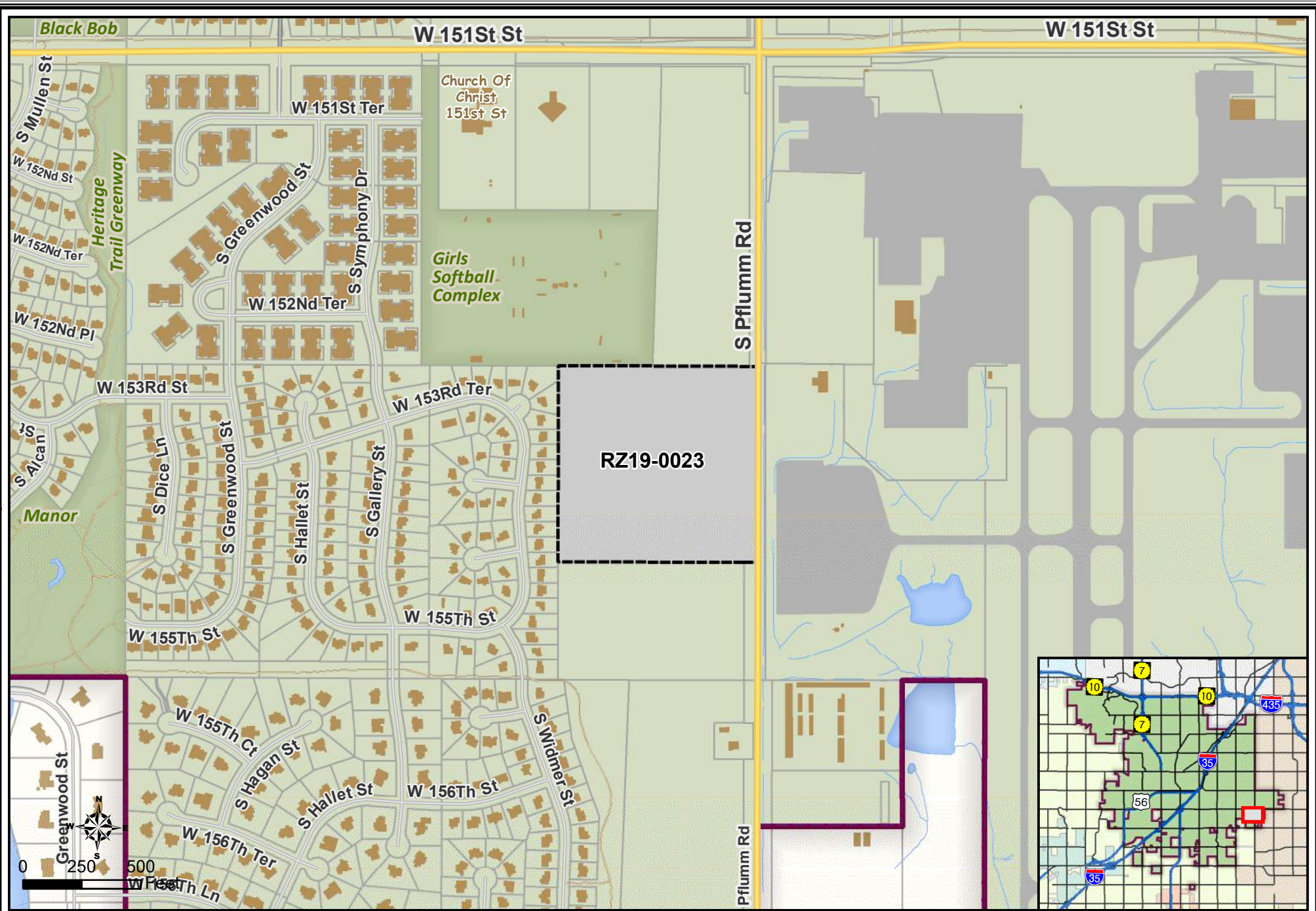
Staff has recommended a continuance to a future Planning Commission hearing date for this rezoning and revised preliminary site development plan application. This continuance was requested to allow more time to collaborate with the applicant on details pertaining to the proposed C-2 zoning on the subject property.

Applications are permitted one continuance per the UDO and any additional continuances are at the discretion of the Planning Commission. This is the first continuance request for this application. Public Notice letters will be sent to the surrounding property owners and new public notice signs with the updated meeting date will be placed on-site according to UDO requirements.

### Staff Recommendation:

Staff recommends continuing this application to a future Planning Commission meeting.





**CHINMAYA MISSION**  
**RZ19-0023**



Planning Division

## STAFF REPORT

Planning Commission Meeting: February 24, 2020

<b>Application:</b>	<b><u>RZ19-0024:</u> Rezoning from R-1 (Residential Single Family) District to R-3 (Residential Low-Density Multifamily) District and a preliminary site development plan for Stonebridge Courts</b>
<b>Location:</b>	South of 167 <sup>th</sup> Street, west of future Brougham Drive
<b>Owner/Applicant:</b>	Stonebridge Land and Cattle, LLC
<b>Engineer:</b>	Harold Phelps, P.E.; Phelps Engineering, Inc.
<b>Staff Contact:</b>	Zachary Moore, Planner II

<b>Site Area:</b>	<u>27.65± acres</u>	<b>Proposed Use:</b>	<u>Multifamily Residential</u>
<b>Units:</b>	<u>126 (122 multifamily)</u> <u>(4 two-family)</u>	<b>Plat:</b>	<u>Unplatted</u>
<b>Density:</b>	<u>4.56 units/acre</u>	<b>Proposed Zoning:</b>	<u>R-3 (Residential Low-Density Multifamily)</u>
<b>Existing Zoning:</b>	<u>R-1 (Residential Single Family)</u>		

	<b>Plan Olathe Land Use Category</b>	<b>Existing Use</b>	<b>Current Zoning</b>	<b>Site Design Category</b>	<b>Building Design Category</b>
<b>Site</b>	<b>Mixed Density Residential Neighborhood</b>	<b>Vacant</b>	<b>R-1</b>	<b>3</b>	<b>Horizontally Attached Residential</b>
<b>North</b>	Secondary Greenway / Conventional Neighborhood	Single-Family Residential	C-2 / AG	-	-
<b>South</b>	Mixed Density Residential Neighborhood	Vacant	BP	-	-
<b>East</b>	Conventional Neighborhood	Vacant	AG	-	-
<b>West</b>	Community Commercial Center	Multifamily Residential (Townhomes at Fairfield Village)	R-1	-	-

**1. Proposal:**

The applicant is requesting a rezoning from the R-1 (Residential Single Family) District to the R-3 (Residential Low-Density Multifamily) District and approval of an associated preliminary site development plan for Stonebridge Courts. The subject property is located along the south side of W. 167<sup>th</sup> Street and west of the future Brougham Drive. The proposed rezoning to the R-3 District is necessary to allow development of a townhome community on the subject property.

**2. History:**

The subject property was annexed into the City in 2005 and later rezoned to the R-1 (Residential Single-Family) District in 2006 (RZ-06-017). A related preliminary plat was included with the rezoning in 2006 for a single-family residential development. No final plats were filed following the preliminary plat and no other development proposals have been submitted on the subject property since 2006. The site has since remained vacant.

**3. Existing Conditions / Site Photos:**

The site is currently vacant and has never been developed. There is existing native vegetation along the western and eastern perimeters of the subject property.



*Aerial view of subject property outlined in red*





*View of subject property looking south from W. 167<sup>th</sup> Street*

#### **4. Neighborhood Meeting and Public Notice:**

A joint neighborhood meeting for this rezoning, preliminary site development plan, and plat for the property to the southwest, was held on January 29, 2020. Twenty-seven (27) residents attended and topics discussed included traffic on 169<sup>th</sup> Place, proposed greenspace and amenities, road network extensions, phasing, pricing, and stormwater. The applicant answered all questions asked by the residents and addressed each of their concerns at the meeting. Additional details were provided on the preliminary site development plan following the meeting regarding the amenities to be provided on site. Minutes from the neighborhood meeting are included in this packet.

The applicant mailed the required public notification letters to surrounding property owners within 200 feet and posted signs on the subject property, per UDO requirements.

Staff has not received any phone calls or other correspondence from members of the general public regarding this rezoning and preliminary site development plan.

#### **5. Zoning Requirements:**

- a. **Density** – The maximum density allowed in the R-3 District is 17 units per acre. With 126 proposed dwelling units on 27.65 acres, the density of the proposed development is 4.56 units per acre, therefore compliant with the UDO requirement.
- b. **Building Height** – The maximum building height in the R-3 District is 3 stories or 40 feet. The proposed townhomes will have a maximum height of approximately 30 feet, compliant with the UDO requirement.
- c. **Common and Active Open Space** – Developments in the R-3 District are required to provide a minimum of five (5) percent open space within the development, 50



percent of which is required to be active or civic open space. The applicant is providing 12.4 acres of open space, which is in excess of the minimum 1.38 acres of open space required. A total of 1.40 acres of active or civic open space is being provided within the proposed townhome development, exceeding the minimum 0.69 acres required, and is being provided with a pickleball court, a gazebo, benches, and walking paths.

- d. **Setbacks** – Each building included on the preliminary site development plan complies with the setback requirements of the R-3 District. Setbacks in the R-3 District are as follows:

- i. **Front Yard (minimum)** – N/A.
- ii. **Front Yard (maximum)** – 15 feet.
- iii. **Side Yard** – N/A
- iv. **Rear Yard** – 5 feet.

6. **Site Design Standards:** Development proposed in the Mixed Density Residential Neighborhood future land use map designation is subject to Site Design Category 3. The following is a summary of the applicable standards of Site Design Category 3.

- a. **Outdoor Amenity Space** – Development subject to Site Design Category 3 that is greater than 4 acres in size must provide Outdoor Amenity Space on a minimum of 10% of the total site area. A total of 2.76 acres of outdoor amenity space must be provided based on a total of 27.65 acres of total site area. The applicant is providing 1.40 acres of outdoor active amenity space, and an additional 1.3 acres of natural features are provided on site to meet the outdoor amenity space requirement.
- b. **Pedestrian Connectivity** – Development in Site Design Category 3 must provide enhanced pedestrian connections to encourage pedestrian use, integrate with surrounding land uses or connect to regional paths and trails. Cross-property connections and connections to adjacent developments are proposed to comply with UDO requirements.

7. **Building Design Standards:**

Townhome buildings are subject to the “Horizontally Attached Residential” design standards and two-family residential units are subject to the “Two-Family Residential” design standards of the UDO. Table 1, on the next page, lists the architectural requirements of the UDO, and the elements of the proposed plan which are used to meet or exceed these requirements.

<b>Table 1:</b> <b>Building Design Standards</b>	<b>UDO Requirement (Horizontally Attached Residential)</b> Proposed Design
<i>Building Entryway</i>	<p><b><i>Each unit must have its own front porch or recessed front entryway along one (1) primary façade. Each front porch or recessed entry must be a minimum 4 feet in depth and minimum 6 feet in width.</i></b></p> <p>Each unit will provide its own front porch on all proposed townhome units meeting the minimum dimensions required.</p>
<i>Garages</i>	<p><b><i>All street-facing garages must be recessed a minimum of two (2) feet from the front primary façade building line.</i></b></p> <p>Each street facing façade will be set back a minimum of two (2) feet from the primary building façade line.</p>
<i>Windows</i>	<p><b><i>Each dwelling unit must provide no less than two (2) separate windows no less than six (6) square feet in size along all primary façades.</i></b></p> <p>Each individual dwelling unit will provide at least two (2) windows a minimum of six (6) square feet in size.</p>
<i>Vertical Articulation</i>	<p><b><i>Each individual dwelling unit must provide at least one (1) vertical articulation tool to differentiate individual units along all primary façades along all primary façades.</i></b></p> <p>The roofline varies between each individual dwelling unit provided on the site development plan.</p>
<i>Horizontal Articulation</i>	<p><b><i>Each individual dwelling unit must provide at least one (1) horizontal articulation tool to differentiate individual units along all primary façades.</i></b></p> <p>Each individual dwelling unit will provide a horizontal articulation tool to meet the horizontal articulation requirement.</p>
<i>Exterior Building Materials – Primary Façades</i>	<p><b><i>Minimum 2 materials from Class 1 or a combination of materials from Classes 1 and 2 required on a minimum of 70% of primary façades.</i></b></p> <p>Each primary façade on the townhome units and the two-family dwelling units will provide a minimum of three Class 1 building material (stucco, synthetic stone, and clear glass) on greater than 70% of the primary façades.</p>
<i>Exterior Building Materials – Secondary Façades</i>	<p><b><i>Minimum 2 materials from Class 1 or a combination of materials from Classes 1 and 2 required on a minimum of 50% of secondary façades.</i></b></p> <p>Each secondary façade provides at least two (2) building materials from Class 1 (stucco, synthetic stone, and glass) on greater than 50%.</p>

## **8. Streets/Right-of-way:**

A collector street is proposed along the southern portion of the proposed development to ultimately connect S. Mur-Len Road to the future Brougham Drive. From this collector street, one cul-de-sac with 25 units on it is proposed on the western side of the development. Another cul-de-sac is provided on the south side of the collector street, to the east, which contains 27 proposed townhome units. North of this cul-de-sac, a local street will loop to the north which individual units will take access from, as well as common drives providing access to between six (6) and nine (9) units. All but two of the proposed common drives provide access to six (6) units, with the two common drives exceeding six (6) units being at the northwest and northeast corners of the loop road, providing seven (7) and nine (9) units each. Each townhome unit in this proposal will either take access from a private drive or a local street. All access drives must be constructed with concrete pavement a minimum of 22 feet wide and with a maximum length of 150 feet.

## **9. Landscaping:**

The applicant has provided a master landscape and screening plan, as well as a preliminary landscape plan depicting the location of street trees along all local streets and the proposed collector street. A 25-foot landscape buffer is provided along the 167<sup>th</sup> Street right-of-way, as required for residentially zoned properties adjacent to arterial streets. Fifteen (15) foot wide landscape easements are provided along the eastern property line, adjacent to the Brougham Drive right-of-way, as well as along the future collector street through the property. Interior lot trees will be provided at a rate of one (1) tree per each multifamily dwelling unit, and four (4) trees per each two-family dwelling unit.

## **10. Comprehensive Plan Analysis:**

The future land use map of the Comprehensive Plan identifies the subject property as "Mixed Density Residential Neighborhood." The intent for the Mixed Density Residential Neighborhood future land use map designation is intended to provide a mixture of housing styles, types, and densities, and for the mix of housing types to be oriented more toward attached multifamily units rather than detached single-family units.

The following are criteria for considering rezoning applications as listed in *Unified Development Ordinance (UDO) Section 18.40.090.G*.

### ***A. The conformance of the proposed use to the Comprehensive Plan and other adopted planning policies.***

The subject property is currently zoned R-1 (Residential Single-Family) and is proposed to be rezoned to R-3 (Residential Low-Density Multifamily). The proposed rezoning aligns with the future land use map designation of Mixed Density Residential Neighborhood. PlanOlathe includes policies to maintain the distinct character and identity of Olathe's neighborhoods and to promote density that can support existing or future commercial development. The proposed townhome development complies with other goals and principles of the PlanOlathe.

- **Principle LUCC-3:** *"Promote adequate residential densities to support existing and future commercial centers."*
- **Principle HN-1:** *"Maintain the character and identity of existing residential neighborhoods."*

***B. The character of the neighborhood including but not limited to: land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space and floor-to-area ratio (commercial and industrial).***

The Townhomes at Fairfield Village is located immediately west of the proposed townhome development and its final phases are currently under construction. The proposed townhome development has a similar density, architectural style, and site design as the Townhomes at Fairfield Village. The proposed development also uses similar building materials as the Townhomes at Fairfield Village, such as stucco and synthetic stone, and the proposed buildings have a similar mass and separation from other buildings as the Townhomes at Fairfield Village provides.

***C. The zoning and uses of nearby properties, and the extent to which the proposed use would be in harmony with such zoning and uses.***

The surrounding properties to both the south of the subject property and to the north, across 167<sup>th</sup> Street, are zoned R-1 and are either developed with or planned for single-family residential development. The property immediately to the west is currently zoned RP-3 (Planned Residential Low Density Multifamily) and is in the final phases of construction of a townhome development (The Townhomes at Fairfield Village). The proposed R-3 zoning and townhome development on the subject property would be harmonious with the existing zoning and uses in the surrounding area.

***D. The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations.***

The subject site is currently zoned R-1 District which allows for the development of single-family homes, group living facilities, and civic uses such as churches and schools. Development of a low-density townhome development on the subject property would provide an appropriate transition from the arterial street to the north (167<sup>th</sup> Street) to the future single-family development to the south in the existing R-1 zoning.

***E. The length of time the property has been vacant as zoned.***

The subject property was rezoned to the R-1 District in 2006 and has remained vacant since then. The rezoning in 2006 included a related preliminary plat for the area but no final plats have been submitted and no other developments have been proposed on the subject property.

***F. The extent to which approval of the application would detrimentally affect nearby properties.***

The proposed development will not have any detrimental effect on surrounding properties. The adjacent property to the west is developed in a similar pattern and the proposed development will provide an appropriate separation from the arterial street (167<sup>th</sup> Street) to the north and the future single-family residential development on the R-1 zoned property to the south.



***G. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the road network influenced by the use, or present parking problems in the vicinity of the property.***

The addition of the trips generated by the proposed townhome development should not adversely affect capacity or safety of the applicable road network. A collector roadway will be built through the southern portion of the townhome development, as well as on the east side to help traffic flow in the surrounding area. Each dwelling unit will provide parking for residents as required by UDO Section 18.30.160.

***H. The extent to which the proposed use would create air pollution, water pollution, noise pollution or other environmental harm.***

The proposed development will comply with the requirements of Title 17 of the Olathe Municipal Code, and will not create air pollution, water pollution, noise pollution, or other environmental harm.

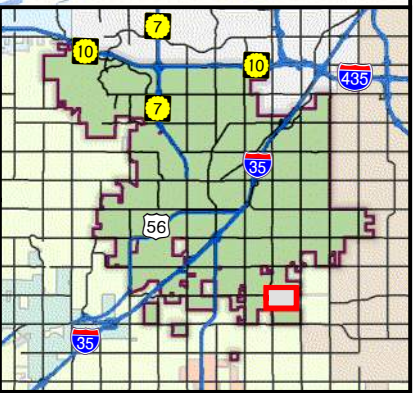
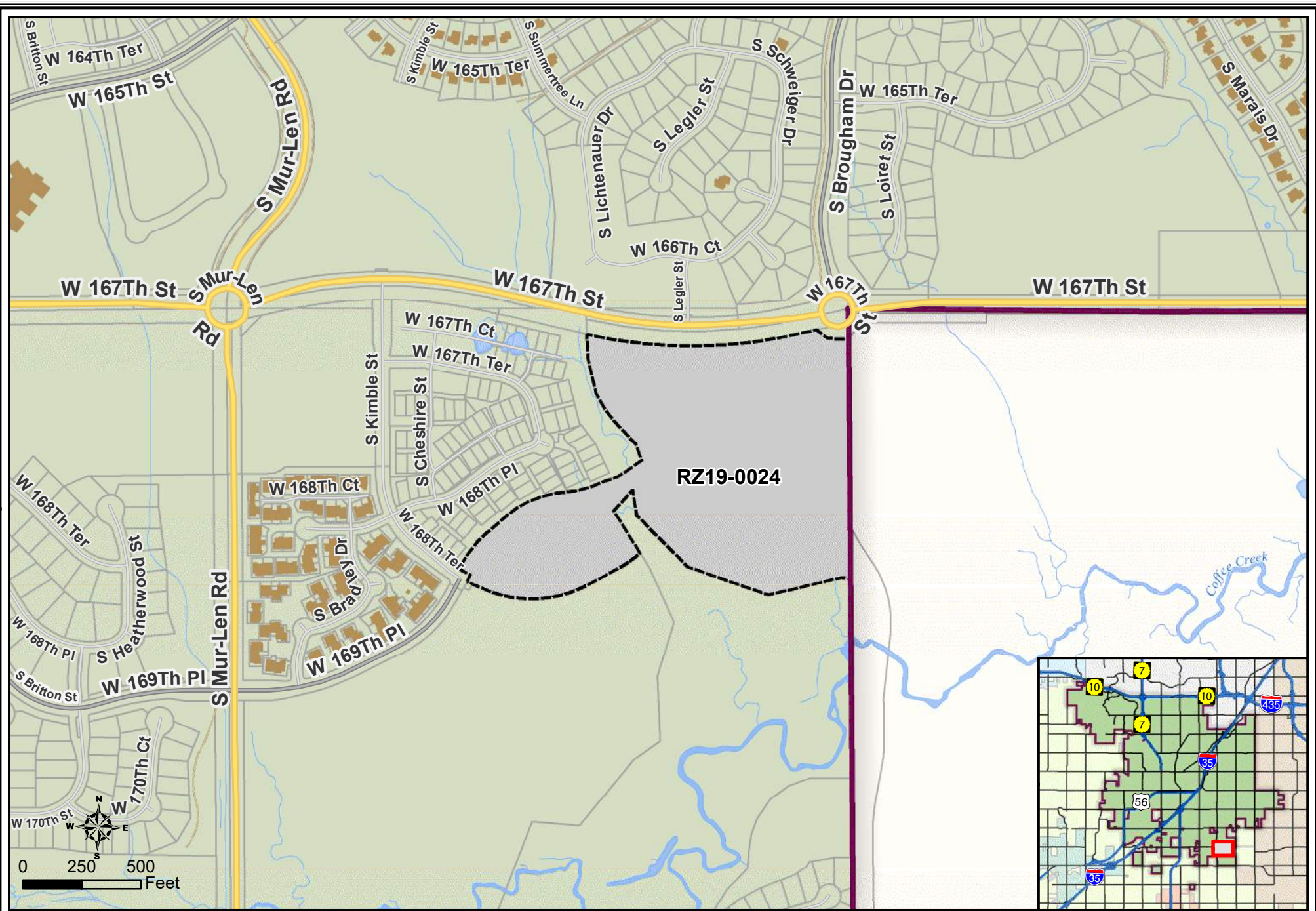
***I. The economic impact of the proposed use on the community.***

Property taxes will be generated for each individual unit for sale in the proposed subdivision, and construction of the subdivision will provide additional housing opportunities for those relocating to Olathe for employment.

**11. Staff Recommendation:**

- A. Staff recommends approval of RZ19-0024, Stonebridge Courts for the following reasons:
  - 1. The proposed development complies with the policies and goals of the PlanOlathe for Land Use and Housing (Principle LUCC-3 and HN-1).
  - 2. The requested rezoning to the R-3 district meets the Unified Development Ordinance (UDO) criteria for considering zoning applications.
- B. Staff recommends approval of the rezoning to the R-3 district, as presented.
- C. The following stipulations apply to the preliminary site development plan:
  - 1. A final site development plan must be approved and a final plat recorded prior to issuance of building permits.
  - 2. The minimum driveway length to any single unit is 25 feet.
  - 3. Common drives must be constructed with concrete pavement with a maximum length of 150 feet and a minimum width of 22 feet. The common drives at the northeast and northwest corners of the proposed development may exceed 150 feet in length with turnarounds for the Fire Department provided.
  - 4. A tree survey must be submitted with submittal of the final site development plan.

5. The existing driveway on 167<sup>th</sup> Street at the northwest corner of the property must be closed prior to the issuance of building permits.



**STONEBRIDGE COURTS**  
**RZ19-0024**







# GENERAL INFORMATION NOTES

PROPOSED TOWNHOMES ARE SUBJECT TO: UDO, SECTION 18.15.020.G.4

DUPLEXES ARE SUBJECT TO UDO, 18.15.020.G.3

1. PER UDO, SECTION 18.15.020.E.2a (2) STONE VENEER WILL BE RETURNED A MINIMUM OF 12 INCHES AROUND WALL CORNERS
2. PER UDO, SECTION 18.15.020.E.3 ALL TRIM AROUND WINDOW AND DOOR OPENINGS WILL BE A MINIMUM OF 3 INCHES WIDE
3. ALL EAVES, SCOFFS, AND OVERHANGS WILL HAVE A TYPICAL PROJECTION OF NO LESS THAN 6 INCHES
4. TYPICAL BUILDING IS ONE STORY IN HEIGHT WITH 10 FOOT WALLS

5. DECK MATERIAL TO BE LP WEATHERBEST COMPOSITE OR EQUAL W/ METAL SPINDLES

## (TABLE 18.15.020.1 UDO) BUILDING MATERIALS FOR HORIZONTALLY ATTACHED RESIDENTIAL

CATEGORY 1 MATERIALS - ON 10% OF SURFACE ON PRIMARY FACADE:  
NO LESS THAN 50% ON SECONDARY FACADES  
REAL STUCCO, STONE VENEER-SYNTHETIC, BRICK, CLEAR GLASS WINDOWS

CATEGORY 2 MATERIALS: ON NO MORE THAN 30% OF PRIMARY FACADE  
FIBER CEMENT SHAKE, LAP SIDING, WOOD  
ROOF REQUIRES MIN. CAT. 2 ASPHALT SHINGLES

BUILDINGS FACADES WILL BE CONSTRUCTED OF MATERIALS BELOW, WITH NO MORE THAN 18" OF EXPOSED FOUNDATION

ALL STUCCO TO BE PAINTED  
ONE BASE COLOR W/ A CONTRASTING COLOR FOR ALL SMART TRIM AND LAP SIDING.  
ON ALL SIDES OF THE BUILDINGS.  
4 COLOR COMBINATIONS TO BE USED ON DIFFERENT BUILDINGS USING EARTHTONE COLORS

### TABLE 3 WINDOWS

ALL WINDOWS ARE VINYL COVERED WITH INSULATED GLASS AND SCREENS AS REQUIRED. TWO SEPARATE WINDOWS MUST BE PROVIDED FOR EACH DUELLING UNIT ALONG THE PRIMARY FACADE. EACH WINDOW IS A MIN. OF SIX SQ.FT. PRIMARY FACADE MUST HAVE NO LESS THAN TWO WINDOWS EVERY 50 LINEAR FT

PRIMARY FACADES MUST USE NO LESS THAN (2) DIFFERENT CLASS 1 BUILDING FINISH MATERIALS ON NO LESS THAN 10% OF THE SURFACE AREA. E.G. GENUINE STUCCO, SYNTHETIC STONE VENEER, CLEAR GLASS WINDOWS.  
SECONDARY FACADES MUST USE NO LESS THAN (2) DIFFERENT CLASS 1 MATERIALS ON NO LESS THAN 50% OF THE SURFACE AREA.

EACH UNIT HAS A FRONT PORCH OR RECESSED ENTRYWAY ON THE PRIMARY FACADE. THESE ARE A MIN. FOUR FT. IN DEPTH AND MIN. SIX FT. WIDE

ALL STREET FACING GARAGES MUST BE RECESSED A MIN. TWO FEET FROM THE PRIMARY FACADE FRONT LINE.

HORIZONTAL ARTICULATION:  
ONE OR MORE OF THE FOLLOWING TECHNIQUES ARE USED ON EACH DUELLING ALONG THE PRIMARY FACADE AT THE PARTY WALL PROPERTY LINE.

- I. WALL OFFSET-THE OFFSET OF THE HORIZONTAL WALL PLANE BY AT LEAST FOUR FT. EXTENDING THE FULL HEIGHT OF THE PRIMARY FACADE
- II. WALL NOTCH- A SETBACK OR NOTCH IN THE HORIZONTAL WALL PLANE THAT IS AT LEAST FOUR FT. DEEP AND EIGHT FT. WIDE FOR THE FULL HEIGHT OF THE PRIMARY FACADE
- III. WALL PROJECTION- A PROJECTION OR WALL MOLDING THAT IS AT LEAST FOUR INCHES DEEP AND ONE FOOT WIDE FOR THE FULL HEIGHT OF THE PRIMARY FACADE

## TABLE 2: BUILDING FACADE TREATMENT FOR HORIZONTALLY ATTACHED RESIDENTIAL

EACH UNIT HAS A FRONT PORCH OR RECESSED ENTRYWAY ON THE PRIMARY FACADE. THESE ARE A MIN. FOUR FT. IN DEPTH AND MIN. SIX FT. WIDE

ALL STREET FACING GARAGES MUST BE RECESSED A MIN. TWO FEET FROM THE PRIMARY FACADE FRONT LINE.

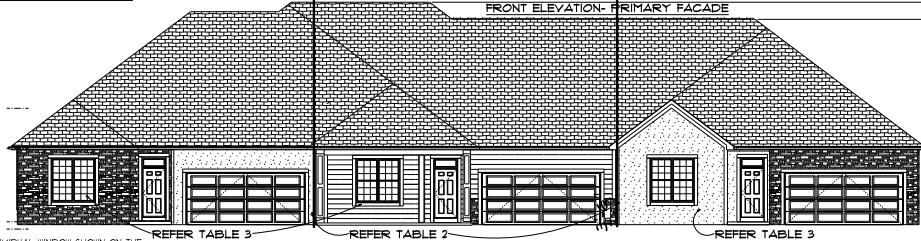
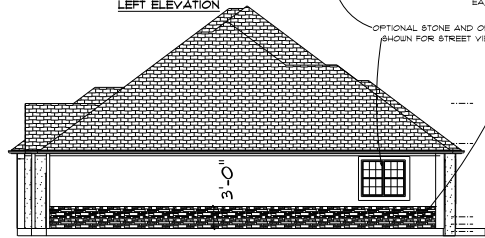
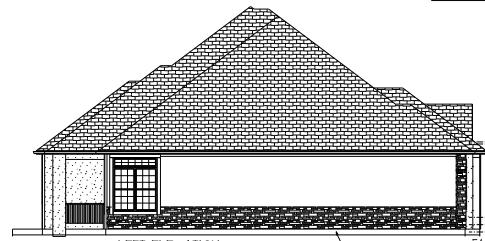
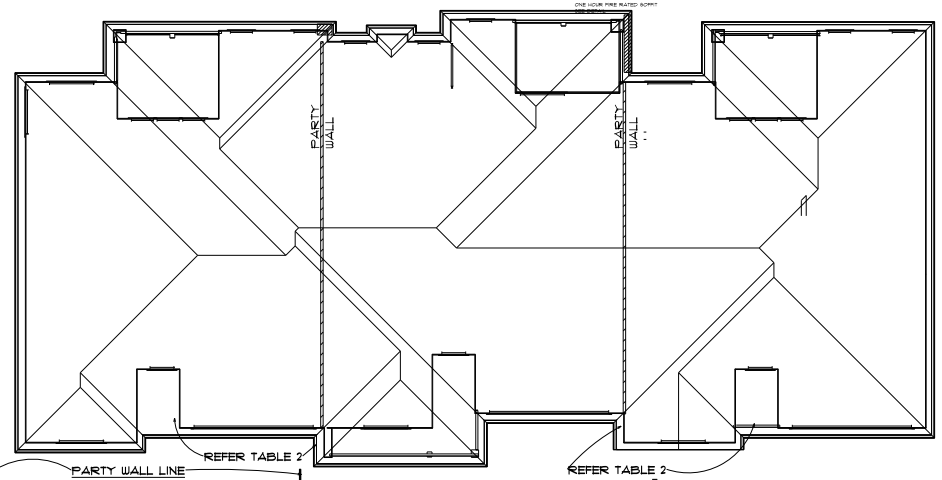
HORIZONTAL ARTICULATION:  
ONE OR MORE OF THE FOLLOWING TECHNIQUES ARE USED ON EACH DUELLING ALONG THE PRIMARY FACADE AT THE PARTY WALL PROPERTY LINE.

- I. WALL OFFSET-THE OFFSET OF THE HORIZONTAL WALL PLANE BY AT LEAST FOUR FT. EXTENDING THE FULL HEIGHT OF THE PRIMARY FACADE
- II. WALL NOTCH- A SETBACK OR NOTCH IN THE HORIZONTAL WALL PLANE THAT IS AT LEAST FOUR FT. DEEP AND EIGHT FT. WIDE FOR THE FULL HEIGHT OF THE PRIMARY FACADE
- III. WALL PROJECTION- A PROJECTION OR WALL MOLDING THAT IS AT LEAST FOUR INCHES DEEP AND ONE FOOT WIDE FOR THE FULL HEIGHT OF THE PRIMARY FACADE

MATERIAL	FR %	REAR %	L.S. %	R.S. %
STUCCO	56	80	30	99
STONE FAUX	16	0	2	1
SIDING	21	0	0	0
GLASS	7	20	8	0

MATERIAL	FR %	REAR %	L.S. %	R.S. %
STUCCO	56	80	30	99
STONE FAUX	16	0	2	1
SIDING	21	0	0	0
GLASS	7	20	8	0

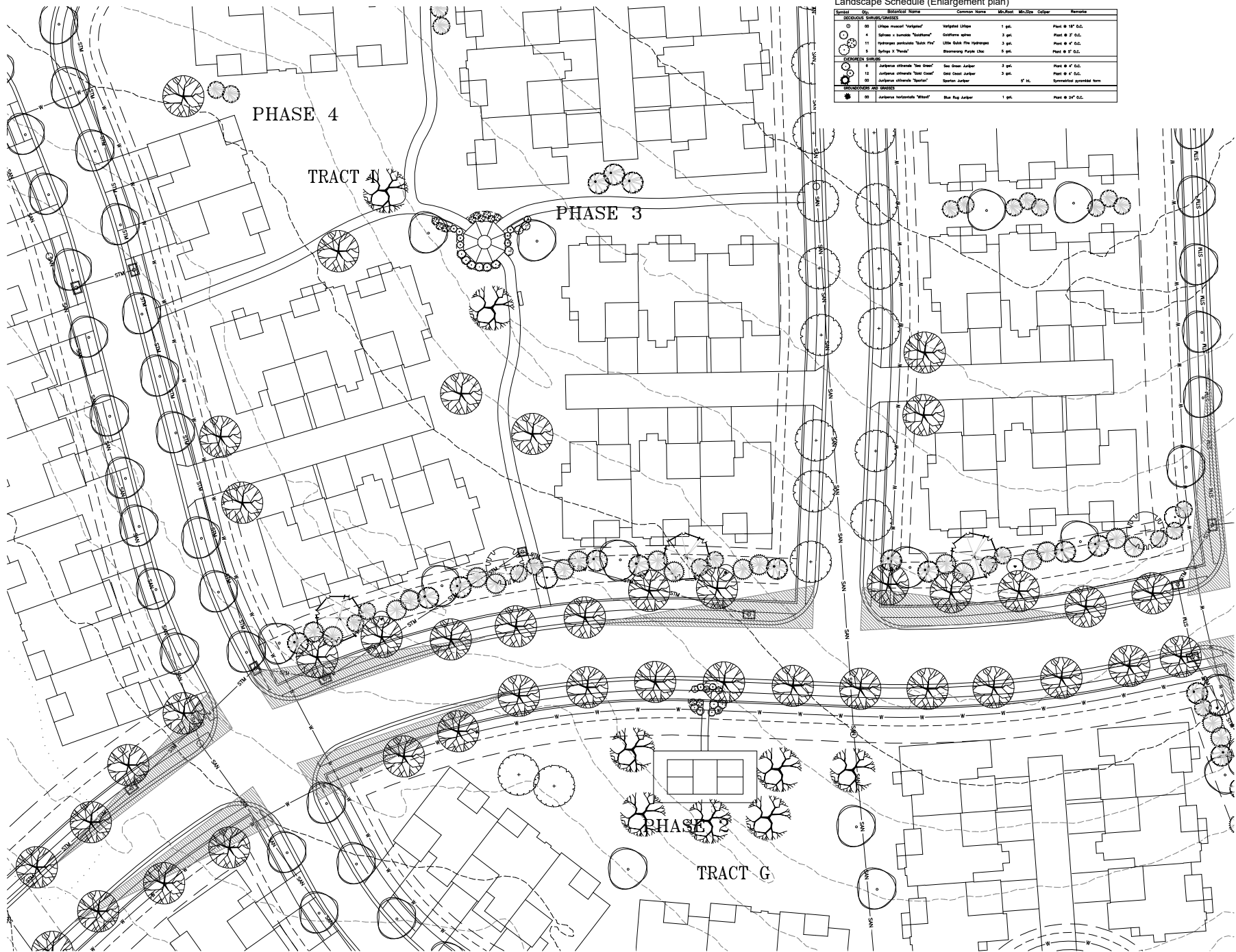
GENERAL INFORMATION  
PROPOSED TOWNHOMES ARE SUBJECT TO :  
UDO, SECTION 18.15.020.G.4.  
PROPOSED DUPLEXES ARE SUBJECT TO  
UDO, SECTION 18.15.020.G.3



PLANS COPYRIGHT  
BY QUALITY DESIGN HOMES LAC  
2008 ©

TYPICAL ELEVATION  
STONEBRIDGE COURTS  
CITY OF OLATHE, JOHNSON COUNTY, K.S.  
16TH AND MURLEN  
1/8" = 1'-0"  
DATE 1-31-20



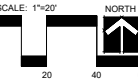


Landscape Schedule (Enlargement plan)

Number	Botanical Name	Common Name	Qty	Plant #	Remarks
<b>PERENNIALS, SHRUBS, TREES</b>					
08	Ulmus macrocarpa 'Vulgaris'	Velveted Elm	1 gal.	Plant # 10' S.C.	
09	Salix x baccata 'Noveboracensis'	Cowitchia shrub	2 gal.	Plant # 5' S.C.	
11	Hydrangea paniculata 'Van Pelt'	Little White Panicle Hydrangea	2 gal.	Plant # 4' S.C.	
12	Spirea x 'Therese'	Brooming Potted Tree	2 gal.	Plant # 5' S.C.	
<b>PERENNIALS, SHRUBS</b>					
01	Andromeda obtusifolia 'New Dawn'	Sea Green Juniper	2 gal.	Plant # 4' S.C.	
02	Juniperus horizontalis 'Suecica'	Gold Coast Juniper	2 gal.	Plant # 4' S.C.	
03	Juniperus horizontalis 'Suecica'	Spreading Juniper	2' H.	Spreading Juniper form	
<b>PERENNIALS, SHRUBS</b>					
04	Andromeda obtusifolia 'Virens'	Blue Rug Juniper	1 gal.	Plant # 5' S.C.	

**CLIENT:**  
Rodrock Homes  
9550 Dice Ln.  
Lenexa, KS 66215

**PROJECT:**  
Stonebridge Villas and  
Courts  
167th and Mur-Len Rd.  
Olathe, KS



Date: 2.3.2020  
Project #: 576  
Landscape Plan  
Master Screening Plan

Meeting Minutes  
**Stonebridge Courts and Villa's (Combined Meeting)**  
January 29, 2020

The Meeting started a 6:00 p.m.

A sign-up sheet was used to record those neighbors in attendance. See attached

Harold Phelps, P.E. and Jeff Gifford represented the applicant.

The initial presentation was presented by Harold Phelps.

Harold informed the neighbors that everyone within 500 feet of the property was invited to this neighborhood meeting. Others within 200 foot would receive an additional notice of the public hearing to be held at the planning commission on February 24<sup>th</sup>.

Harold explained that Brian Rodrock and Jeff Gifford had purchased the Stonebridge Development and related property from Darol Rodrock in December of 2018. He further explained that the area that we were discussing this evening was south of 167<sup>th</sup> Street, north of Forest Hills Estates, east of Mur-Len and west of Brougham. He further indicated that Brian and Jeff has made a decision to move the villa product from the planned location north of the new middle school to this location south of 167<sup>th</sup> and east of Mur-Len and build on the success that Gary Jones had developed in The Courts at Fairfield Village and construct attached 3-plex units north of 169<sup>th</sup> Place.

It was indicated that these two developments would have access to the existing four community centers and that no new amenity facilities were planned for these areas, including the clubhouse we were meeting in.

The neighbors immediately started asking questions, so we started answering their questions.

*What projects have Brian and Jeff been involved with?* Arbor Lakes, Arbor Woods, Colton Lakes, Wyngate, Summerwood, Terrybrooke, Mission Ranch, The Willows, Hills of Forest Creek, Herrington Park and Sundance.

*What is the difference between the two project areas?* The area to the north of 169<sup>th</sup> Place would be 3-plexes with some 2-plexes and the area south would be detached villas. The attached product would be very similar to The Courts at Fairfield Village that Gary Jones had constructed and were shown the colored renderings and the villas would be free-standing units with landscaping and snow removal provided.

*A comment was made that there will be considerably more traffic on 169<sup>th</sup> Place with these developments.* The City's street hierarchy was explained that the local streets would tie into the collector streets (169<sup>th</sup> Place, Brougham and Kimball Streets) and that the collector streets would tie into



the arterial streets (Mur-Len and 167<sup>th</sup> Street). The applicant acknowledged that there would be additional traffic but that the City's Street Network was designed for this amount of traffic.

*Will Brougham be extended to the south?* Yes, Rodrock will construct that portion of Brougham adjacent to the development and the remainder would be constructed when the adjacent Linn property developed.

*Who owns the greenspace to the south?* There are two ownerships, one being the City of Olathe and the other being the Rodrock group. The City property is going to develop as a regional detention basin and the Rodrock property will be a native preservation area with a trail easement so that the City will be allowed to construct a trail from Mur-Len to Heritage Park.

*What would be the difference between the existing Courts of Fairfield and the proposed Stonebridge Courts be?* They will be very similar in style as Gary Jones is consulting with Rodrock on the unit design. The City has changed some of their regulations regarding the exterior materials and fire suppression that would be incorporated into the design.

*What is the proposed phasing?* Rodrock plans to start as soon as approvals can be obtained. We would like to continue the momentum that Gary Jones has developed in his project and provide the additional villa market product to the south. Phases will be added every 12-18 months to keep inventory until the project is fully developed in 6-8 years.

*What are the lots going to be priced at?* The lots prices have not been set but would expect them to be in the \$120,000 range for the villa product. The sales price of the court units is expected to start in the mid \$300,000 and the villas are expected to start in the \$400,000 range.

*What about construction traffic?* Initial construction traffic will use 169<sup>th</sup> Place and Kimball Streets. Brougham construction is most like to start with the second phase of the courts project and construction traffic will enter from Brougham.

*Will there be rock blasting?* Maybe, we have not performed any rock depth studies to date. The only rock basting we would anticipate would be for the sanitary sewer construction as the start of construction and none for foundation excavation.

*Will there be a Home Owner's Association and additional amenities?* It was explained that there would be a tiered HOA with a master association for the entire Stonebridge area and an additional association for each of the courts and villa areas. There is a gazebo and pickle ball court planned in the court area but not additional amenities in the villa area. A City trail system was anticipated in the open area to the south and the connections were being allowed for with in the plan.

*Will the trees and vegetation remain to the south and in the existing ditch east of The Courts at Fairfield?* Yes, a landscape plan has been submitted indicating that the existing vegetation would remain in the open areas.

*Is there going to be a walking trail between the Fairfield and Stonebridge projects?* At the meeting we were not sure if a walking trail would be constructed. One property owner stated that they thought the County was going to construct the trail.

Who is responsible for maintaining the creek between the Fairfield and Stonebridge projects? Typically the developer is responsible until the property is dedicated to the HOA. We do not know if Fairfield has made this transfer.

*What will happen to the existing driveway that is currently constructed into the property along 167<sup>th</sup> Street?* This access drive will be removed as part of the construction project.

*One of the neighbors indicated that they lived north of 167<sup>th</sup> Street and that they understood that this property was going to be constructed as single family residential, why is this changing?* The City's Master Plan indicates this property to be "Mixed Density Neighborhood" and with the initiation of the Fairfield project in the early 2000's this property is very suitable to continue the trend and build on that success. Add to this, the planned villa product to the south and this "pocket" of Stonebridge will be the "empty nester" area providing a more carefree living environment for those wanting a different lifestyle.

*What is the status of the City's Regional Stormwater Detention Project?* It was stated that the contractor has been awarded the contract and the City was wrapping up land acquisition and permitting.

*When will Mur-Len and 167<sup>th</sup> Street be further improved?* It was explained that the existing improvements were funded by the adjacent property owners and developers and any further improvements would be facilitated by the City of Olathe. We were not aware of any imminent improvements.

*What are the planned square footages of the courts and villa units?* The units will be designed with living space on the main floor and the basement areas. One would expect the total square footage of the courts to be in the 2,300-2,400 square foot range and the villa's to be in the 3,000 square foot range.

*What builders are going to be allowed to construct the units and will you allow for single builders to build in the villa area?* Rodrock intends to construct all of the attached courts units and have not decided whether or not they will build or have 4-5 builders in the villa product. For control and continuity reasons they are not likely to allow one-time builders in the project.

*There was a comment/concern about the landscaping maintenance/replacement in the Stonebridge on the Trails areas.* It was indicated that the City has specific landscape requirements that we must meet along arterial roadways and when units back up to collector streets. We will meet this requirements in this development.

*Will there be any separation or buffer between the Court at Fairfield and the new Stonebridge Court area?* Other than the addition of the 132 trees that the developer is required to plant within the court area there would not be a "buffer" area between the similar projects.

*What is the detention area that the City is going to be constructing?* The City is going to construct the embankment for Brougham that will have a culvert installed that will restrict the flow and create a backwater condition onto the City owned property west of Brougham. This will not be a permanent pond but rather a just a backwater condition and would drain down over time. One of the property owners to the south in the Forest Hills Estates area asked if this would continue to back up into their area? It was stated that there are 100-year floodplain areas designated in that area and that one should expect those areas to continue to flood.

There was one comment about removing the dirt pile at the corner of 167<sup>th</sup> and Kimball as it was made it difficult to maneuver onto 167<sup>th</sup> Street.

All were asked to sign the sign-in sheet, if they hadn't already done so.

The formal presentation and questions ended at 7:10 p.m., Harold and Jeff stayed around to answer individuals questions or comments and we left the clubhouse around 7:30 p.m.

## SIGN-IN SHEET

<u>Name</u>	<u>Address</u>	<u>Phone Number</u>	<u>Email</u>
Ralph & Amy Thompson	16262 W. 171 <sup>st</sup> Terr.	913-980-7425	abt75@hotmail.com
Tim & Carrie Ayers	16274 168 <sup>th</sup> Place	801-541-4098	acw72@icloud.com
Tom Boehm	18185 W 215 <sup>th</sup> Springsh. II	913-980-6826	boehmT57@hotmail.com
Kathy Utting	16396 W. 171 <sup>st</sup> St		return-of-skutt@hotmail
Diana Gragson	16270 W 171 St	913 449 5648	diana.gragson@gmail.com
Dave & Victoria Murphy	16242 W 168 <sup>th</sup> Pl	913 226 6088	damurphy444@gmail.com
Chris & Patti Larizer	16260 W 171 <sup>st</sup> Terr	913-827-8222	plarizer@gmail.com
Dona Rude Lewis	16304 W. 167 <sup>th</sup> Terr	816-289-9322	rudelewis@aol.com
Gae & Margaret Gammell	16280 W 167 <sup>th</sup> Terr	913-526-4061	gammell@att.net
Barbara & Riccio	16798 S. Cheshire St.	913-515-4009	Br Br Riccio@aol.com



## SIGN-IN SHEET

<u>Name</u>	<u>Address</u>	<u>Phone Number</u>	<u>Email</u>
Jim Roffert	16946 S. Bradley Dr	405-520-2371	poteroffj@yahoo.com
STANTON & TERRA WHITE	16958 S. BRADLEY DR	913-283-4551	STANTONWHITE@GMAIL.COM
DAVID & LINDA MOLZ	16677 So Chateaufort	913-782-0347	DAMOLINZ@ATT.NET
Gloria Crouch	16829 S BRADLEY DR	913-378-3473	gloracrouch11@gmail.com
BENJAMIN LIPSCHUTZ	16361 W 168th L	913 460 0363	BENJIL@AOL.COM
DON LUNBECK	16309 W. 167th CT	913 645 5943	donlunbeck@gmail.com
Rick Hastings	16288 W 167th CT	913-488-3284	RHAST89158@ATT.NET
Row Whittecar	16296 W 167th CT	913-302-0525	ECDDT0410@GMAIL.COM



PLANNING  
ENGINEERING  
IMPLEMENTATION

January 7, 2020

Re: Neighborhood Meeting for Stonebridge development project located at the  
SW corner of 167<sup>th</sup> Street and Brougham Drive, Olathe, Kansas.  
Application No. PP19-0007 and RZ19-0024

Dear Neighbor,

On behalf of our client, Stonebridge Partners, LLC., I would like to invite you to an informational meeting that we are hosting for our neighbors regarding the development on the above referenced property. We will be hosting this gathering on **Wednesday, January 29, 2020 at 6 pm, at Stonebridge Trails Clubhouse** located at 16470 W. 165th Street Olathe, KS 66062.

Our proposed project consists of the Stonebridge Villas area with 60-foot-wide single-family lots on the East side of Mur-Len Road and the continuation of Multi-family products from the Townhomes at Fairfield Village on the South side of 167<sup>th</sup> Street and West of future Brougham Drive. The project is anticipated to begin construction Spring 2020. A copy of the proposed site plan is attached. We have filed application(s) with the City for their approval and we are excited to share this information with you and answer any questions you may have.

Please feel free to attend this meeting for an opportunity to learn more about the project and discuss any questions you might have.

Sincerely,

Harold A. Phelps, P.E.  
Phelps Engineering, Inc.,  
Agent for Stonebridge Land & Cattle, LLC  
[hphelps@phelpsengineering.com](mailto:hphelps@phelpsengineering.com)

PHELPS ENGINEERING, INC.

1270 N. Winchester - Olathe, Kansas 66061 - (913) 393-1155 - Fax (913) 393-1166 - [www.phelpsengineering.com](http://www.phelpsengineering.com)