

## Chapter 18.15

### ~~Composite~~ Building and Site Design Standards

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#### **18.15.010 Generally**

*Purpose: This Chapter establishes a framework of guidelines, criteria, and standards for building and site design:*

- Promote greater interest in the appearance, development and redevelopment of all properties as it relates to a project, its surroundings and throughout the community by providing guidance and direction for high quality development and redevelopment in Olathe; and*
- Protect the public health, safety, and welfare of the City, residents, property owners, business owners and visitors; and*
- Implement the goals, objectives, and policies of PlanOlathe; and*

- *Encourage attractiveness, cohesiveness and compatibility of buildings and sites in order to achieve harmonious appearance and function while protecting property values; and*
- *Provide guidance for development and redevelopment while protecting the City's rich history and protecting natural resources throughout the built environment; and*
- *Maintain and improve the qualities of, and relationships between, individual buildings, structures and the physical development in such a manner as to best contribute to the amenities and attractiveness of the City.*

**A.** These ~~design~~ ~~composite~~ standards are minimum requirements. Applicants are encouraged to use higher quality materials, more frequent building articulation, higher connectivity, a greater amount of open or civic spaces, or a greater percentage of sustainable or green building design or materials.

~~**B.** The architectural design of single-family residences, their materials and color, shall be visually harmonious with the overall appearance of the community, natural environment, and other high-quality development approved within the City. The exterior appearance of single-family residences shall consist of complimentary building materials and design features that provide a variation in amenities and features and incorporate high-quality standards into the building layout, open space, natural topography, sustainability practices and overall character. The visual elements and amenities will be proportional to the relationships and patterns of the built and natural environment while providing decorative detailing and utilizing high-quality materials.~~

~~**C.** The zoning regulations (Chapter ~~18.20~~) provide the combinations of building and site design that are allowed in each zoning district. In many districts, higher quality materials or more compact development patterns are associated with higher density, building height or floor area.~~

~~Instead of creating new zoning districts or a series of overlay districts, composite zoning embeds the standards for use, building design, and site design into general district categories. This creates a customized set of standards that the City can administer for all new zoning cases, instead of having to negotiate individual standards for each new application.~~

~~**D.** For the purposes of composite design standards, nonresidential uses (i.e., churches and schools) that are permitted in residential zoning districts will be considered under Building Design Category C and Site Design Category 3. These types of uses should be comparable to a Neighborhood Commercial Center.~~

~~Example: The C-1 district provides a set of dimensional standards for Site Design Category 3 or 4 with Building Design Category D or E, Site Design Category 4 with Building Design Category C, or Site Design Category 3 with Building Design Category C. Building Design Category F and Site Design Categories 5 and 6 are not allowed in the C-1 district (Site Design Categories 1 and 2 and Building Design Categories A and B are applicable only to residential zoning districts).~~

(Ord. 18-48 § 2, 2018)

## 18.15.020 **Composite** Building Design Standards

### **A. Generally**

~~A range of composite building design categories are provided to promote compatibility with surrounding land uses and community features, while providing realistic and flexible standards for new development. The required building design categories are based on the applicable zoning districts and type of use designated on the future land use map. Some building design categories are intended to promote design character and quality that are compatible with abutting features and neighborhoods (such as a key corridor or residential neighborhoods), while other areas are intended to promote maximum design flexibility. The range of design standards that apply in each building design category are briefly summarized in the table below. This summary table is for reference purposes only; the applicable design standards are detailed throughout the remainder of this Chapter.~~

**Table 15-1. Summary of Composite Building Design Standards**

	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
<b>Future/proposed land use map category</b>	<b>Conventional- Conservation/ Cluster Neighborhood</b>	<b>Mixed-Use- Residential- Neighborhood</b>	<b>Neighborhood- Center, Urban- Center, TOD</b>	<b>Commercial- Corridor, Regional or Community- Commercial- Center</b>	<b>Employment Area</b>	<b>Industrial Area</b>
<b>Typical zoning district</b>	<b>R-1</b>	<b>R-2, R-3, R-4</b>	<b>N, C-1, D</b>	<b>C-2, C-3, C-4</b>	<b>O, BP, M-1</b>	<b>M-2, M-3</b>
<b>Facade Expression</b>	No special considerations	Highly articulated	Highly articulated	Moderately articulated	Facade with a range of	Facade with a range of

	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
<i>Future/proposed land-use map-category</i>	<del>Conventional, Conservation/Cluster-Neighborhood</del>	<del>Mixed-Use Residential-Neighborhood</del>	<del>Neighborhood-Center, Urban-Center, TOD</del>	<del>Commercial-Corridor, Regional-or-Community-Commercial-Center</del>	<del>Employment-Area</del>	<del>Industrial-Area</del>
<i>Typical zoning-district</i>	<del>R-1</del>	<del>R-2, R-3, R-4</del>	<del>N, C-1, D</del>	<del>C-2, C-3, C-4</del>	<del>O, BP, M-1</del>	<del>M-2, M-3</del>
		<del>façade, with a high-level of transparency</del>	<del>façade, with a high-level of transparency</del>	<del>façade, with a moderate-level of transparency</del>	<del>articulation and transparency</del>	<del>articulation and transparency</del>
<b>Pedestrian Orientation</b>	<del>Front-facing entry element (porch, stoop, etc.)</del>	<del>High-level of ground-floor pedestrian interest with front-facing entries (porch, stoop, etc.)</del>	<del>High-level of ground-floor pedestrian interest and transparency with front-facing entries (canopy, courtyard, etc.)</del>	<del>Moderate level of ground-floor pedestrian interest with front-facing entries (canopy, courtyard, etc.)</del>	<del>No special considerations</del>	<del>No special considerations</del>
<b>Materials</b>	<del>No special considerations</del>	<del>High-quality materials</del>	<del>High-quality materials</del>	<del>Moderate-quality materials</del>	<del>High-quality materials</del>	<del>A wide range of materials permitted</del>
<b>Garage</b>	<del>Garage door design standards may apply</del>	<del>Garage door design standards may apply</del>	<del>No special considerations</del>	<del>No special considerations</del>	<del>No special considerations</del>	<del>Overhead doors generally do not face primary streets</del>
<b>Transition Adjacent to Single-Family</b>	<del>No special considerations</del>	<del>Lower-scale adjacent to single-family</del>	<del>Lower-scale adjacent to single-family</del>	<del>Lower-scale adjacent to single-family</del>	<del>Lower-scale adjacent to single-family/ Façade adjacent to single-family-treated as primary</del>	<del>Façade adjacent to single-family-treated as primary/ Smaller-scale building modules adjacent to single-family</del>

**B. Building Materials**

~~1. Building material standards are provided to ensure appropriate quality and visually coherent building designs. Materials for the primary and secondary building façade shall be selected from Table 15-2 below according to the percentage specified for each materials category in the relevant composite building design standards.~~

**Table 15-2. Permitted Building Materials by Materials Category**

	Materials- Category 1	Materials- Category 2	Materials- Category 3
<b>Masonry</b>			
Brick, solid	✓	✓	✓
Brick, modular	✓	✓	✓
Brick, panel/veneer		✓	✓
Brick, imprint or overlay systems			✓
Stone, modular	✓	✓	✓
Stone, veneer	✓	✓	✓
Stone, synthetic	✓	✓	✓
Stucco, genuine, detailed	✓	✓	✓
Stucco, synthetic/panels		✓	✓
Concrete, plain finish		✓	✓
Concrete, detailed	✓	✓	✓
Concrete Masonry Unit, flush/plain			✓
Concrete Masonry Unit, split faced		✓	✓
Concrete Masonry Unit, burnished	✓	✓	✓
Cement fiber board		✓	✓
<b>Metals</b>			
Architectural metal		✓	✓

	Materials- Category-1	Materials- Category-2	Materials- Category-3
Corrugated metal			✓
Standard metal lap siding			✓
Aluminum Siding			✓
<b>Glass</b>			
Clear Glass	✓	✓	✓
Architectural panels	✓	✓	✓
Architectural block		✓	✓
Mirror glass	✓*	✓	✓
Opaque glass	✓*	✓	✓
<b>Wood</b>			
<b>Other Synthetics</b>		✓	✓
Synthetic stucco/EIFS			✓
Synthetic stucco/EIFS (detail only)		✓	✓
Vinyl siding			✓
Plastic (columns, details, etc.)			✓

\* Mirror and opaque glass may be used as Category 1 Materials in M-1 and M-2 Districts only.

~~2.~~ The permitting agency may approve building material(s) not listed in or reclassify a building material(s) for an individual project on **Table 15-2** if it finds that the material is similar or of higher quality to the other materials in the same category with regard to:

- ~~a.~~ Durability and quality; and
- ~~b.~~ Appearance; and
- ~~c.~~ Sustainability practices; and
- ~~d.~~ Compatibility with the architectural style of the buildings that are subject to the application for approval.

### **C. Roof Materials**

~~Mansard and other visibly sloped roofs for commercial or mixed uses that are subject to Building Design Categories C, D or E (see Chapter 18.15) shall consist of tile, slate, standing seam metal, or textured metal that resembles asphalt or tile. Metal, asphalt or composition shingle, or other materials with a synthetic or plastic appearance are not allowed.~~

#### **~~D. Awnings and Canopies~~**

~~1. Awnings and canopies that are located on a primary façade or are visible from the street shall:~~

~~a. Commercial or mixed uses that are subject to Building Design Categories C, D or E (see Chapter 18.15) shall use non-vinyl materials that are durable in the local climate such as commercial grade fabric, canvas, tile, slate, or similar materials. Metal, asphalt or composition shingle, or other materials with a synthetic or plastic appearance are not allowed.~~

~~b. Use materials with a matte finish.~~

~~c. Use a single color or two color stripes.~~

~~d. Be placed within, rather than overlapping, the vertical elements of a building façade that is divided into distinct structural bays.~~

~~2. Awnings and canopies that are not located on a primary façade and are not visible from the street may comply with subsection 1, or:~~

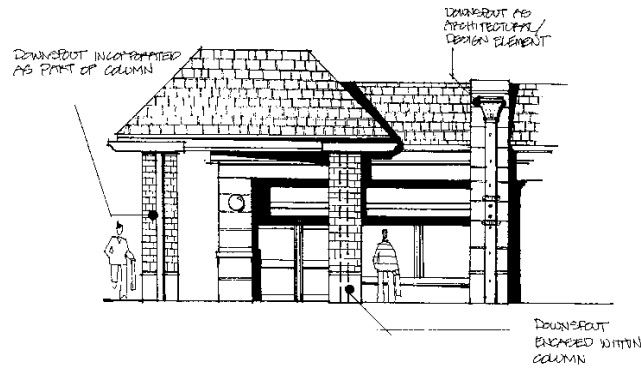
~~a. Use glossy or shiny plastic, or materials with a similar shiny appearance.~~

~~b. Use internal illumination.~~

#### **~~E. Gutters and Downspouts~~**

~~1. The location and design of exposed gutters and downspouts shall be identified on building elevations submitted for approval.~~

~~2. Exposed gutters and downspouts that are located on the primary façades of nonresidential structures subject to Building Design Categories C, D, E or F shall meet the following criteria:~~

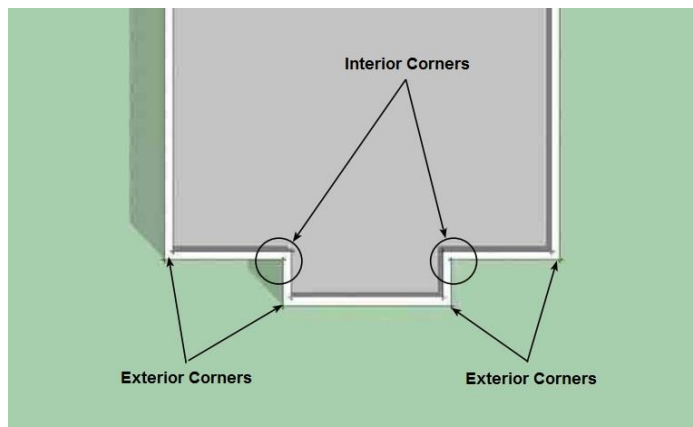


~~a. Exposed gutters are prohibited for use with flat roofs.~~

~~b. Downspouts shall be enclosed within the building walls so that they are not exposed. Exceptions may be granted by the Approving Authority to allow exposed downspouts, provided that they are either:~~

~~(i) designed by the architect as decorative architectural elements that are an integral component of the building design and coordinated with vertical elements such as towers, columns, or pilasters; or~~

~~(ii) located only at interior corners of the building and painted to match or coordinate with the façade in order to minimize their appearance.~~



~~c. Exposed gutters and downspouts shall be constructed of high-quality, commercial-grade metal.~~

~~3. Interpretations of subsection 2 shall be determined by the Planning Official.~~

## **F. Rooftop Screening**



- ~~1. All applications for preliminary or final development plan approval shall include information regarding anticipated rooftop equipment, including mechanical units, vents, pipes, and other appurtenances. Such equipment shall be indicated on building elevations where the size and location of such equipment is known, and any anticipated equipment or equipment locations not yet determined shall be described in the notes on the building elevations along with the estimated maximum dimensions of such equipment and the intended methods of screening.~~
- ~~2. All rooftop equipment shall be screened from public view with an architectural treatment which is compatible with the building architecture and integral to the overall appearance of the building. An example includes a parapet wall that includes the same building materials as the lower levels of the building façade.~~
- ~~3. For purposes of this chapter, the phrase "architectural treatment compatible with the building architecture" does not include painted or prefinished rooftop equipment.~~
- ~~4. For rooftop equipment not adequately screened by the parapet, a supplementary screen shall be provided by the use of prefinished architectural metal panels, stucco panels, masonry walls, or similar building materials.~~
- ~~5. The height of the screen shall be no lower than the height of the equipment.~~
- ~~6. Screening shall not interfere with Fire Department access to the roof.~~
- ~~7. The Approving Authority may waive or amend rooftop equipment screening requirements as part of a preliminary or final site development plan if the applicant provides a sight line visibility study and alternative screening provisions if needed, and the approving authority finds that:  
(Ord. 09-22 § 13, 2009)~~
  - ~~a. The building is located at a high elevation in relation to surrounding properties, and it is demonstrated that rooftop equipment will not be visible; or~~
  - ~~b. The building is located in the middle of an industrial park and rooftop equipment is not visible from arterial roadways or residential properties, and will not have a negative impact upon any sensitive areas or scenic view or vistas; or~~
  - ~~c. The building is sited in a manner where the location and setback of rooftop equipment from the building edge in relation to the elevation and visibility of surrounding properties is such that the equipment will not be visible from any distance and additional screening measures are not required.~~

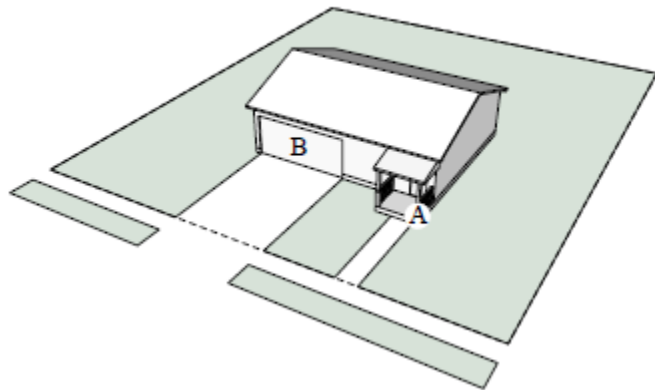
~~8. In the event that any rooftop equipment has not yet been determined at the time of final development plan approval, or changes are made to rooftop equipment after the final development plan is approved, the applicant must provide suitable screening to meet the above criteria, subject to review and approval by the Planning Official. (Ord. 18-48 § 2, 2018; Ord. 16-20 § 4, 2016; Ord. 15-16 § 3, 2015)~~

## 18.15.025 ~~Building Design Category A~~

~~Composite Building Design Category A provides standards to ensure compatible development in areas designated by Plan Olathe as **Conventional Neighborhoods** and~~

~~**Conservation/Cluster Neighborhoods.**~~

~~The following general design standards apply to all projects in Building Design Category A. **Note: Category A does not apply to single-family dwelling units on lots exceeding 7,200 square feet.**~~



**Table 15-3. General Design Standards for Building Design Category A**

Pedestrian Orientation		
<b>A</b>	Front-Facing Entry Element on Primary Façade	Required—See menu options
<b>B</b>	Garage Subordinate to Primary Façade of One-story Buildings	Required—See menu options
Exterior Building Materials		
<b>C</b>	Building Materials on Primary Façades (min. % from Materials Category 1 / max. % Materials Category 2)	70% / 30%

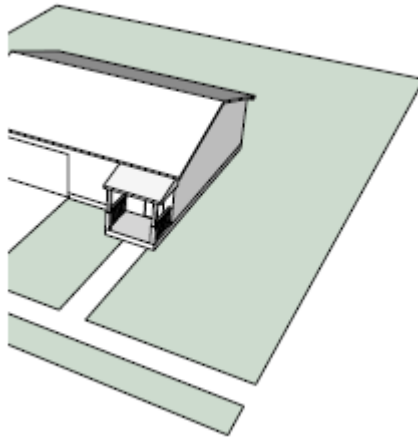
### **A. Menu of Entry Elements for Building Design Category A**

All buildings in Building Design Category A must incorporate a front-facing entry element to signal the connection between the sidewalk and the house. An entry element shall be placed either on the

~~primary façade, or be visible from the street. It may extend a maximum of 5 feet into the minimum front setback area, not including stairs or landings. The following entry elements meet the front-facing entry requirement:~~

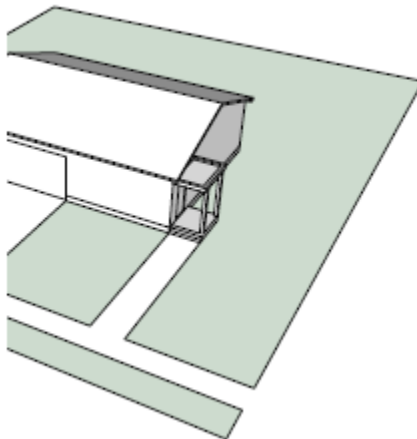
#### **Front Porch**

~~A roofed but unenclosed entry element with a minimum width of 8 feet and depth of 4 feet—  
Partial walls or railings may be no more than 4 feet tall.~~



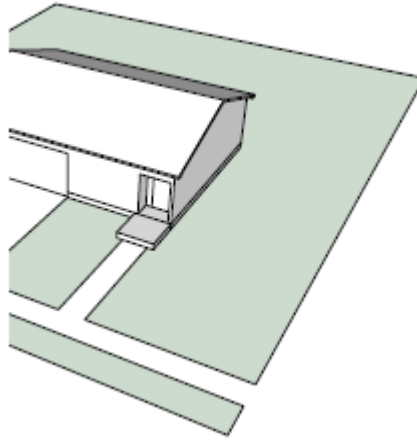
#### **Side Entry**

~~A roofed but unenclosed entry element with a minimum depth of 4 feet projecting from a side-facing doorway.~~



### **~~Recessed Entry~~**

~~An entry recessed at least 2 feet into the primary façade.~~

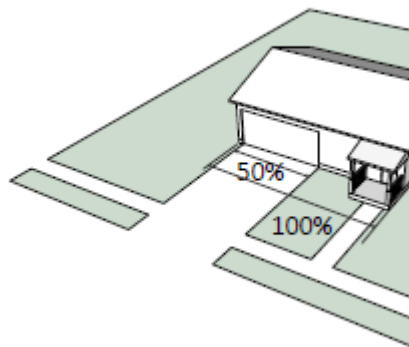


### **~~B. Menu of Garage Door Options for Building Design Category A~~**

~~Buildings in Building Design Category A that are less than two stories in height must have garage doors that are subordinate to the primary façade to minimize visual impacts and encourage pedestrian orientation. Select at least one of the following options:~~

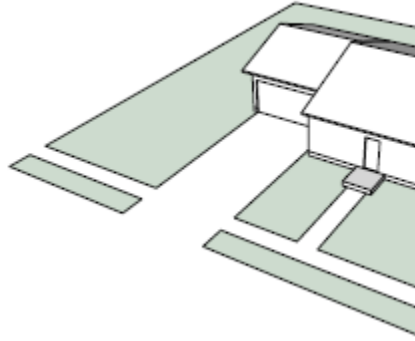
#### **~~Front-Facing Garage Door with Limited Width~~**

~~Front-facing garage door(s) extending a maximum of 50% of the primary façade width or 28 feet, whichever is greater.~~



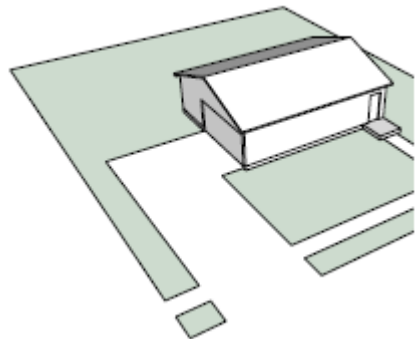
### **~~Garage Door Set Back from Primary Façade~~**

~~Front-facing garage door(s) set back at least 5 feet from the primary façade.~~



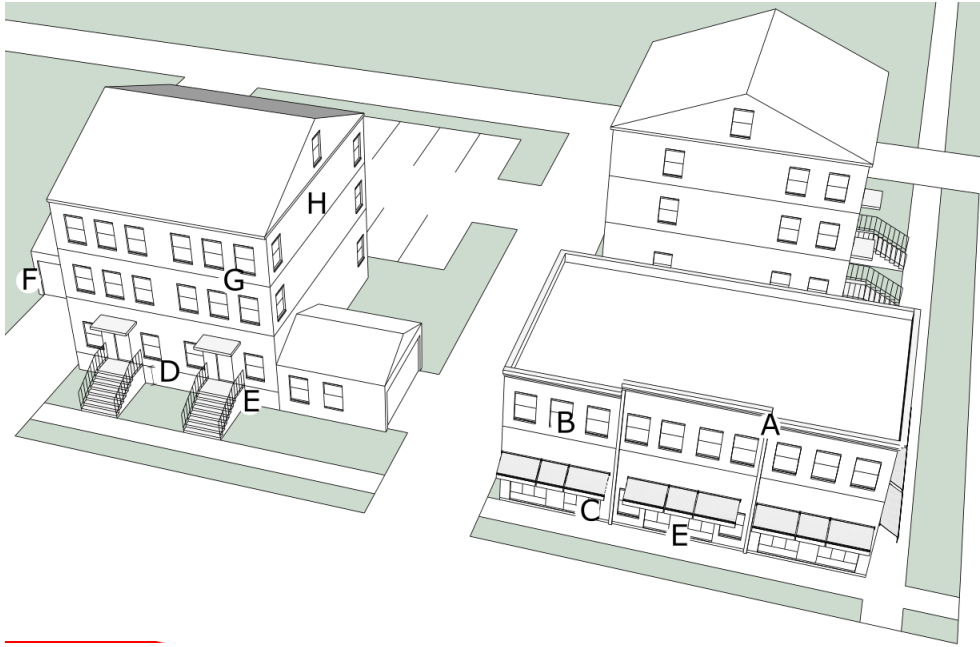
### **~~Side or Rear Facing Garage Doors~~**

~~Garage door(s) oriented perpendicular to the street or facing the opposite direction from the street.~~



### **~~C. Building Materials on Primary Façades for Building Design Category A~~**

~~See Table 15-3.~~

**18.15.030 Building Design Category B**

Composite Building Design Category B provides standards to ensure compatible development in areas designated by *PlanOlathe* as Mixed-Use Residential Neighborhoods. The following general design standards apply to all projects in Building Design Category B:

**Table 15-4. General Design Standards for Building Design Category B**

<b>Façade Expression</b>		
<b>A</b>	Horizontal and Vertical Articulation of Primary Façade	Required – See menu options
<b>B</b>	Transparent Glass on Primary Façade (min. %)	25%
<b>Pedestrian Orientation</b>		
<b>C</b>	Ground Floor Pedestrian Interest	Required – See menu options
<b>D</b>	Residential Finished Floor Elevation Above Sidewalk (min)	18 inches
<b>E</b>	Front-Facing Entry Element on Primary Façade	Required – See menu options
<b>F</b>	Garage Subordinate to Primary Façade	Required – See menu options
<b>Exterior Building Materials</b>		
<b>G</b>	Building Materials on Primary Façades (min. % from Materials Category 1 / max. % Materials Category 2)	70% / 30%

<del>H</del>	<del>Building Materials on Secondary Façades (min. % from Materials-Category 1 / max. % Materials-Category 2)</del>	<del>50% / 50%</del>
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#### ~~Transition Standards~~

<del>I</del>	<del>Transition to R-1 and R-2 Districts</del>	<del>Required—See text</del>
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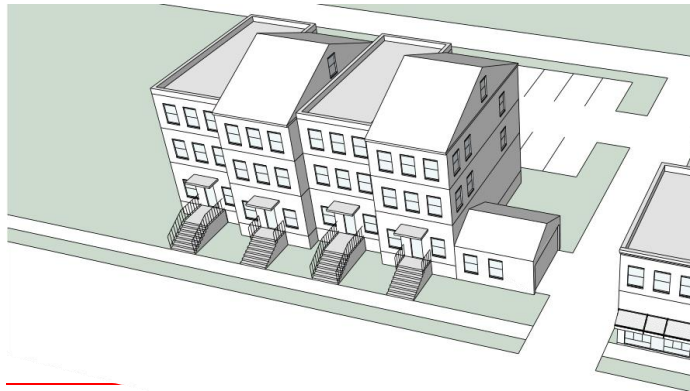
### ~~A. Menu of Articulation Tools for Building Design Category B~~

~~All buildings in Building Design Category B must incorporate horizontal and vertical primary façade articulation to divide building mass into human scale modules.~~

#### ~~1. Horizontal Articulation~~

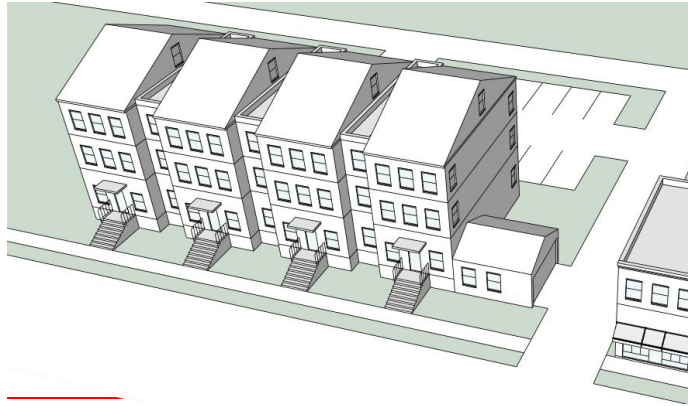
~~One or more of the following horizontal articulation tools must be used a minimum of every 50 feet of linear façade width, or per each ground-floor residential unit (if units are less than 50 feet wide):~~

##### ~~a. Wall Offset~~



~~A horizontal wall plane offset of at least 4 feet, extending for the full height of the primary façade.~~

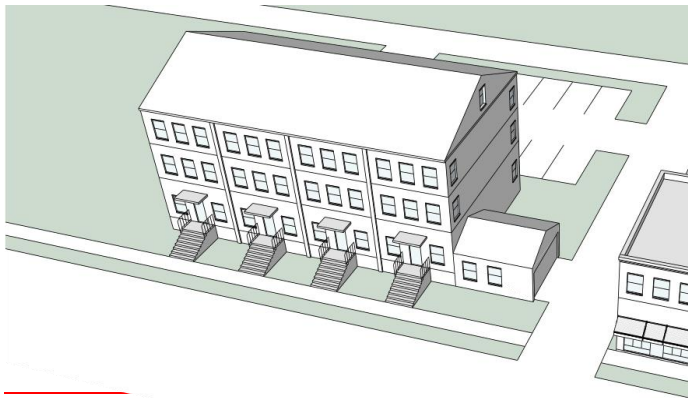
##### ~~b. Wall Notch~~



~~A setback or notch in the wall plane at least 4 feet deep and 8 feet wide for the full height of the primary façade.~~

**~~c. Wall projection~~**

~~A projection or molding at least 4 inches deep and 1 foot wide for the full height of the primary façade.~~

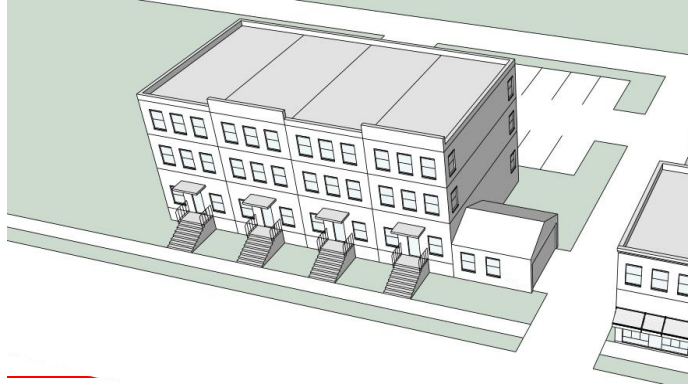


**~~2. Vertical Articulation~~**

~~One or more of the following vertical articulation tools must be used a minimum of every 50 feet of linear façade width:~~

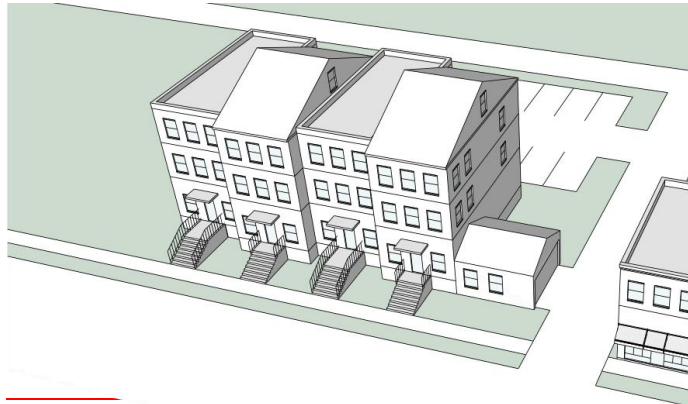
**~~a. Variation in Height as viewed from the street~~**





~~A variation in building or parapet height of at least 2 feet (or 4 feet for buildings greater than two stories in height).~~

**~~b. Variations in Roof Form~~**



~~Use of more than one roof form to express different building modules.~~

**~~B. Transparent Glass on Primary Façade for Building Design Category B~~**

~~See Table 15-4.~~

**~~C. Menu of Ground Floor Pedestrian Interest Tools for Building Design Category B~~**

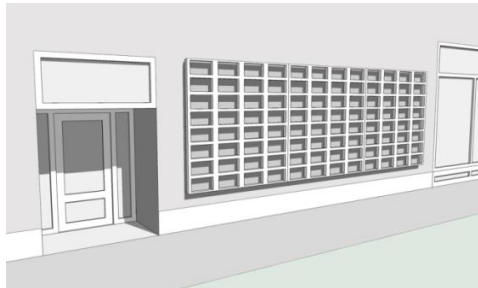
~~All buildings in Building Design Category B must use transparent glass or other tools to promote pedestrian interest at the ground floor of the primary façade. At least 50% of the ground floor wall area on the primary façade of commercial buildings and 25% of the ground floor wall area on the primary façade of residential buildings must be covered with one or more of the following tools:~~

**~~1. Transparent Glass~~**



~~Window and door areas with transparent glass (also counts toward minimum transparent glass on primary façade).~~

## ~~2. Architectural Details~~



~~Installation of green screens or other architectural details.~~

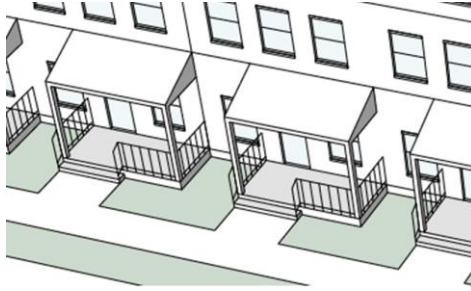
## ~~3. Integrated Planters~~



~~Permanent planters at least 3 feet in height, attached to the ground floor of the building.~~

~~The wall area covered by planters is calculated according to the length of façade covered by the planter.~~

## ~~4. Entry Elements~~



~~Incorporation of entry elements from the Menu of Entry Elements for Building Design Category B (see next page).~~

#### ~~D. Residential Finished Floor Elevation for Building Design Category B~~

~~See Table 15-4.~~

#### ~~E. Menu of Entry Elements for Building Design Category B~~

~~All buildings in Building Design Category B must incorporate a front-facing entry element to signal the connection between the sidewalk and the building or residential unit. One entry element shall be provided for each primary ground floor use in the building and each ground floor residential use with an exterior entry. An entry element shall be placed either on the primary façade, or be visible from the street. It may extend a maximum of 5 feet into the minimum front setback area, not including stairs or landings. The following entry elements meet the front-facing entry requirement:~~

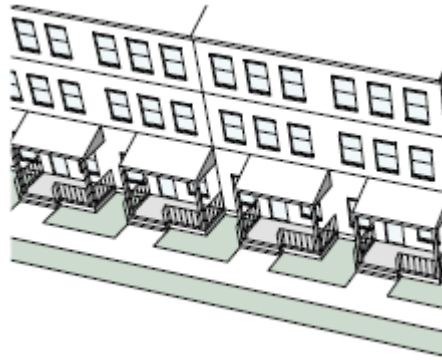
##### ~~1. Awning/Canopy~~

~~A horizontal projecting element cantilevered at least 4 feet from a wall or window area above the entry, and at least 10 feet above the sidewalk below.~~



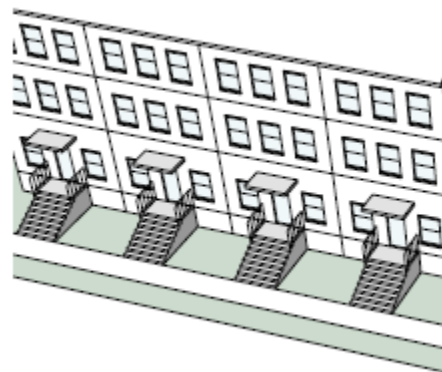
## ~~2. Front Porch~~

~~A roofed but unenclosed entry element with a minimum width of 8 feet and depth of 4 feet—  
Partial walls or railings may be no more than 4 feet tall.~~



## ~~3. Stoop~~

~~A raised and unenclosed (may be roofed) landing and stairway with a maximum depth of 4 feet  
and a maximum width of 4 feet not including the stairs—Partial walls or railings may be no more  
than 4 feet tall.~~

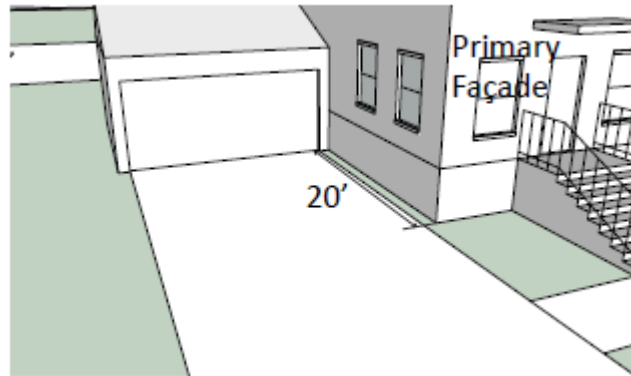


## ~~F. Menu of Garage Door Options for Building Design Category B~~

~~Garage doors in Building Design Category B must correspond with one of the following options to  
minimize blank wall area on the primary façade and limit the impact of vehicular use areas on  
pedestrians:~~

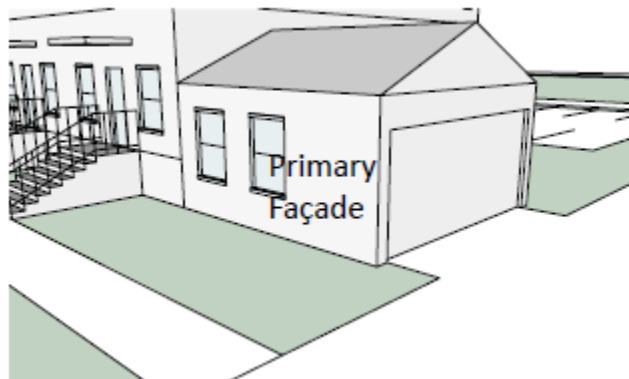
### ~~1. Garage Door Set Back from Primary Façade~~

~~Front-facing garage door(s) set back from the primary façade or located in a detached structure to the rear of the primary structure.~~



### ~~2. Side or Rear Facing Garage Doors~~

~~Garage door(s) oriented perpendicular to the street or facing the opposite direction from the street.~~



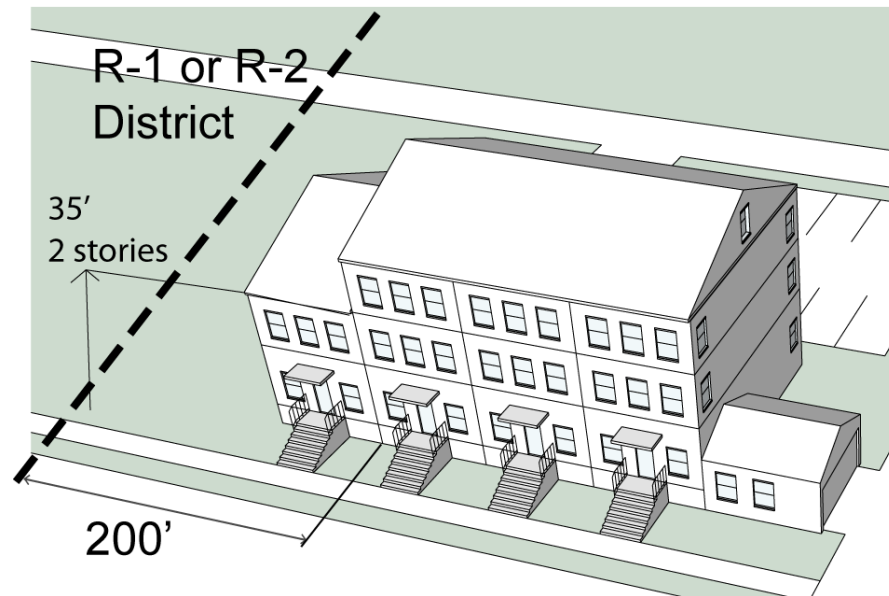
### ~~G. Building Materials on Primary Façades for Building Design Category B~~

~~See Table 15-4.~~

### ~~H. Building Materials on Secondary Façades for Building Design Category B~~

~~See Table 15-4.~~

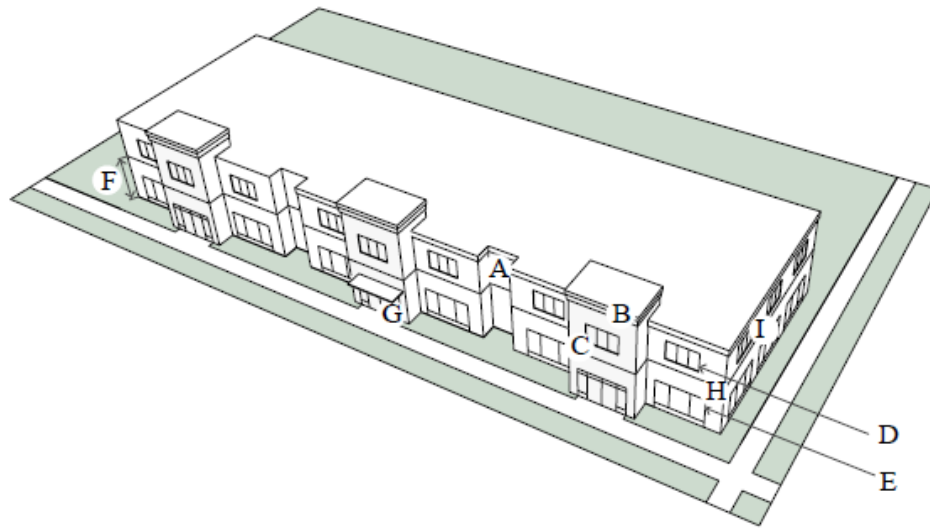
### ~~I. Transition Standards for Projects Adjacent to Single-Family Neighborhoods~~



A building or portion of a building located within 100 feet of an R-1 or R-2 district may be no more than 35 feet or two stories in height.

### ~~18.15.035 Building Design Category C~~

Composite Building Design Category C provides standards to ensure compatible development in areas designated by *PlanOlathe* as ~~Neighborhood Commercial Centers, Urban Centers and Transit Oriented Development Centers~~ and ~~Cedar Creek Mixed Use Centers~~. The following general design standards apply to all projects in Building Design Category C:

**Table 15-5. General Design Standards for Building Design Category C**

<b>Façade Expression</b>		
<b>A</b>	Horizontal and Vertical Articulation of Primary Façade	Required—See menu options
<b>B</b>	Focal Point Elements on Primary Façade	Required—See menu options
<b>C</b>	Additional Primary Façade Expression	Required—See menu options
<b>D</b>	Transparent Glass on Primary Façades (min. %)	30%
<b>Pedestrian Orientation</b>		
<b>E</b>	Ground Floor Pedestrian Interest	Required—See menu options
<b>F</b>	First Floor Height (min.)	11 feet
<b>G</b>	Front-Facing Entry Element on Primary Façade	Required—See menu options
<b>Exterior Building Materials</b>		
<b>H</b>	Building Materials on Primary Façades (min. % from Materials Category 1 / max. % Materials Category 2)	80% / 20%
<b>I</b>	Building Materials on Secondary Façades (min. % from Materials Category 1 / max. % Materials Category 2)	60% / 40%
<b>Transition Standards</b>		
<b>J</b>	Transition to R-1 and R-2 Districts	Required—See text
<b>Overhead Doors</b>		

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<b>K</b>	<del>Location of Overhead Doors for Vehicular Access</del>	<del>May not be located on primary façade</del>
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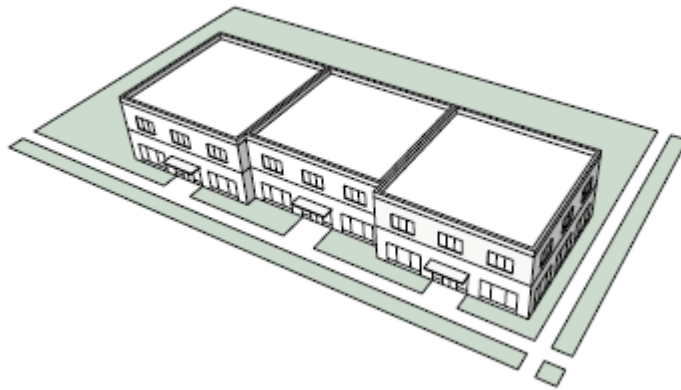
### ~~A. Menu of Articulation Tools for Building Design Category C~~

~~All buildings in Building Design Category C must incorporate horizontal and vertical primary façade articulation to divide building mass into human scale modules.~~

#### ~~1. Horizontal Articulation~~

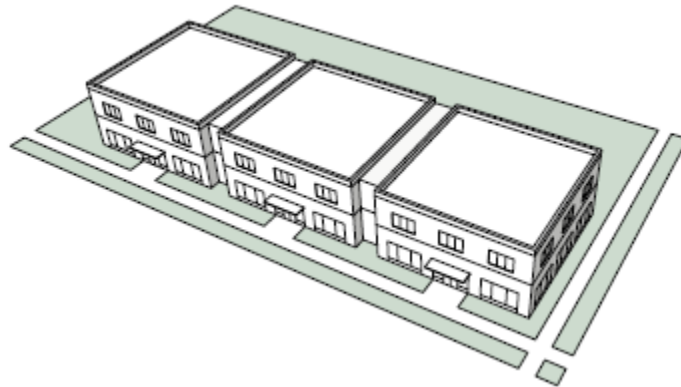
~~One or more of the following horizontal articulation tools must be used a minimum of every 50 feet of linear façade width:~~

##### ~~a. Wall Offset~~



~~A horizontal wall plane offset of at least 4 feet, extending for the full height of the façade.~~

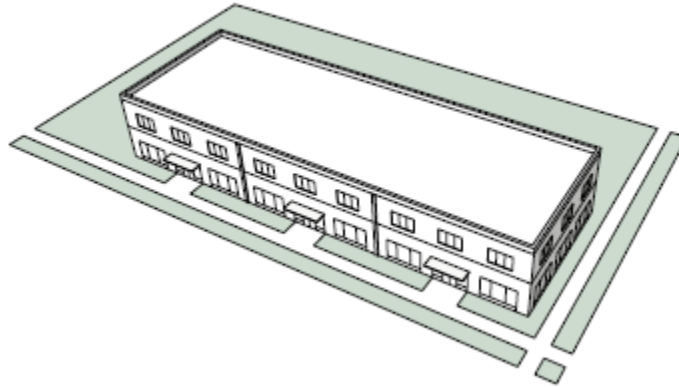
##### ~~b. Wall Notch~~





~~A setback or notch in the wall plane at least 4 feet deep and 8 feet wide for the full height of the façade.~~

~~c. Wall projection~~

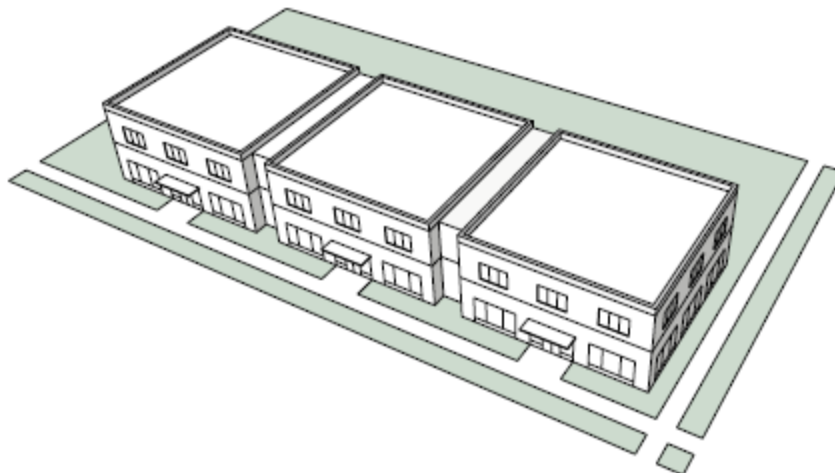


~~A projection or molding at least 4 inches deep and 1 foot wide for the full height of the façade.~~

**2. Vertical Articulation**

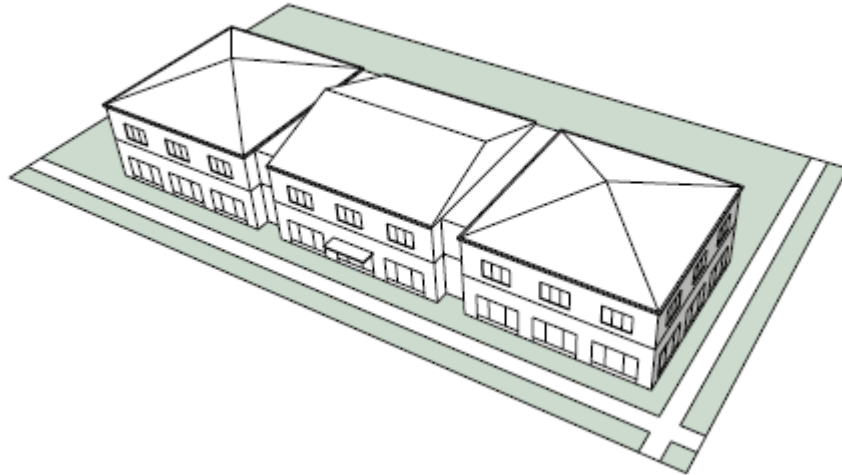
One or more of the following vertical articulation tools must be used a minimum of every 50 feet of linear façade width:

~~a. Variation in Height as viewed from the street~~



~~A variation in building or parapet height of at least 2 feet (or 4 feet for buildings greater than two stories in height).~~

**~~b. Variations in Roof Form~~**



~~Use of more than one roof form to express different building modules.~~

**~~B. Menu of Focal Point Elements for Building Design Category C~~**

~~All buildings in Building Design Category C must incorporate focal point design elements to help define the character of the structure. Select one or more of the following focal point design elements:~~

**~~1. Tower or Raised Parapet Element~~**

~~Towers or raised roof parapets that produce variations in building height of at least 4 feet and project at least 1 foot from the front and rear of the primary façade plane.~~

**~~2. Cap Element~~**



~~A design element projecting above the roofline and incorporating clerestory windows or other transparent areas.~~

### ~~3. Pitched Roof Elements~~



~~A design element incorporating a pitched roof or gable roof end.~~

## ~~C. Menu of Additional Façade Expression Tools for Building Design Category C~~

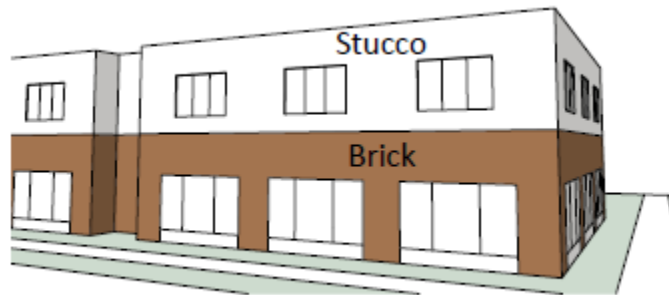
~~All buildings in Building Design Category C must incorporate additional façade expression to add visual interest. For buildings up to two stories in height, one option must be selected from the following list. For buildings over two stories in height, two options must be selected:~~

### ~~1. Expression Line~~



A horizontal projection (or combination of projections) such as a molding or series of balconies extending along at least 60% of the linear façade width above the first floor level.

## **2. ~~Change in Materials~~**



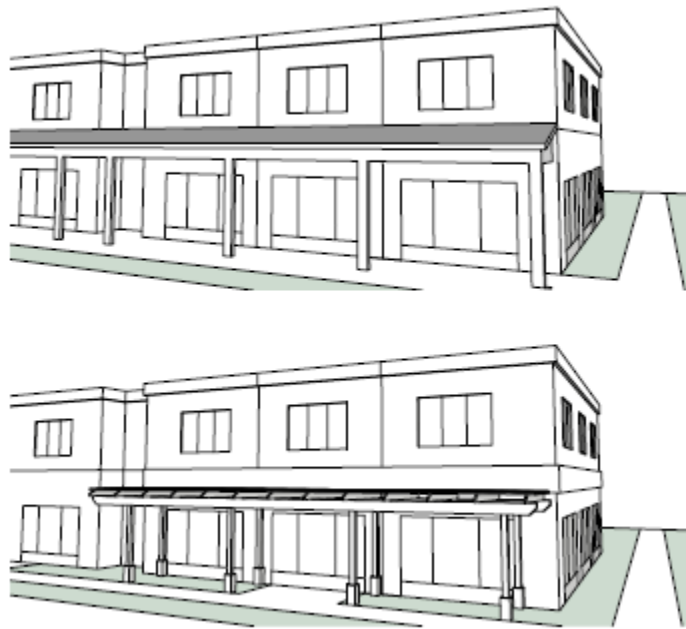
A change in materials between lower and upper floors for the full length of the primary façade.

## **3. ~~Awning/Canopy~~**



Use of an awning or canopy above transparent glass windows or other ground floor pedestrian interest areas for at least 60% of the linear façade width. (Note that these design elements may also be used to meet requirements for front-facing entry elements).

#### **~~4. Arcade/Gallery/Veranda/Pergola~~**



~~Roofed (or partially roofed), arcade, gallery, veranda or pergola elements that are not enclosed on more than two sides and extend at least 6 feet over or towards the sidewalk along at least 10% of the linear façade width, or a minimum of 30 feet (note that these design elements may also be used to meet requirements for front-facing entry elements).~~

#### **~~5. Ornamental Cornice~~**



~~A cornice projecting a minimum of 6 inches from the primary façade at the top floor parapet level for at least 60% of the linear façade width.~~

#### **~~D. Transparent Glass on Primary Façade for Building Design Category C~~**

See Table 15-5.

### **~~E. Menu of Ground Floor Pedestrian Interest Tools for Building Design Category C~~**

All buildings in Building Design Category C must incorporate expanded transparent glass areas or use other tools to promote pedestrian interest at the ground floor of the primary façade. A minimum of 60% of the ground floor wall area on the primary façade must be covered using one of the tools listed below:

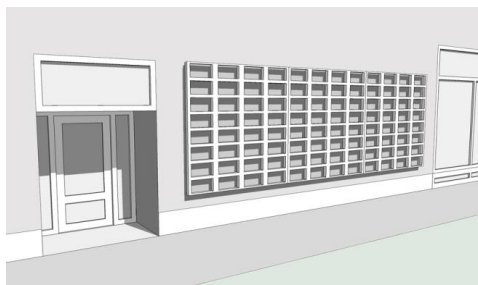
#### **~~1. Transparent Glass~~**

Window and door areas with transparent glass (also counts toward minimum transparent glass on primary façade).



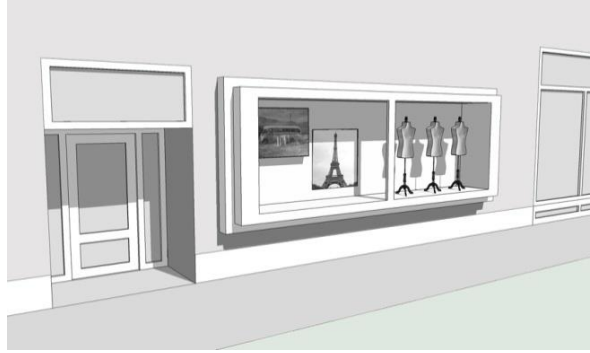
#### **~~2. Architectural Details~~**

Installation of green screens or other architectural details.



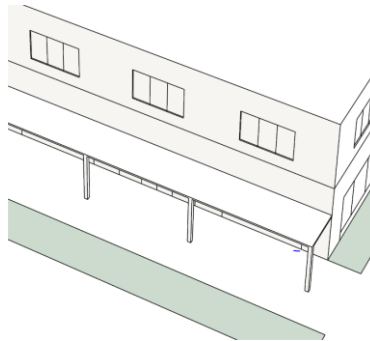
#### **~~3. Display Cases~~**

Installation of integrated display cases.



#### **~~4. Entry Elements~~**

~~Incorporation of entry elements from the Menu of Entry Elements for Building Design Category C (see next page).~~



#### **~~F. First Floor Height for Building Design Category C~~**

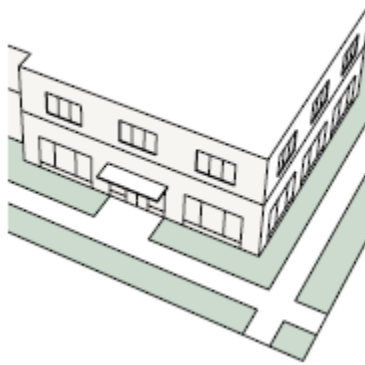
~~See Table 15-5.~~

#### **~~G. Menu of Entry Elements for Building Design Category C~~**

~~All buildings in Building Design Category C must incorporate a front-facing entry element to signal the connection between the sidewalk and the building or residential unit. One entry element shall be provided for each primary ground-floor use in the building. An entry element shall be placed either on the primary façade, or be visible from the street. It may extend a maximum of 5 feet into the minimum front setback area, not including stairs or landings. The following entry elements meet the front-facing entry requirement:~~

##### **~~1. Awning/Canopy~~**

~~A horizontal projecting element cantilevered at least 4 feet from a wall or window area above the entry, and at least 10 feet above the sidewalk below.~~

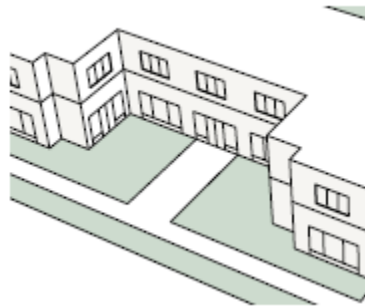


## **~~2. Courtyard~~**

~~A court, patio or other indentation in the building façade at least 6 feet deep—building entry doors may face onto the patio from any direction.~~

~~⇐ Applicants may also use entry options 1 and 3 to meet requirements for additional primary façade expression).~~

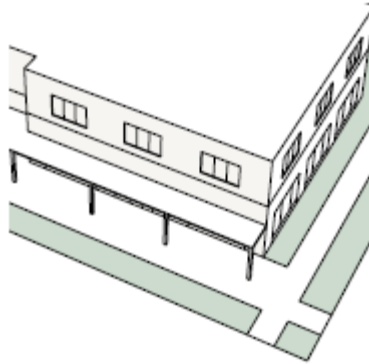
~~⇒~~



## **~~3. Gallery/Arcade~~**

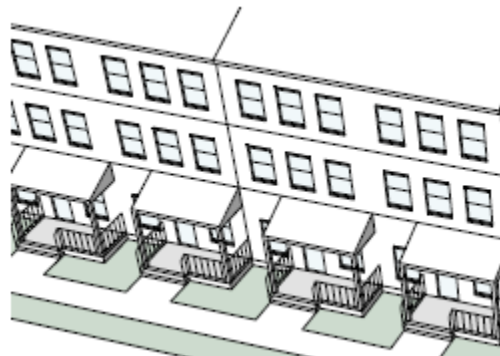
~~Roofed (or partially roofed), arcade, gallery, veranda or pergola elements that are not enclosed on more than two sides and extend at least 6 feet over or towards the sidewalk.~~





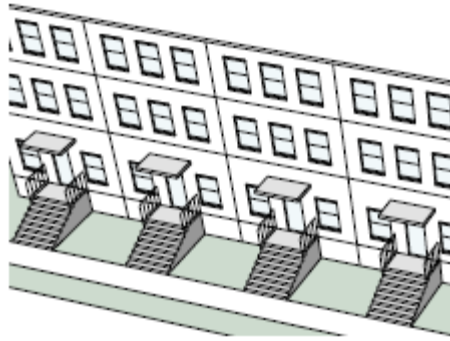
#### **~~4. Front Porch<sup>1</sup>~~**

~~A roofed but unenclosed entry element with a minimum width of 8 feet and depth of 4 feet – Partial walls or railings may be no more than 4 feet tall.~~



#### **~~5. Stoop<sup>1</sup>~~**

~~A raised and unenclosed (may be roofed) landing and stairway with a maximum depth of 4 feet and a maximum width of 4 feet not including the stairs – Partial walls or railings may be no more than 4 feet tall.~~



~~1 Allowed for residential buildings or units only.~~

#### ~~H. Building Materials on Primary Façades for Building Design Category C~~

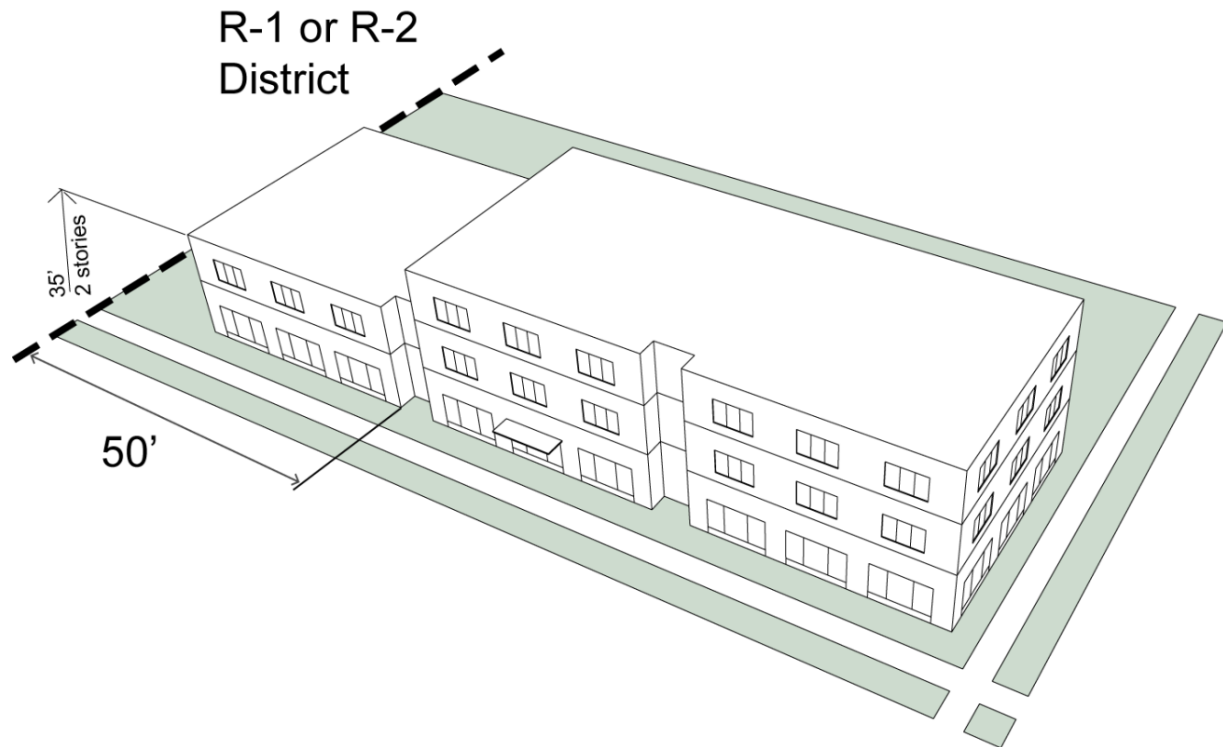
~~See Table 15-5.~~

#### ~~I. Building Materials on Secondary Façades for Building Design Category C~~

~~See Table 15-5.~~

#### ~~J. Transition Standard for Projects Adjacent to Single-Family Neighborhoods~~

~~A building or portion of a building located within 50 feet of district R-1 or R-2 may be no more than 35 feet or two stories in height.~~



#### **~~K. Overhead Doors / Loading Docks~~**

- ~~1. Overhead Doors or Loading Docks shall face the rear lot line or an alley.~~
- ~~2. Overhead doors that allow only pedestrian access may face a front lot line. (Ord. 16-20 § 4, 2016)~~

## 18.15.040 ~~Building Design Category D~~

~~Composite Building Design Category D provides standards to ensure compatible development in areas designated by Plan Olathe as Commercial Corridors, Community Commercial Centers and Regional Commercial Centers. The following design standards apply to all projects in Building Design Category D:~~



**Table 15-6. ~~General Building Design Standards for Building Design Category D~~**

<b><del>Façade Expression</del></b>		
<b><del>A</del></b>	<del>Horizontal and Vertical Articulation of Primary Façade</del>	<del>Required – See menu options</del>
<b><del>B</del></b>	<del>Focal Point Elements on Primary Façade</del>	<del>Required – See menu options</del>
<b><del>C</del></b>	<del>Additional Primary Façade Expression</del>	<del>Required – See menu options</del>
<b><del>D</del></b>	<del>Transparent glass on Primary Façades (min. %)</del>	<del>20%<sup>1</sup></del>
<b><del>Pedestrian Orientation</del></b>		
<b><del>E</del></b>	<del>Ground Floor Pedestrian Interest</del>	<del>Required – See menu options</del>
<b><del>F</del></b>	<del>Front facing Entry Element on Primary Façade</del>	<del>Required – See menu options</del>
<b><del>Exterior Building Materials</del></b>		

<b>G</b>	<del>Building Materials on Primary Façades (min. % Materials Category 1 / 70% / 30%<sup>2</sup> max. % Materials Category 2)</del>	
<b>H</b>	<del>Building Materials on Secondary Façades (min. % Materials Category 1 / max. % Materials Category 2)</del>	<del>60% / 40%</del>
<b>I</b>	<del>Mix of Building Materials on Primary Façades</del>	<del>Required — See menu options</del>

#### **Transition Standards**

<b>J</b>	<del>Transition to R-1 and R-2 Districts</del>	<del>Required — See text</del>
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#### **Overhead Doors**

<b>K</b>	<del>Location of Overhead Doors for Vehicular Access</del>	<del>May not be located on primary façade<sup>3</sup></del>
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~~<sup>1</sup> Applicants may use spandrel glass to meet a portion of this requirement.~~

~~<sup>2</sup> Primary Façade Materials may be reduced to 60% / 40% if a mix of building materials is incorporated (see letter I).~~

~~<sup>3</sup> Overhead doors that are not used for vehicular access may be located on a primary façade.~~

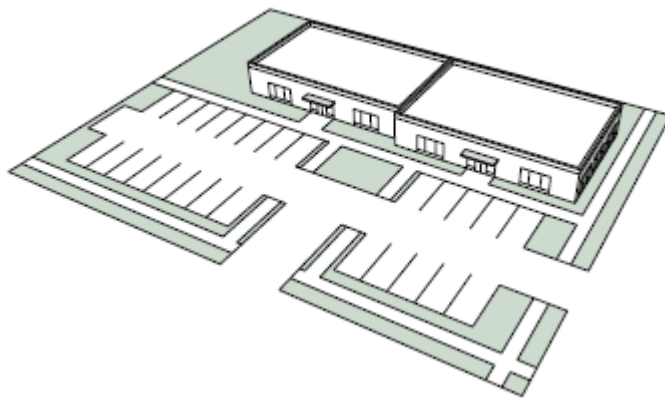
### **A. — Menu of Articulation Tools for Building Design Category D**

All buildings in Building Design Category D must incorporate horizontal and vertical primary façade articulation to divide building mass into human scale modules:

#### **1. — Horizontal Articulation**

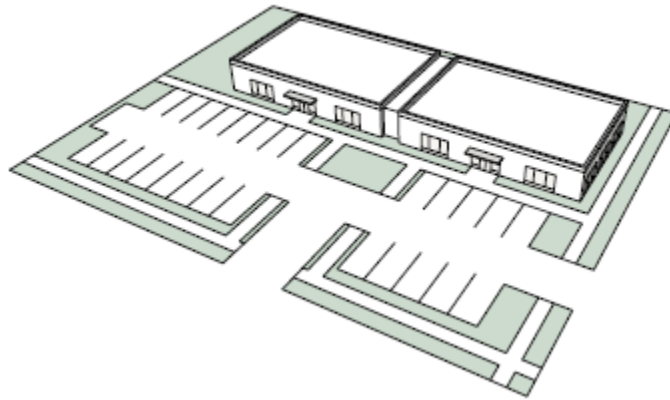
One or more of the following horizontal articulation tools must be used a minimum of every 75 feet of linear façade width:

##### **a. — Wall Offset**



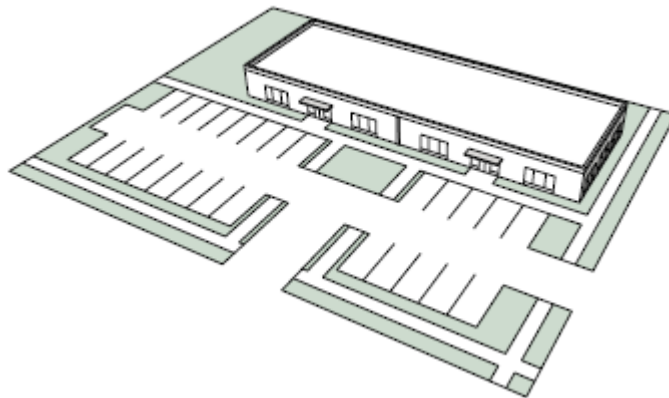
~~A horizontal wall plane offset of at least 4 feet, extending for the full height of the façade.~~

**~~b. Wall Notch~~**



~~A setback or notch in the wall plane at least 4 feet deep and 8 feet wide for the full height of the façade.~~

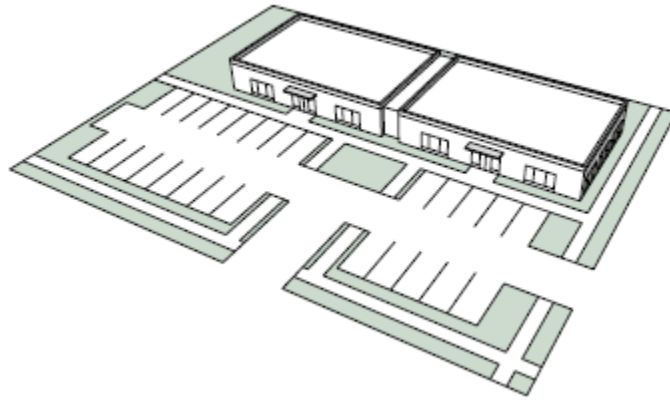
**~~c. Wall projection~~**



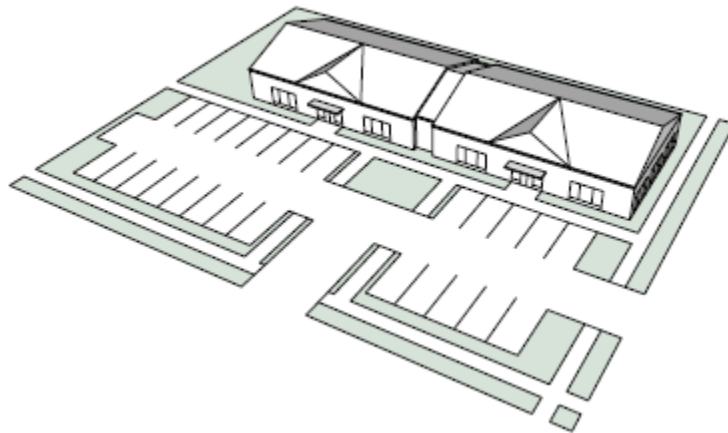
~~A projection or molding at least 4 inches deep and 1 foot wide for the full height of the façade.~~

**~~2. Vertical Articulation~~**

~~One or more of the following vertical articulation tools must be used a minimum of every 75 feet of linear façade width:~~

**~~a. Variation in Height as viewed from the street~~**

~~A variation in building or parapet height of at least 2 feet (or 4 feet for buildings greater than two stories in height).~~

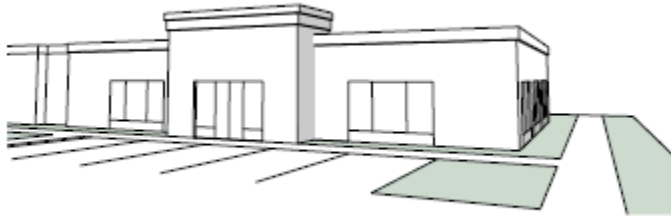
**~~b. Variations in Roof Form~~**

~~Use of more than one roof form to express different building modules.~~

**~~B. Menu of Focal Point Elements for Building Design Category D~~**

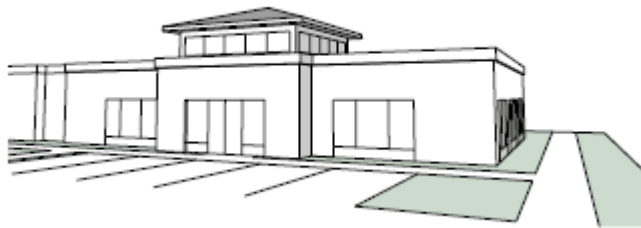
~~All buildings in Building Design Category D must incorporate focal point design elements to help define the character of the structure. Select one or more of the following focal point design elements:~~

### **~~1. Tower or Raised Parapet Element~~**



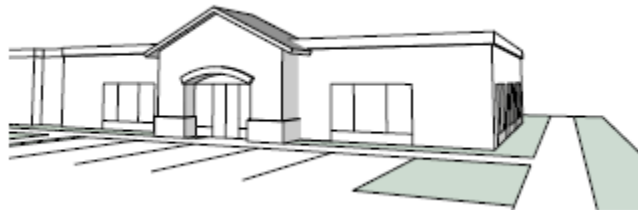
~~Towers or raised roof parapets that produce variations in building height of at least 4 feet and project at least 1 foot from the front and rear of the primary façade plane.~~

### **~~2. Cap Element~~**



~~A design element projecting above the roofline and incorporating clerestory windows or other transparent areas.~~

### **~~3. Pitched Roof Elements~~**



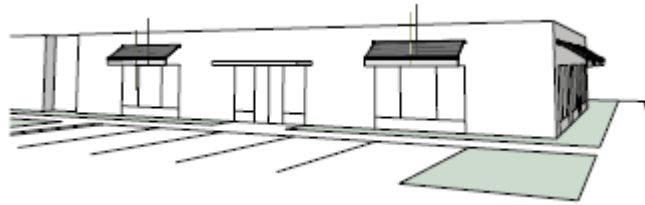
~~A design element incorporating a pitched roof or gable roof end.~~

### **~~C. Menu of Additional Façade Expression Tools for Building Design Category D~~**

~~All buildings in Building Design Category D must incorporate additional façade expression to add visual interest. One option must be selected from the following list:~~

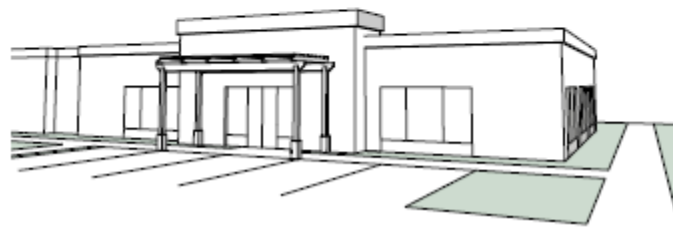
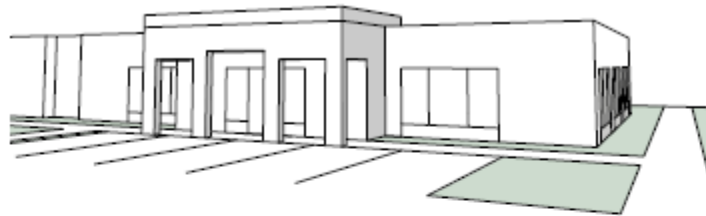


### **~~1. Awning/Canopy~~**



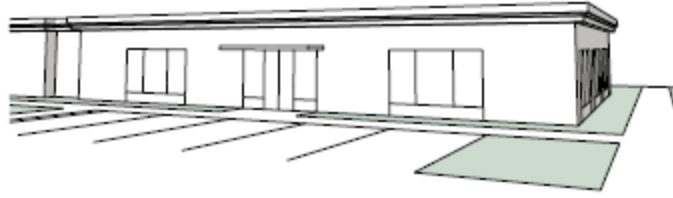
~~Use of an awning or canopy above transparent glass windows or other ground floor pedestrian interest areas for at least 30% of the linear façade width. (Note that these design elements may also be used to meet requirements for front-facing entry elements).~~

### **~~2. Arcade/Gallery/Veranda/Pergola~~**



~~Roofed (or partially roofed), arcade, gallery, veranda or pergola elements that are not enclosed on more than two sides and extend at least 6 feet over or towards the sidewalk along at least 10% of the linear façade width, or a minimum of 30 feet (note that these design elements may also be used to meet requirements for front-facing entry elements).~~

### **~~3. Ornamental Cornice~~**



~~A cornice projecting a minimum of 6 inches from the primary façade at the top floor parapet level.~~

#### ~~D. Transparent Glass on Primary Façade for Building Design Category D~~

~~See Table 15-6.~~

#### ~~E. Menu of Ground Floor Pedestrian Interest Tools for Building Design Category D~~

~~All buildings in Building Design Category D must use transparent glass or other tools to promote pedestrian interest at the ground floor of the primary façade. A minimum of 35% of the ground floor wall area<sup>1</sup> on the primary façade must be covered with one or more of the following tools:~~

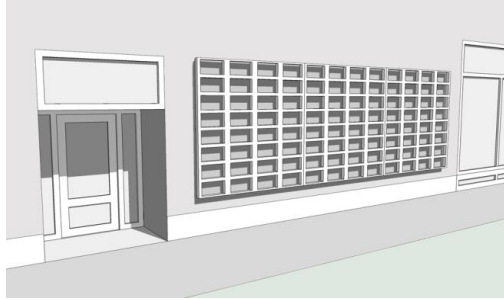
##### ~~1. Transparent Glass~~

~~Window and door areas with transparent glass (also counts toward minimum transparent glass on primary façade).~~



##### ~~2. Architectural Details~~

~~Installation of green screens or other architectural details.~~



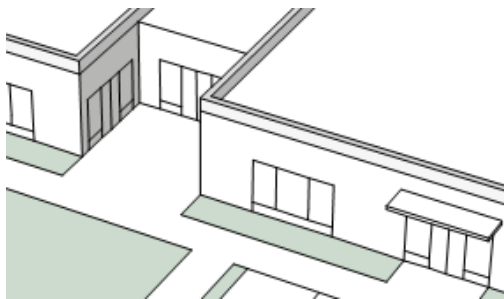
### ~~3. Integrated Planters~~

~~Permanent planters at least 3 feet in height, attached to the ground floor of the building.~~



### ~~4. Entry Elements~~

~~Entry elements from the Menu of Entry Elements for Building Design Category D.~~



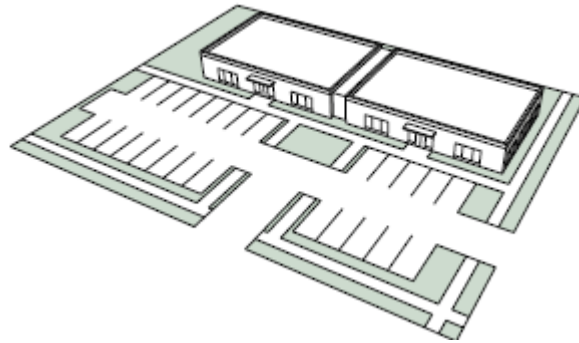
~~The wall area covered by planters will be calculated according to the length of façade covered by the planter.~~

### ~~F. Menu of Entry Elements for Building Design Category D~~

~~All buildings in Building Design Category D must incorporate a front-facing entry element to signal the connection between the sidewalk and the building. One entry element shall be provided for each primary ground floor use in the building. An entry element shall be placed either on the primary façade, or be visible from the street. It may extend a maximum of 5 feet into the minimum front setback area. The following entry elements meet the front-facing entry requirement:~~

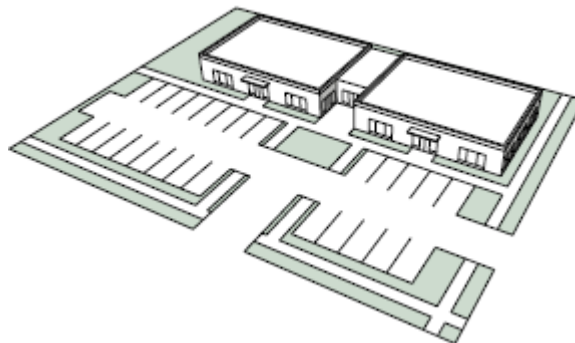
### ~~1. Awning/Canopy~~

~~A horizontal projecting element cantilevered at least 4 feet from a wall or window area above the entry, and at least 10 feet above the sidewalk below. (Note that this entry option may also be used to meet requirements for additional primary façade expression).~~



### ~~2. Courtyard~~

~~A court, patio or other indentation in the building façade at least 6 feet deep—building entry doors may face onto the patio from any direction.~~



### ~~G. Building Materials on Primary Façades for Building Design Category D~~

See Table 15-6.

### ~~H. Building Materials on Secondary Façades for Building Design Category D~~

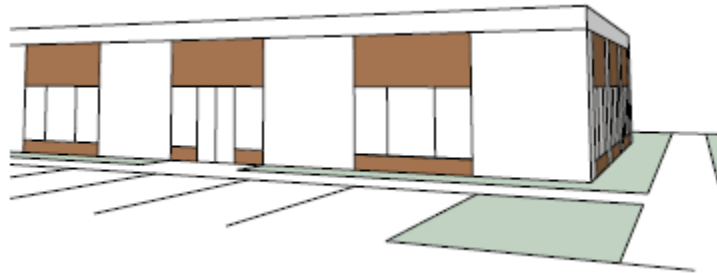
See Table 15-6.

(Building Design Category D continues on next page)

### ~~I. Menu of Mixed Building Materials Options for Building Design Category D~~

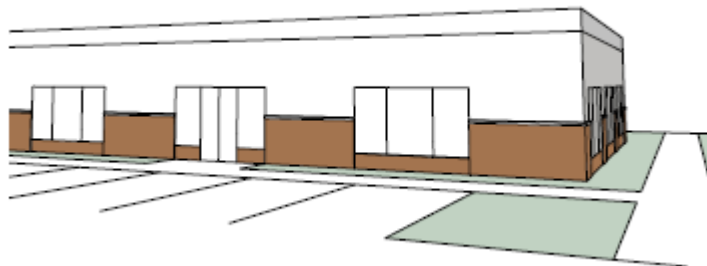
The primary façades of all buildings in Building Design Category D must incorporate a mix of building materials. This may include a mix of materials within Materials Category 1 or within Materials Categories 1 and 2 as specified in Table 15-6. Choose at least one of the following options:

#### ~~1. Vertical Change in Materials~~



A change in materials extending a substantial portion of the height of the primary façade, creating a vertical band a minimum of every 100 feet of façade width.

#### ~~2. Horizontal Change in Materials~~



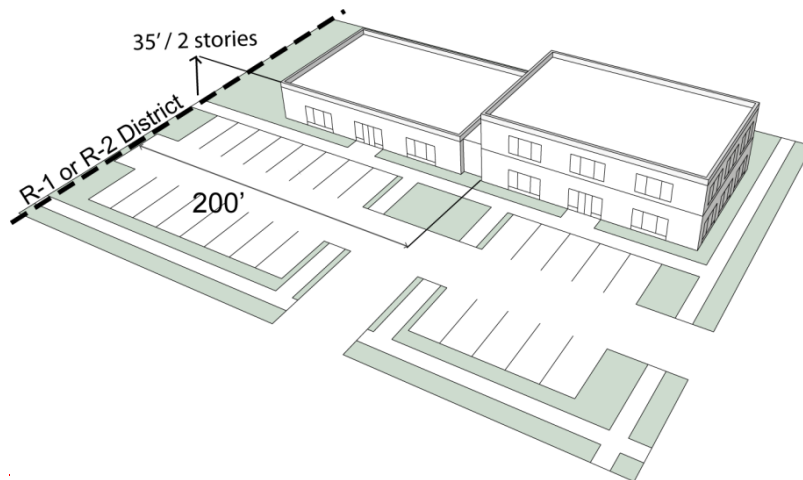
~~A change in materials extending a substantial portion of the width of the primary façade, creating a horizontal band between upper and lower sections of the façade.~~

### ~~3. Horizontal and Vertical Change in Materials~~



~~Changes in materials extending a substantial portion of the height and width of the primary façade. If this option is selected, the required percentage of materials on the primary façade from Materials Category 1 may be reduced to 50% (with the remaining 50% chosen from Materials Category 2).~~

### ~~J. Transition Standard for Projects Adjacent to Single-Family Neighborhoods~~



~~A building or portion of a building located within 200 feet of an R-1 or R-2 district may be no more than 35 feet or two stories in height.~~

### ~~K. Overhead Doors / Loading Docks~~

~~1. Overhead Doors or Loading Docks shall:~~

~~a. face the rear lot line or an alley, or~~

~~b. for overhead doors that face the front lot line or are visible from a public street only, include columns or similar architectural features that disguise the overhead doors by:~~

~~(1) aligning along the outside edges of each overhead door, and~~

~~(2) extending with the column's outside plane at least 4 feet from the primary building plane.~~

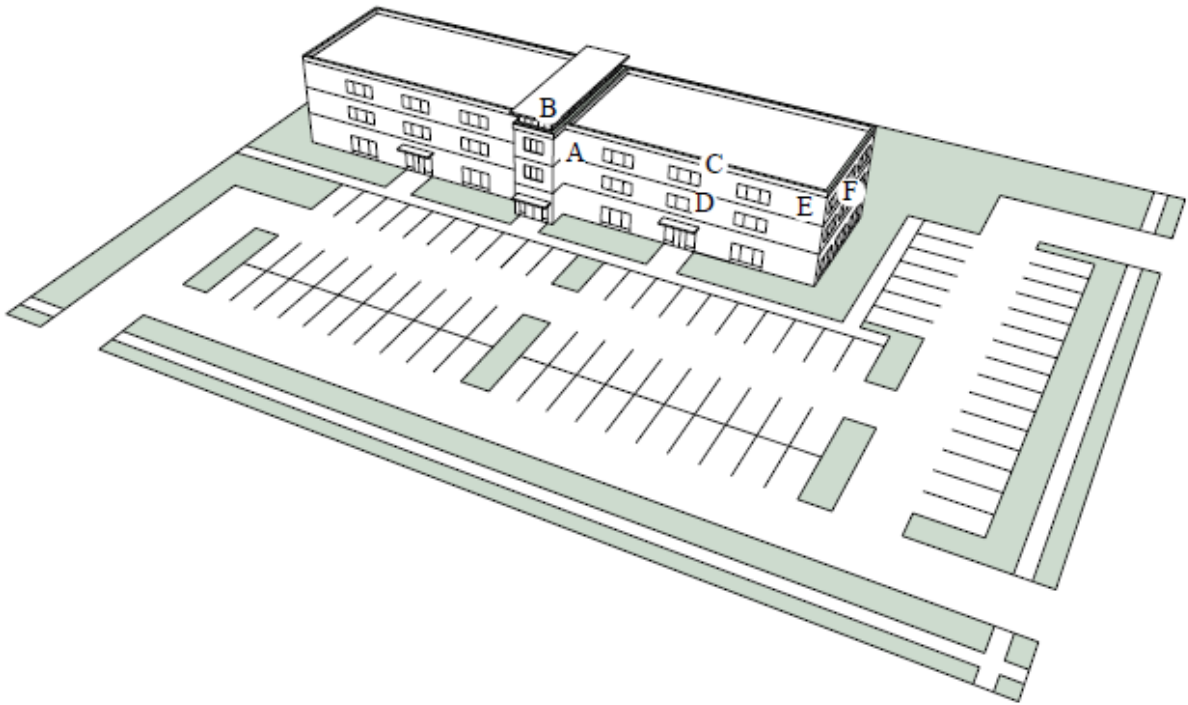


~~2. An overhead door or loading dock that is visible from a public street must incorporate a canopy and/or windows in the overhead doors to minimize visual impacts on the public right-of-way.~~

~~3. Overhead doors that allow only pedestrian access may face a front lot line. (Ord. 16-20 § 4, 2016)~~

## 18.15.045 ~~Building Design Category E~~

~~Composite Building Design Category E provides standards to ensure compatible development in areas designated by Plan Olathe as Employment Areas. The following design standards apply to all projects in Building Design Category E:~~



**Table 15-7. ~~General Building Design Standards for Building Design Category E~~**

<b><del>Façade Expression</del></b>		
<b><del>A</del></b>	<del>Horizontal and Vertical Articulation of Primary Façade</del>	<del>Required—See menu options</del>
<b><del>B</del></b>	<del>Focal Point Elements on Primary Façade</del>	<del>Required—See menu options</del>
<b><del>C</del></b>	<del>Additional Primary Façade Expression</del>	<del>Required—See menu options</del>
<b><del>D</del></b>	<del>Transparent glass on Primary Façades (min. %)</del>	<del>20%<sup>1</sup></del>
<b><del>Exterior Building Materials</del></b>		
<b><del>E</del></b>	<del>Building Materials on Primary Façades (min. % Materials Category 1 / max. % Materials Category 2)</del>	<del>70% / 30%</del>
<b><del>F</del></b>	<del>Building Materials on Secondary Façades (min. % Materials Category 1 / max. % Materials Category 2)</del>	<del>50% / 50%</del>



**Transition Standards**

**G** Transition to R-1 and R-2 Districts Required—See text

**Overhead Doors**

**H** Location of Overhead Doors for Vehicular Access May not be located on primary-façade<sup>2</sup>

*1 Spandrel glass may be allowed to meet a portion of this requirement.*

*2 Overhead doors that are not used for vehicular access may be located on a primary façade.*

**A. Menu of Articulation Tools for Building Design Category E**

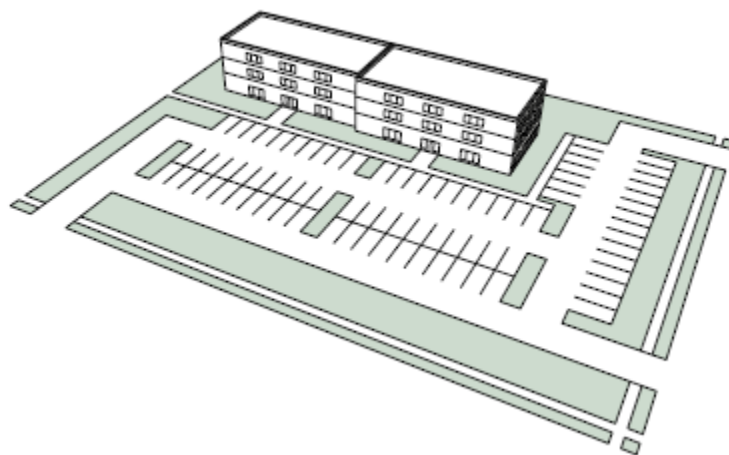
All buildings in Building Design Category E must incorporate horizontal and vertical primary façade articulation to divide building mass into human scale modules.

**1. Horizontal Articulation**

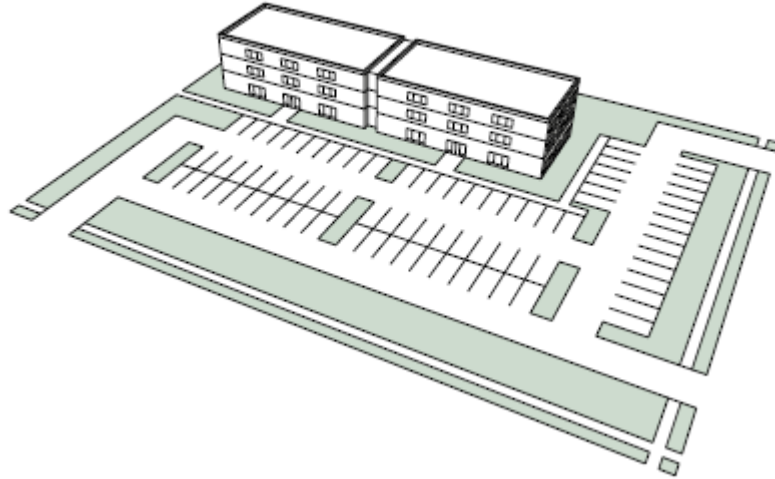
One or more of the following horizontal articulation tools must be used a minimum of every 100 feet of linear façade width:

**a. Wall Offset**

A horizontal wall plane offset of at least 4 feet, extending for the full height of the primary façade.

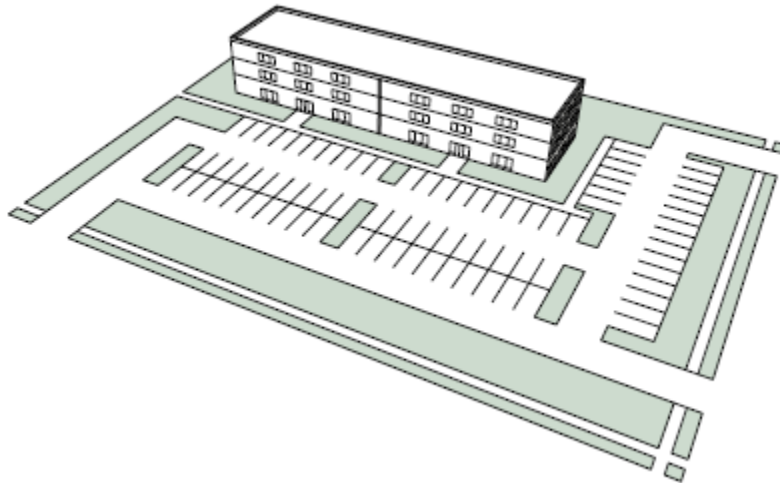
**b. Wall Notch**

~~A setback or notch in the wall plane at least 4 feet deep and 8 feet wide for the full height of the primary façade.~~



**~~c. Wall projection~~**

~~A projection or molding at least 4 inches deep and 1 foot wide for the full height of the primary façade.~~

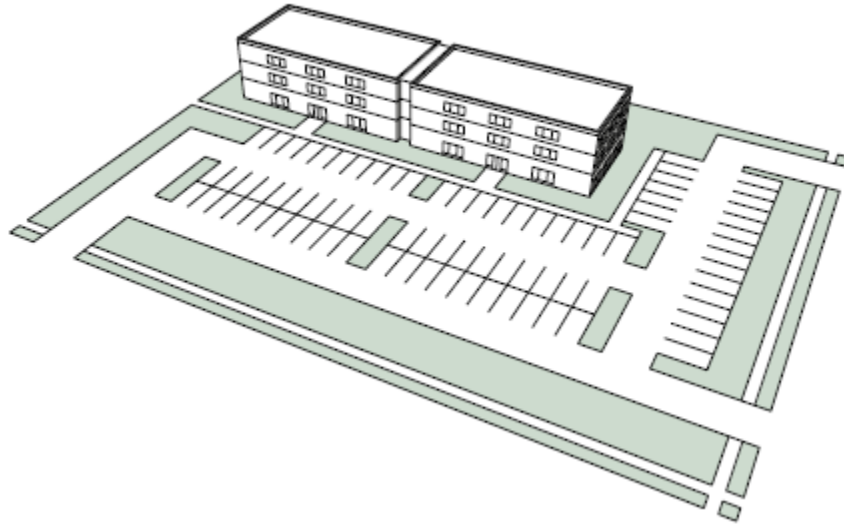


**~~2. Vertical Articulation~~**

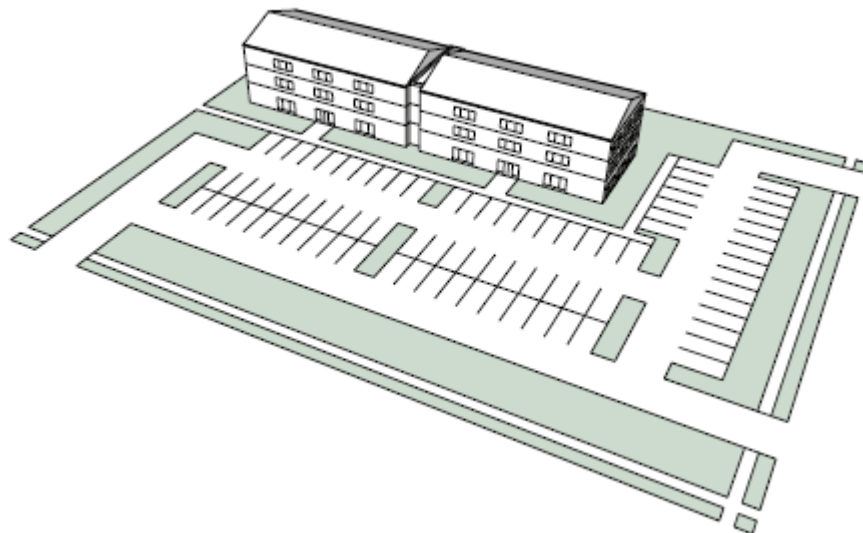
~~One or more of the following vertical articulation tools must be used a minimum of every 100 feet of linear façade width:~~

**~~a. Variation in Height as viewed from the street~~**

~~A variation in building or parapet height of at least 2 feet (or 4 feet for buildings greater than two stories in height).~~

**~~b. Variations in Roof Form~~**

~~Use of more than one roof form to express different building modules.~~

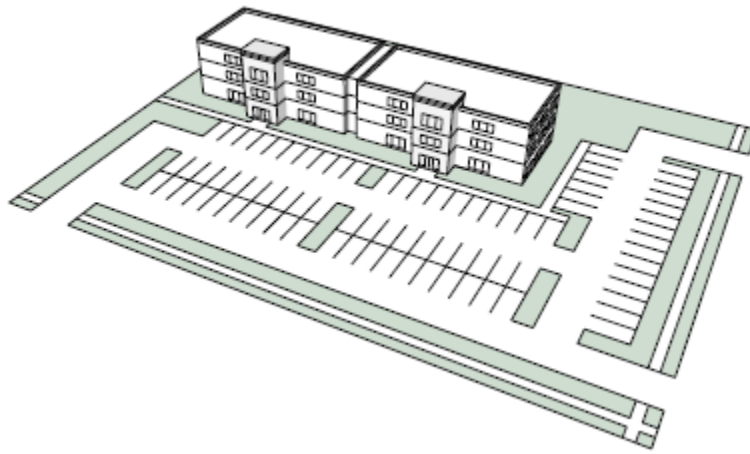


## **~~B. Menu of Focal Point Elements for Building Design Category E~~**

~~All buildings in Building Design Category E must incorporate focal point design elements to help define the character of the structure. Select one or more of the following focal point design elements:~~

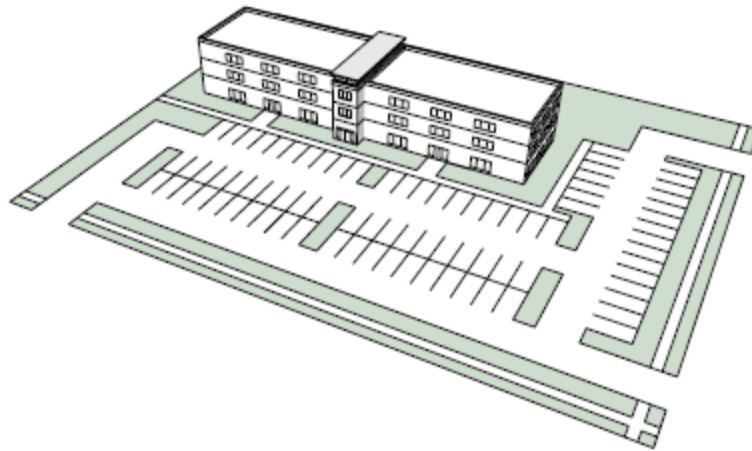
### **~~1. Tower or Raised Parapet Element~~**

~~Towers or raised roof parapets that produce variations in building height of at least 4 feet and project at least 1 foot from the front and rear of the primary façade plane.~~



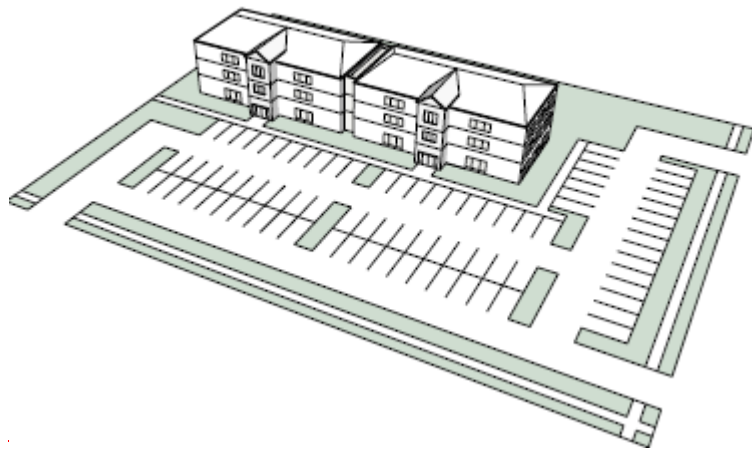
### **~~2. Cap Element~~**

~~A design element projecting above the roofline and incorporating clerestory windows or other transparent areas.~~



### ~~3. Pitched Roof Elements~~

~~A design element incorporating a pitched roof or gable roof end.~~

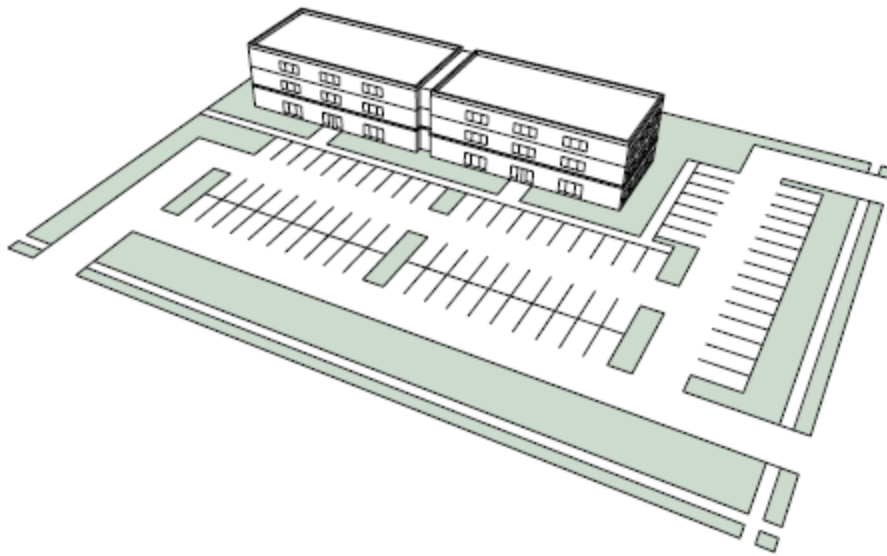


## ~~C. Menu of Additional Primary Façade Expression Tools for Building Design Category E~~

~~All buildings in Building Design Category E must incorporate additional façade expression to add visual interest. For buildings up to two stories in height, one option must be selected from the following list. For buildings over two stories in height, two options must be selected:~~

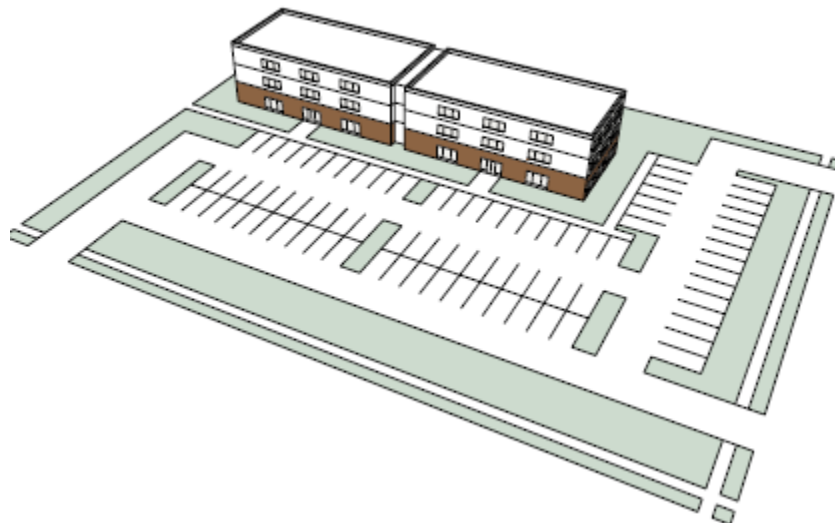
### ~~1. Expression Line~~

~~A horizontal projection (or combination of projections) such as a molding or series of balconies extending along at least 60% of the linear façade width above the first floor level.~~



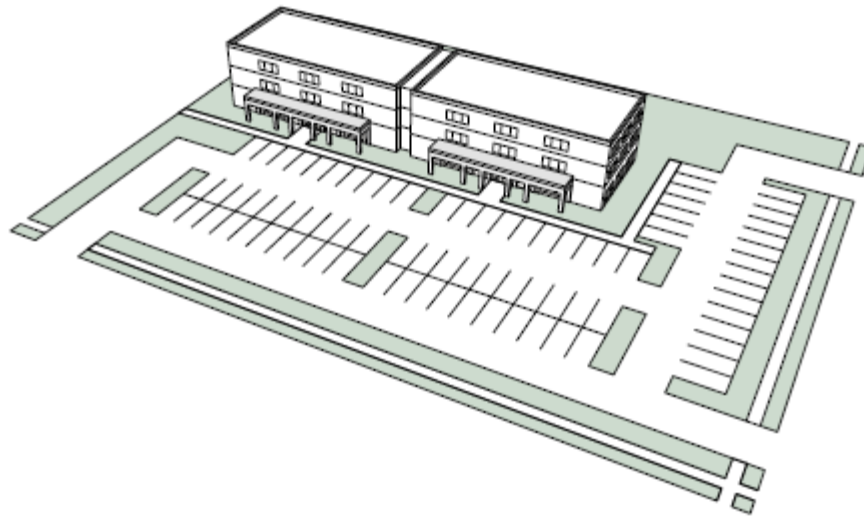
## **~~2. Change in Materials~~**

~~A change in materials between lower and upper floors for the full width of the primary façade.~~



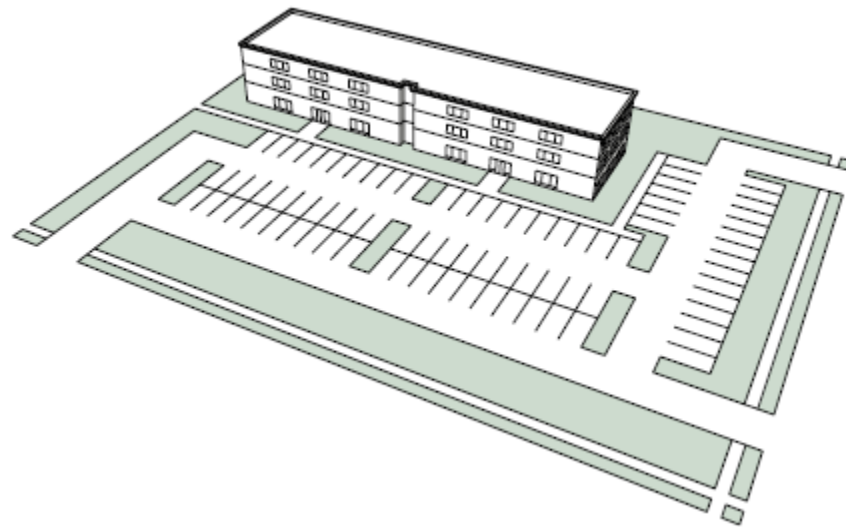
## **~~3. Arcade / Gallery / Veranda / Pergola~~**

~~Roofed (or partially roofed), arcade, gallery, veranda or pergola elements that are not enclosed on more than two sides and extend at least 6 feet over or towards the sidewalk along at least 10% of the linear façade width, or a minimum of 30 feet.~~



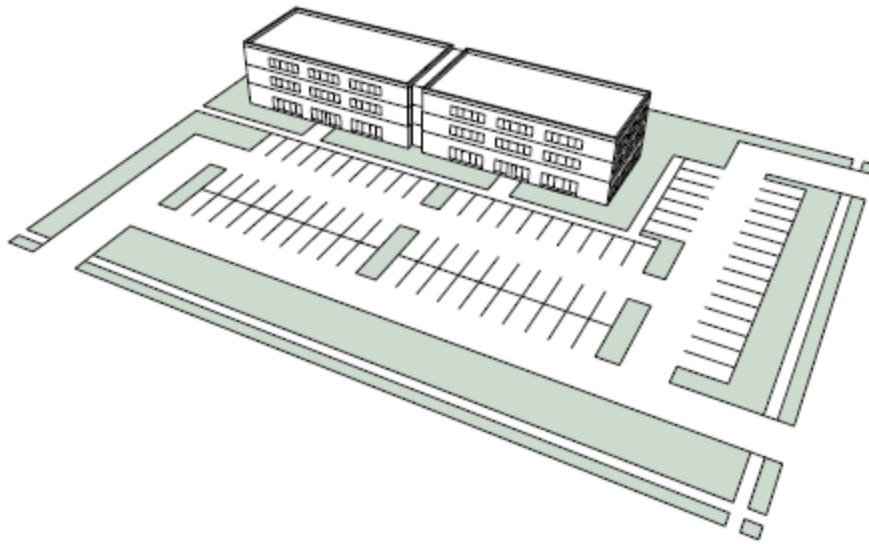
#### **~~4. Ornamental Cornice~~**

~~A cornice projecting a minimum of 6 inches from the primary façade at the top floor parapet level.~~



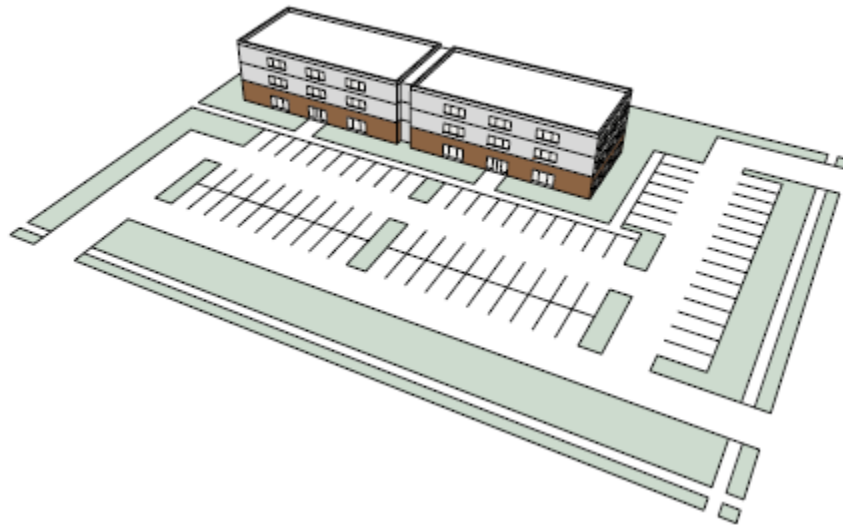
#### **~~5. Increased Transparency~~**

~~An increase of 20% or more in the amount of transparent glass on the primary façade.~~



### **~~6. Increased Material Quality~~**

~~An increase of 20% or more in use of building materials from Materials Category 1 on the primary façade or secondary façades.~~



### **~~D. Transparent Glass on Primary Façade for Building Design Category E~~**

~~See Table 15-7.~~



**~~E. Building Materials on Primary Façades for Building Design Category E~~**

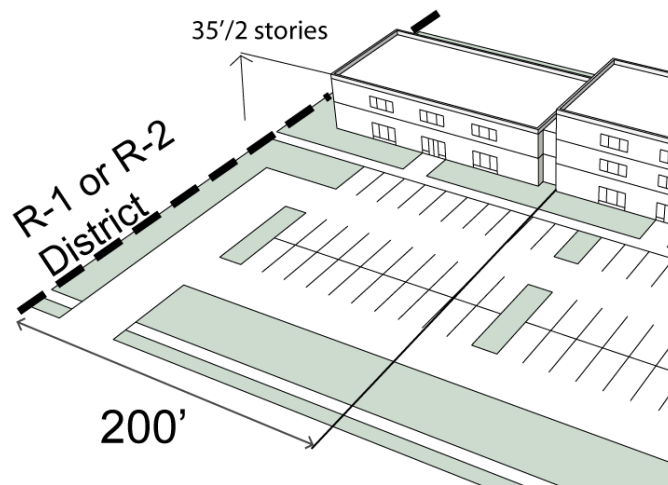
~~See Table 15-7.~~

**~~F. Building Materials on Secondary Façades for Building Design Category E~~**

~~See Table 15-7.~~

**~~G. Transition Standard for Projects Adjacent to Single-Family Neighborhoods~~**

~~A building or portion of a building located within 200 feet of an R-1 or R-2 district may be no more than 35 feet or two stories in height.~~

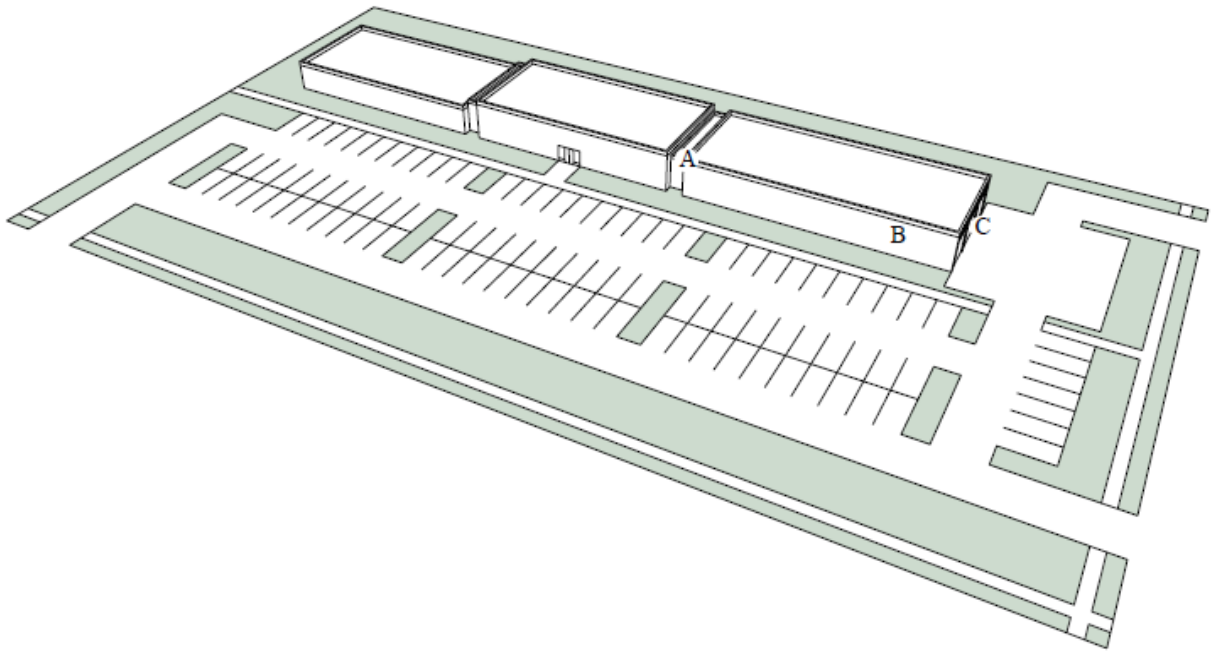
**~~H. Overhead Doors / Loading Docks~~****~~1. Overhead Doors or Loading Docks shall:~~**

- ~~a. Meet the standards for Building Design Category D (see § 18.15.040.H), or~~
- ~~b. For overhead doors only, be screened with a minimum Class 3 buffer (see § 18.30.130.J.4).~~

**~~2. Overhead doors that allow only pedestrian access may face a front lot line.~~**

## 18.15.050 ~~Building Design Category F~~

~~Composite Building Design Category F provides standards to ensure compatible development in areas designated by Plan Olathe as Industrial areas. The following design standards apply to all projects in Building Design Category F:~~



**Table 15-8. ~~General Building Design Standards for Building Design Category F~~**

<b><del>Façade Expression</del></b>		
<b>A</b>	Primary Façade Expression	Required – See menu options
<b><del>Exterior Building Materials</del></b>		
<b>B</b>	Building Materials on Primary Façade (minimum % from Materials-Category 1 / Materials-Category 2 / and maximum % Materials-Category 3)	20% / 60% / 20%
<b>C</b>	Building Materials on Secondary Façade (minimum % from Materials-Category 1 or 2 / and maximum % Materials-Category 3)	20% / 80%
<b><del>Transition Standards</del></b>		
<b>D</b>	Transition to R-1 and R-2 Districts	Required – See text
<b><del>Overhead Doors</del></b>		

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<b>E</b>	<b>Location of Overhead Doors for Vehicular Access</b>	Design standards apply to overhead doors located on the primary façade—See below
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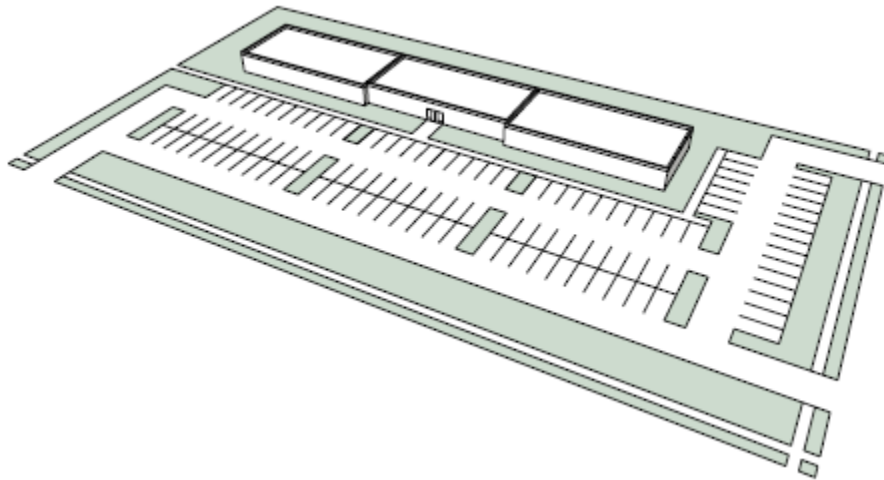
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### **~~A. Menu of Primary Façade Expression Tools for Building Design Category F~~**

All buildings in Building Design Category F must incorporate façade expression to add visual interest. For buildings up to two stories in height, one option must be selected from the following list. For buildings over two stories in height, two options must be selected:

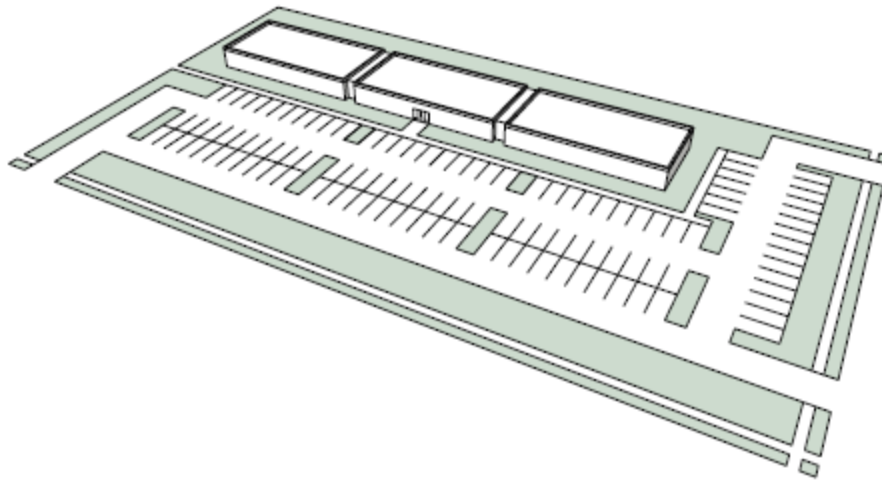
#### **~~1. Wall Offset~~**

A horizontal wall plane offset of at least 4 feet, extending for the full height of the primary façade—Offsets must occur a minimum of every 100 feet of façade width.



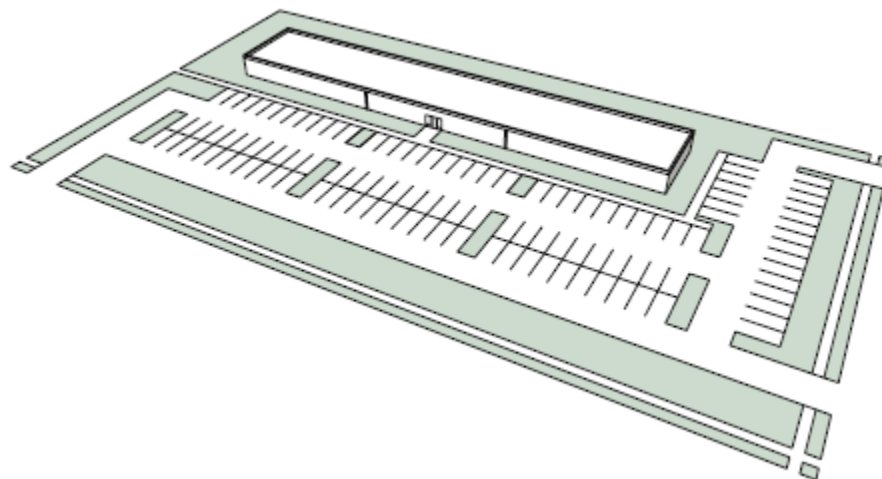
#### **~~2. Wall Notch~~**

A setback or notch in the wall plane at least 4 feet deep and 8 feet wide for the full height of the primary façade—Notches must occur a minimum of every 100 feet of façade width.



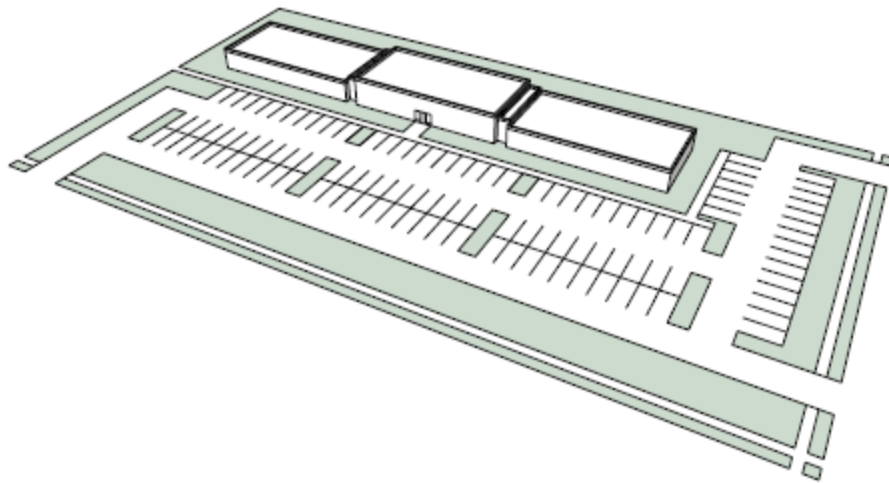
### **~~3. Wall Projection~~**

~~A projection or molding at least 4 inches deep and 1 foot wide for the full height of the primary façade—Projections must occur a minimum of every 100 feet of façade width.~~



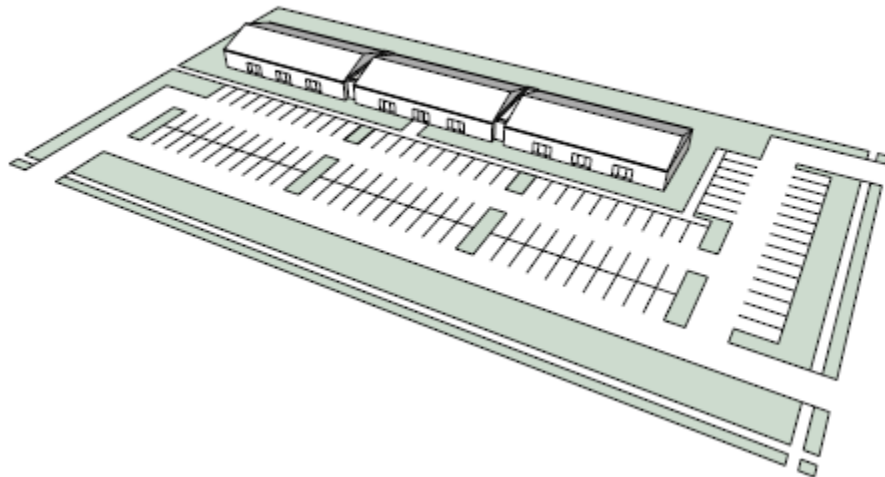
### **~~4. Variation in Height as Viewed from the Street~~**

~~A variation in building or parapet height of at least 2 feet (or 4 feet for buildings greater than two stories in height)—Variations must occur a minimum of every 100 feet of façade width.~~



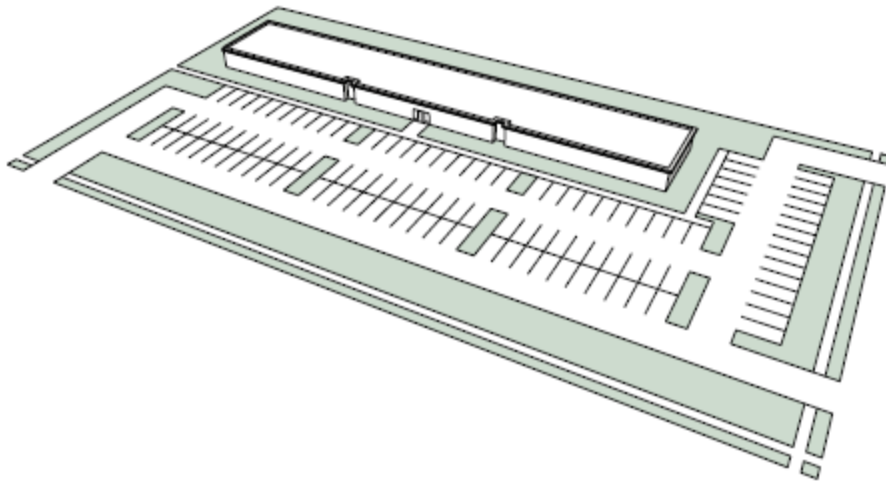
### **~~5. Variations in Roof Form~~**

~~Use of more than one roof form to express different building modules — Variations must occur a minimum of every 100 feet of façade width.~~



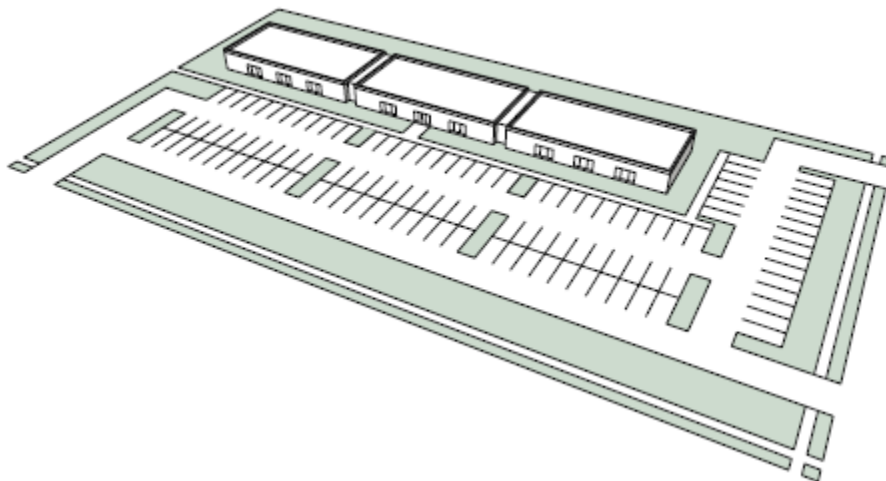
### **~~6. Ornamental Cornice~~**

~~A cornice projecting a minimum of 6 inches from the primary façade at the top floor parapet.~~



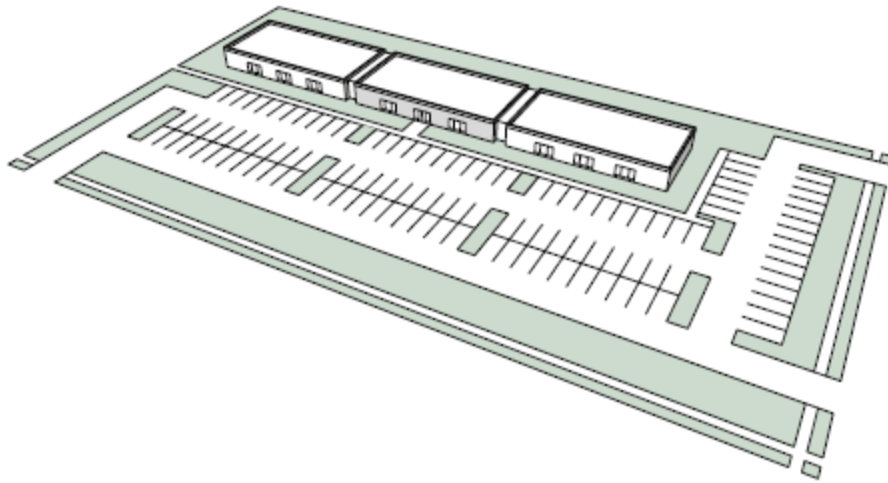
### **~~7. Transparency~~**

~~A minimum 20% transparent glass on the primary façade.~~



### **~~8. Increased Material Quality~~**

~~An increase of 20% or more in use of building materials from Materials Category 1 or 2 on the primary façade.~~

**~~B.—Building Materials on Primary Façades for Building Design Category F~~**

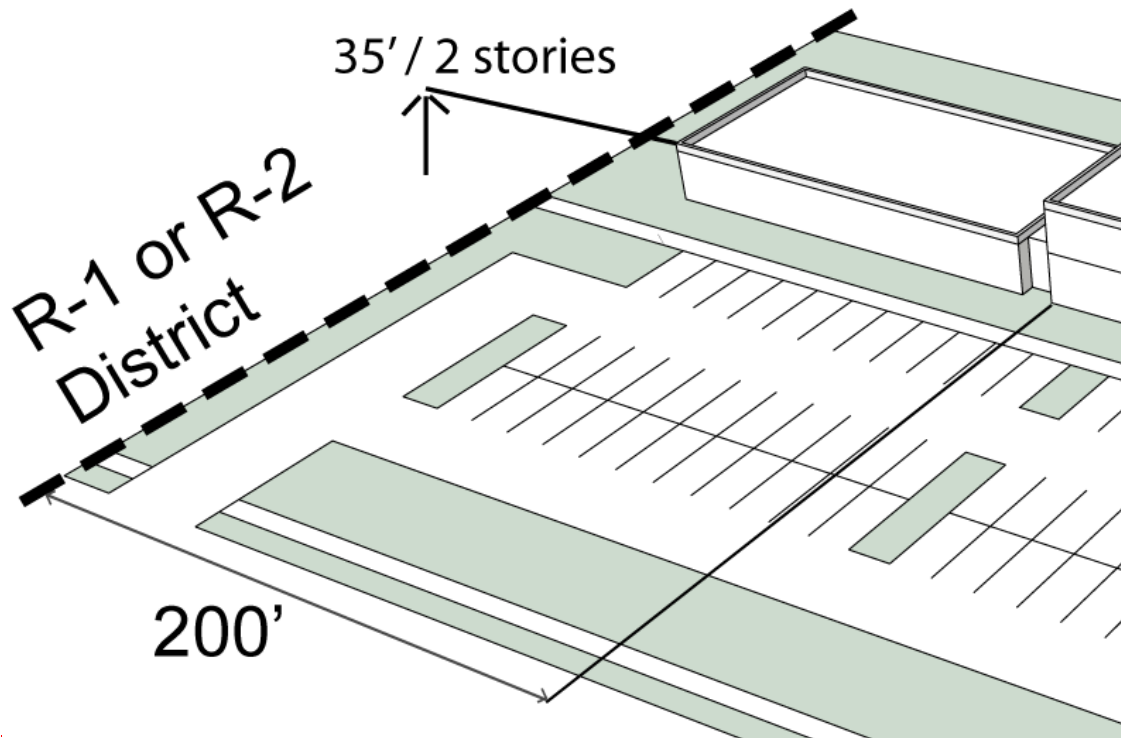
~~See Table 15-8.~~

**~~C.—Building Materials on Secondary Façades for Building Design Category F~~**

~~See Table 15-8.~~

**~~D.—Transition Standard for Projects Adjacent to Single-Family Neighborhoods~~**

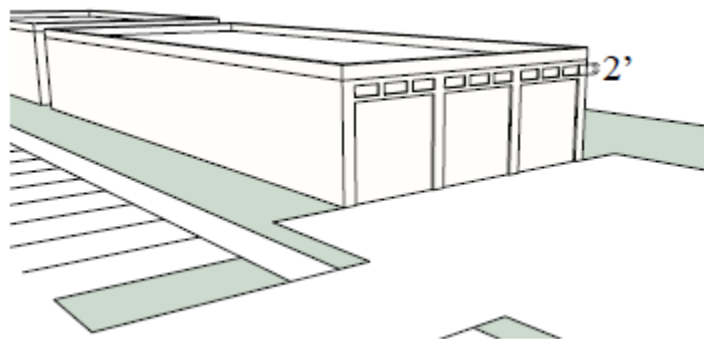
~~A building or portion of a building located within 200 feet of district R-1 or R-2 may be no more than 35 feet or two stories in height.~~



#### **E. Overhead Doors / Loading Docks**

Overhead Doors or Loading Docks shall:

Meet the standards for Building Design Category D (see § 18.15.040.H) or a minimum 2 feet tall clerestory window positioned on or above the door or a 3-foot deep canopy above the overhead door, and



~~1. If facing a public street or residential zoning district, incorporate a minimum Class 4A buffer (see § 18.30.130.J.4).~~

~~(Ed. Note Section 18.15.060 through 18.15.090 reserved) — (Ord. 15-16 §3, 2015)~~





## 18.15.100 **Composite** Site Design Standards

A range of **composite** site design categories are provided to promote compatibility with surrounding land uses and community features, while providing realistic and flexible standards for new development. ~~The site design categories that apply to an area are designated on the zoning Future Land Use mMap.~~ Some site design categories are intended to promote design character and quality that are compatible with abutting features and neighborhoods (such as a key corridor or residential neighborhood), while other areas are intended to promote maximum design flexibility. ~~The range of design standards that apply in each site design category are briefly summarized in the table below. This summary table is for reference purposes only; the applicable design standards are detailed the remainder of this Chapter.~~

The table below establishes the site design categories for a development based upon its location on the Future Land Use Map in *PlanOlathe*. If the proposed land use does not align with *PlanOlathe*, then the zoning district for the property will be used to determine the site design category.

**Table 15-9. Summary of **Composite** Site Design Standards**

	1	2	3	4	5	6
<b>Future/<del>Proposed</del> Land Use Map Category</b>	<b>Conventional Neighborhood</b>	<b>Conservation/ Cluster Neighborhood</b>	<b>Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood</b>	<b>Commercial Corridor, Regional or Community Commercial Center</b>	<b>Employment Area</b>	<b>Industrial Area</b>
<b>Typical Zoning District</b>	<b><del>R-1</del></b>	<b><del>R-1</del></b>	<b><del>N, C-1, D, R-2, R-3, R-4</del></b>	<b><del>C-2, C-3, C-4</del></b>	<b><del>O, BP, M-1</del></b>	<b><del>M-2, M-3</del></b>
<b>Open-Space</b>	Moderate- amount of landscaping- (perimeter- only)	High level of passive open- space oriented around natural features	Open space- primarily provided as patios and courtyards + Limited urban- landscaping to promote	Some open- space provided as patios and courtyards + Significant landscaping to reduce visual impacts of	Significant- perimeter- landscaping to enhance community- image	Significant- perimeter- landscaping- where adjoining other uses

	1	2	3	4	5	6
<b>Future/<del>Proposed</del> Land Use Map Category</b>	<b>Conventional Neighborhood</b>	<b>Conservation/ Cluster Neighborhood</b>	<b>Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood</b>	<b>Commercial Corridor, Regional or Community Commercial Center</b>	<b>Employment Area</b>	<b>Industrial Area</b>
<b>Typical Zoning District</b>	<b><del>R-1</del></b>	<b><del>R-1</del></b>	<b><del>N, C-1, D, R-2, R-3, R-4</del></b>	<b><del>C-2, C-3, C-4</del></b>	<b><del>O, BP, M-1</del></b>	<b><del>M-2, M-3</del></b>
			<del>pedestrian- orientation-and- reduce-visual- impacts-of parking</del>	<del>parking-and- enhance- community- image</del>		
<b>Building Placement</b>	<del>Buildings- located to- allow for front and rear yards</del>	<del>Buildings- clustered to- preserve open- space</del>	<del>Buildings located- near the sidewalk- edge</del>	<del>Buildings- located near the- sidewalk edge- or set back</del>	<del>Buildings- located to- allow for front yards</del>	<del>Buildings set- back from the- sidewalk edge</del>
<b>Parking</b>	<del>No special- considerations</del>	<del>No special- considerations</del>	<del>Parking located- to the rear or side of buildings in- small modules /- Quantity limited</del>	<del>Parking set back- from the- sidewalk edge in- landscaped lots- /Sufficient- quantity</del>	<del>Parking set- back from the- sidewalk edge- in landscaped- lots /Sufficient quantity</del>	<del>Parking set- back from the- sidewalk edge- /Sufficient parking</del>
<b>Pedestrian Circulation</b>	<del>Sidewalks and- paths provide- connections</del>	<del>Trails and- paths provide- connections</del>	<del>Buildings are- connected to the- street and transit- /Sidewalks and- paths connect to- greenways and- neighborhoods</del>	<del>Buildings are- connected to- the street and- transit /- Sidewalks and- paths connect- to greenways- and- neighborhoods</del>	<del>Paths and- sidewalks- connect- buildings and- parking</del>	<del>No special- considerations</del>
<b>Vehicular Circulation</b>	<del>Streets provide sufficient- connectivity</del>	<del>No special- considerations</del>	<del>Narrow drive- lanes / limited- curb cuts / Off- street- connections- between parcels</del>	<del>Moderate drive- lanes / limited- curb cuts / Off- street- connections- between parcels</del>	<del>No special- considerations</del>	<del>Adequate drive lanes for trucks / limited curb- cuts</del>

	1	2	3	4	5	6
<b>Future/<del>Proposed</del> Land Use Map Category</b>	<b>Conventional Neighborhood</b>	<b>Conservation/ Cluster Neighborhood</b>	<b>Neighborhood Center, Urban Center, TOD, Mixed Use Residential Neighborhood</b>	<b>Commercial Corridor, Regional or Community Commercial Center</b>	<b>Employment Area</b>	<b>Industrial Area</b>
<b>Typical Zoning District</b>	<b><del>R-1</del></b>	<b><del>R-1</del></b>	<b><del>N, C-1, D, R-2, R-3, R-4</del></b>	<b><del>C-2, C-3, C-4</del></b>	<b><del>O, BP, M-1</del></b>	<b><del>M-2, M-3</del></b>
<b>Drainage</b>	Provides site-amenities	Integrated-with natural-open space	Provides site-amenities	Provides site-amenities	Provides site-amenities	No special-considerations
<b>Buffer Area</b>	Landscape-buffer adjacent-to other land-uses	Landscape-buffer adjacent-to other land-uses	Landscape-buffer-or setback-adjacent to-existing single-family at-perimeter of the-development or-Centers	Landscape-buffer adjacent-to single-family	Landscape-buffer-adjacent to-single family	Wide-landscape-buffer adjacent-to single-family

## 18.15.105 Site Design Category 1

~~Composite~~ Site Design Category 1 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Conventional Neighborhoods. The following ~~general~~ site design standards apply to all projects in Site Design Category 1: [The letters located on Figure 1 below correspond with the site design standards provided within this section.](#)

**Figure 1: Site Design Category 1**



**Table 15-10. ~~General Design Standards for Site Design Category 1~~**

<b>Connectivity</b>		
<b>A</b>	<del>Pedestrian Connections</del>	<del>Required—See menu options</del>
<b>B</b>	<del>Street Connections</del>	<del>Required for development with more than 25 lots—See § 18.30.220</del>
<b>Buffer Area Adjacent to Other Uses</b>		

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<b>C</b>	<del>Landscaped buffer area adjacent to arterial streets or non-residential uses</del>	<del>Required</del> — See design options
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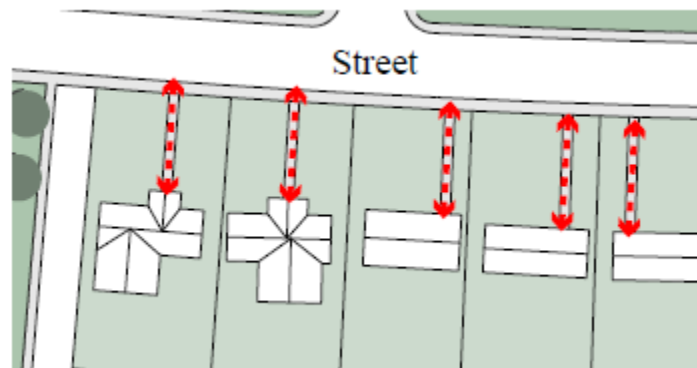
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### **A. ~~Menu of~~ Pedestrian Connection Options for Site Design Category 1**

Individual homes in Site Design Category 1 must be connected to the surrounding pedestrian network using one of the following options:

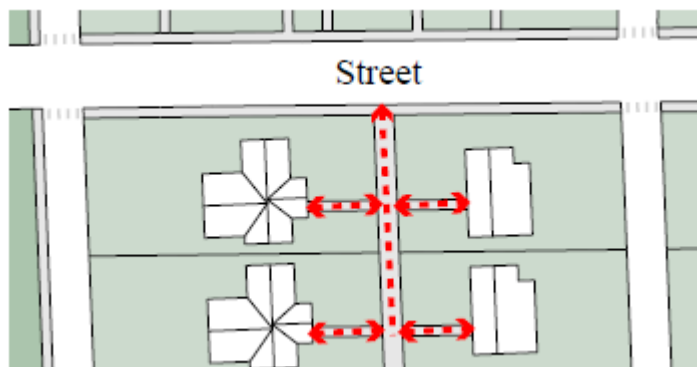
#### **1. Public Sidewalk Connection**

A walkway or driveway from a residence that connects directly to a public sidewalk.



#### **2. Internal Path to a Public Sidewalk**

A walkway within a development that leads directly to a public sidewalk on the perimeter.



**B. ~~Design Standards for~~ Street Connectivity ~~in Site Design Category 1~~**

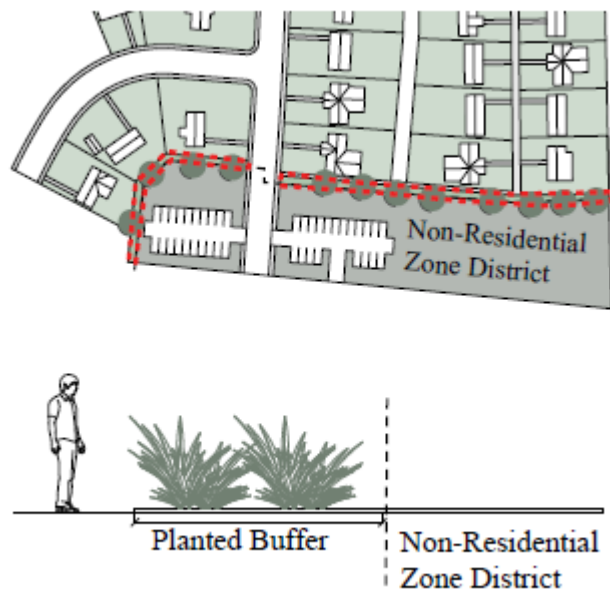
See § [18.30.220](#) for street connectivity and design requirements [for development with more than 25 lots](#).

**C. ~~Required~~ Landscaped Buffer Area ~~for Site Design Category 1~~**

Buffer standards apply to development in Site Design Category 1 that is located adjacent to any arterial street or any non-residential zoning district. Standards are intended to promote a pedestrian-friendly edge to the development and enhance community image. One of the following landscaping strategies must be used within the required minimum setback area on the edges of a residential site adjacent to an arterial street or any non-residential zoning district. ~~For additional landscaping standards see § 18.30.130.~~

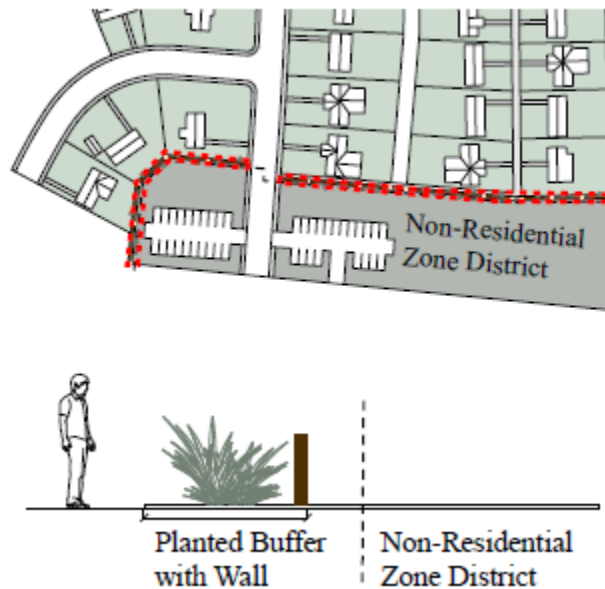
**1. Planted Buffer with No Fence or Wall**

A landscaped area that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.



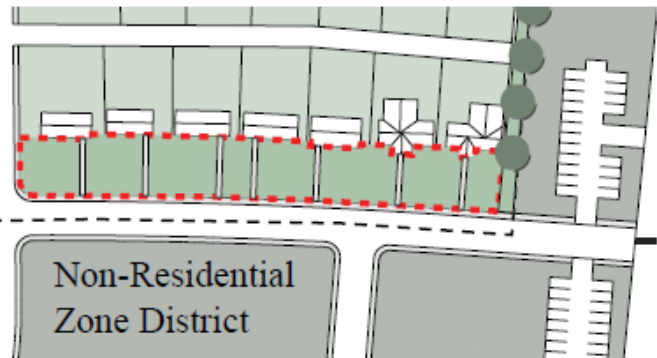
## 2. Planted Buffer with a Fence or Wall

A landscaped area that is at least 7 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and should include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (⇒ See § [18.50.050](#) for fence height and design).



## 3. Street-facing Yard

A landscaped area between the public sidewalk and the front(s) of residences that is a minimum of 20 feet deep.





### 18.15.110 Site Design Category 2

~~Composite~~ Site Design Category 2 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Conservation Neighborhoods. The following ~~general~~ site design standards apply to all projects in Site Design Category 2: The letters located on Figure 1 below correspond with the site design standards provided within this section.

**Figure 1: Site Design Category 2**



**Table 15-11. ~~General Design Standards for Site Design Category 2~~**

Open Space		
<b>A</b>	Common Open Space	Required—See menu options
Connectivity		
<b>B</b>	Pedestrian Connections	Required—See menu options
<b>C</b>	Street Connections	Required—See menu options

**Buffer Area Adjacent to Other Uses**

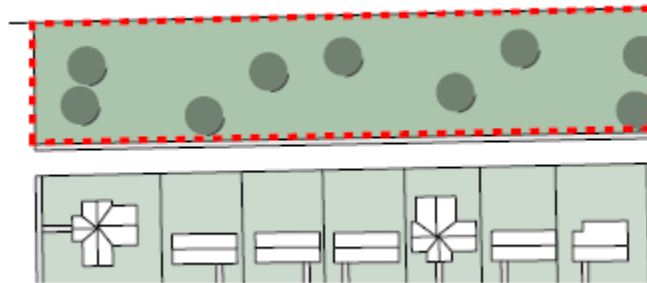
- ~~D~~ ~~Landscaped buffer area adjacent to arterial streets or non-residential uses~~ ~~Required—See design options~~

**A. ~~Menu of~~ Common Open Space Options ~~for Site Design Category 2~~**

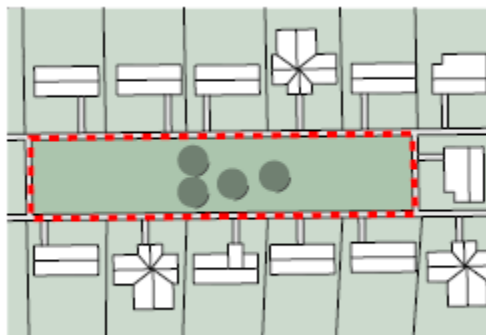
Development in Site Design Category 2 must provide common open space areas to provide for natural resource protection and recreational opportunities for residents. Select at least two of the following tools:

**1. Natural Area**

A stand of mature trees, shrubs or bushes and/or natural features such as rock outcroppings, hills or other viewpoints.

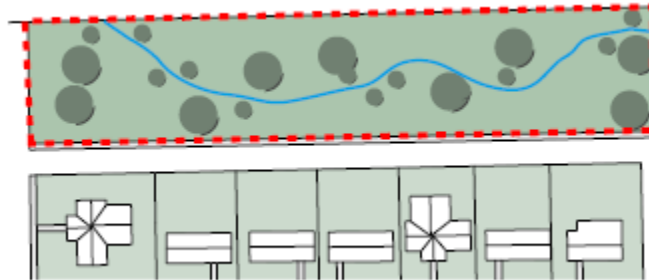
**2. Common Green**

A common green shared by neighborhood residents.



### 3. Natural Drainage Area

Natural streams, lakes, ponds and other drainage areas with indigenous plants, native rocks and other features (note that artificial drainage areas meeting the standards for Design of Open Storm Drainage and Detention Areas may also be used to meet common open space standards).

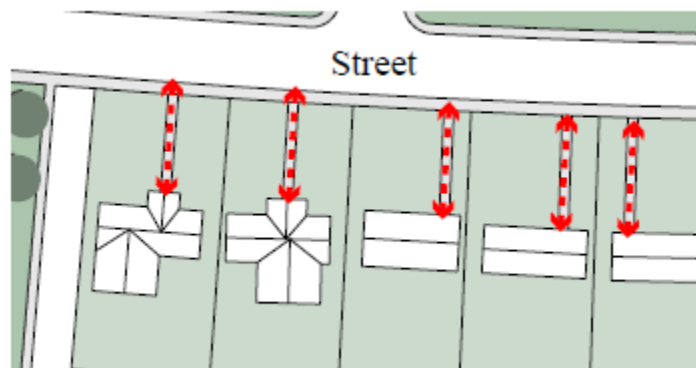


#### B. ~~Menu of Pedestrian Connection Options for Site Design Category 2~~

Individual homes in Site Design Category 2 must be connected to the surrounding pedestrian network and open space system using one of the following options:

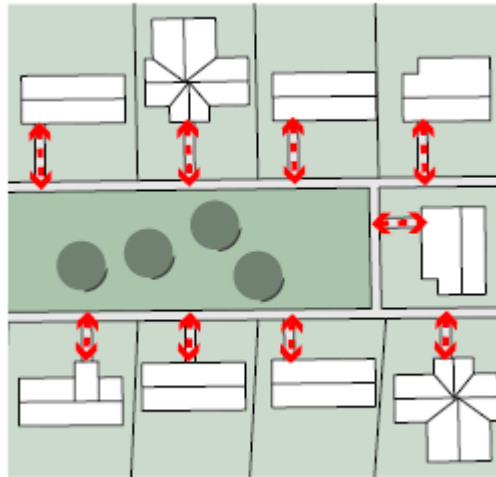
##### 1. Public Sidewalk Connection

A walkway or driveway from a residence that connects directly to a public sidewalk.



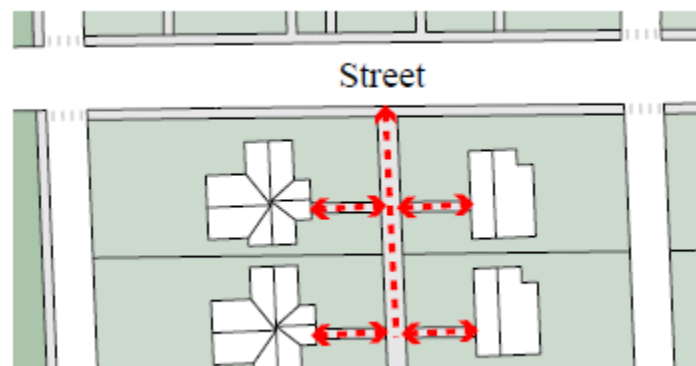
## 2. Connection to Common Open Space

A walkway from a residence that connects directly to common open space such as a natural area or common green.



## 3. Internal Path to a Public Sidewalk

A walkway within a development that leads directly to a public sidewalk on the perimeter.



### C. ~~Design Standards for~~ Street Connectivity in Site Design Category 2

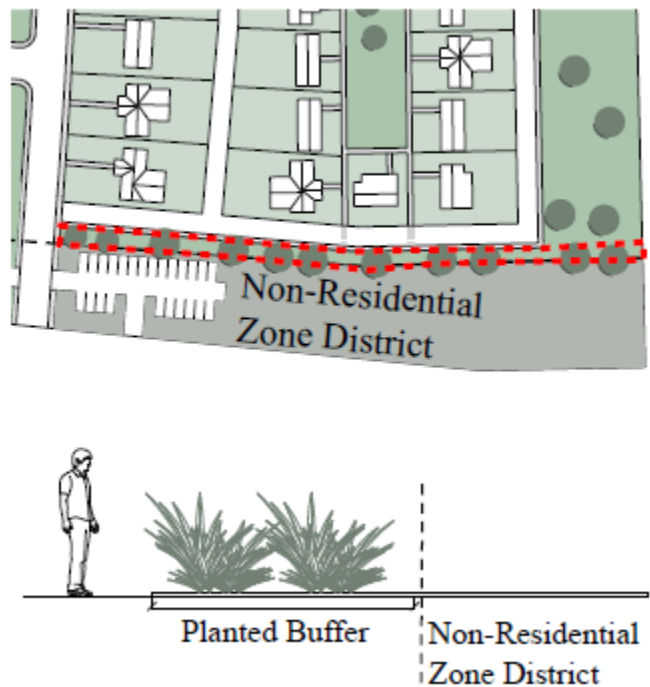
Development using Site Design Category 2 is not subject to the connectivity ratio requirements, but is subject to the street standards in § [18.30.220](#).

**D. ~~Required Landscaped Buffer Area for Site Design Category 2~~**

Buffer standards apply to development in Site Design Category 2 that is located adjacent to any arterial street or any non-residential zoning district. Standards are intended to promote a pedestrian-friendly edge to the development and enhance community image. One of the following landscaping strategies must be used within the required minimum setback area on the edges of a residential site adjacent to an arterial street or any non-residential zoning district. ~~For additional landscaping standards See § 18.30.130.~~

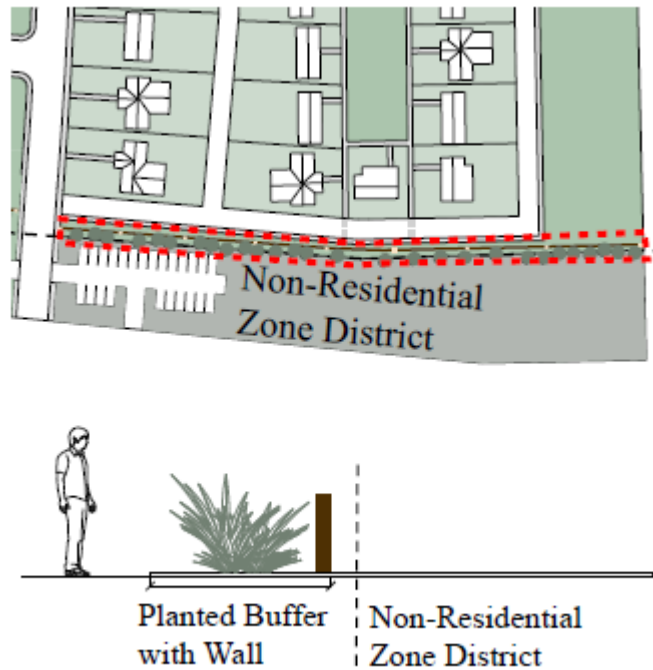
**1. Planted Buffer with No Fence or Wall**

A landscaped area that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

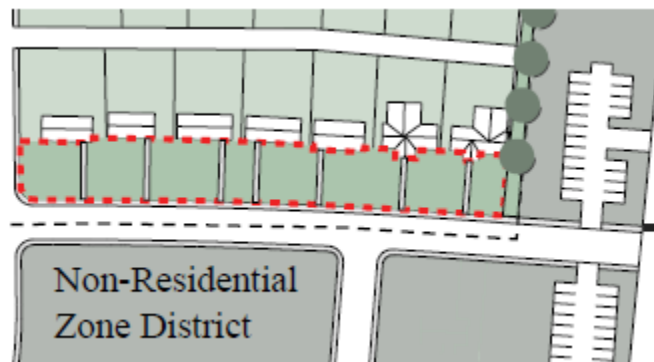


## 2. Planted Buffer with a Fence or Wall

A landscaped area that is at least 7 feet deep with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and should include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (⇔ See § [18.50.050](#) for fence height and design).



## 3. Street-facing Yard

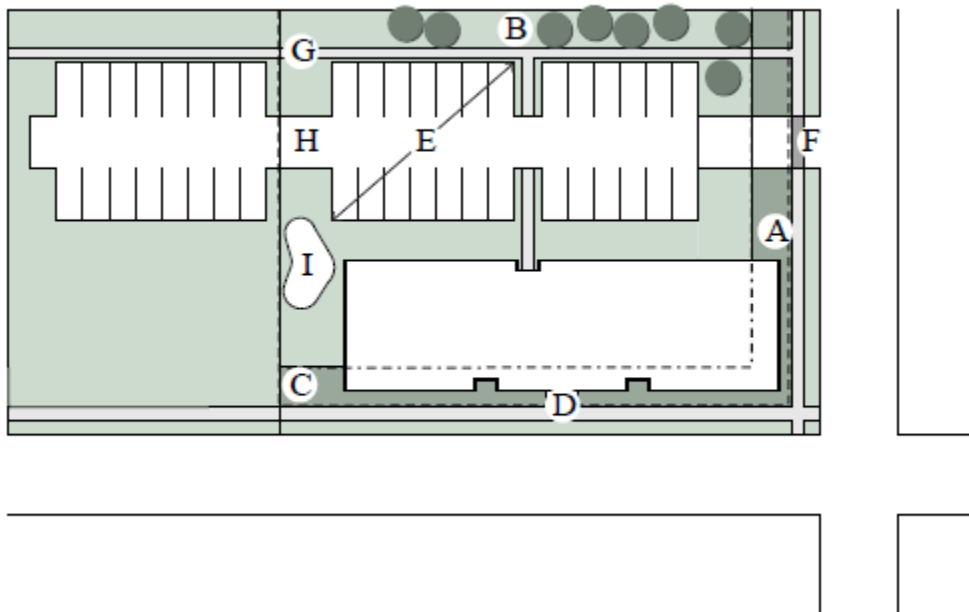


A landscaped area between the public sidewalk and the front(s) of residences that is a minimum of 20 feet deep.

### 18.15.115 Site Design Category 3

~~Composite~~ Site Design Category 3 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Neighborhood Centers, Urban Centers, Transit Oriented Development Centers and Mixed-Use Residential Neighborhoods. The following ~~general~~ site design standards apply to all projects in Site Design Category 3: [The letters located on Figure 1 below correspond with the site design standards provided within this section.](#)

**Figure 1: Site Design Category 3**



**Table 15-12. General Design Standards for Site Design Category 3**

Open Space		
<b>A</b>	<del>Landscaping Adjacent to Sidewalks</del>	<del>Required where building façades are not located in the frontage area-- See menu options</del>
<b>B</b>	<del>Outdoor Amenity Space</del>	<del>Required for development with more than 65% open space or larger than 4 acres -- See menu options</del>
Building Placement		

<b>C</b>	<del>Street Frontage Area for Commercial/Mixed Use Buildings (min./max. 0 feet/15 feet from property line)</del>	
<b>D</b>	<del>Façade Width in Frontage Area (min % of lot width) — for commercial/mixed use</del>	<del>30%<sup>1</sup></del>
<b>E</b>	<del>Parking Pod Size (max. spaces)</del>	<del>40</del>
<b>Connectivity</b>		
<b>F</b>	<del>Pedestrian Circulation System</del>	<del>Required — See design standards</del>
<b>G</b>	<del>Additional Pedestrian Connectivity</del>	<del>Required — See menu options</del>
<b>H</b>	<del>Connections to Driveways on Adjacent Properties</del>	<del>Required where possible</del>
<b>Drainage Features</b>		
<b>I</b>	<del>Open Drainage and Detention Areas Designed as Amenities</del>	<del>Required — See design options</del>

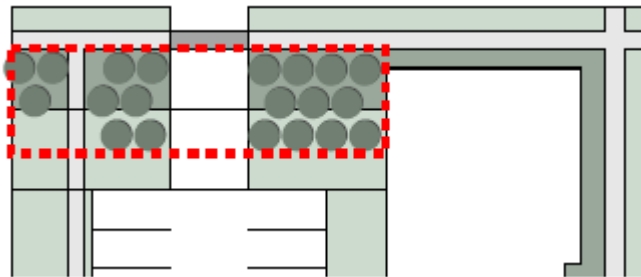
~~<sup>1</sup> Exceptions provided for Civic uses. The Planning Official may reduce required façade width in setback area to support preservation of significant trees or tree clusters.~~

### **A. ~~Menu of Landscape Options for Site Design Category 3~~**

Development in Site Design Category 3 must provide landscaping along sidewalks where building façades are not located within the minimum frontage area to enhance community image and support pedestrian activity. Select one of the following options:

#### **1. Planted Buffer with No Fence or Wall**

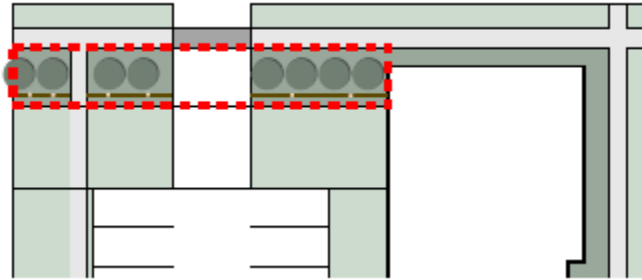
A landscaped area at the sidewalk edge that is at least 20 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.





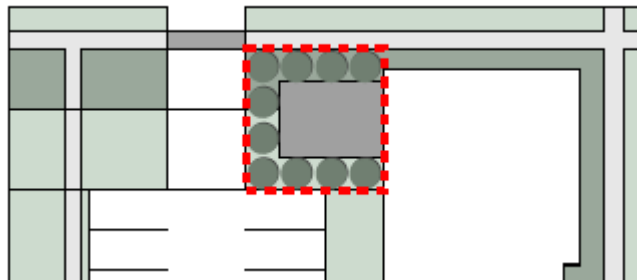
## 2. Planted Buffer with a Fence or Wall

A landscaped area at the sidewalk edge that is at least 10 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and shall include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (↔ See § [18.50.050](#) for fence height and design).



## 3. Plaza or Courtyard

An area that is paved but also includes amenities - These may include plant materials, sculptural or water features, public art or outdoor seating.

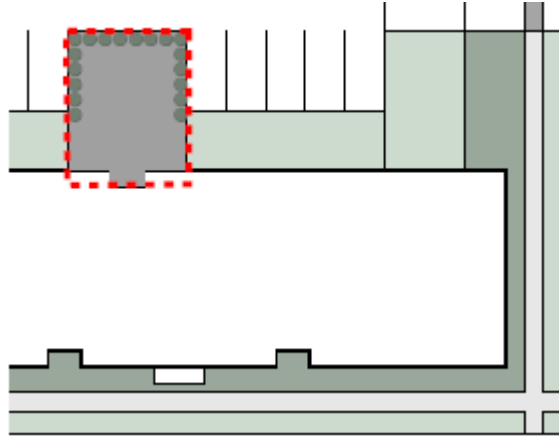


### B. ~~Menu of~~ Outdoor Amenity Space Options ~~for Site Design Category 3~~

Development in Site Design Category 3 that is greater than 4 acres in size or includes more than 65% open space (low coverage of buildings) must include outdoor amenity space to enhance the public realm and promote pedestrian activity. Select one or more of the following options to cover at least 10% of the site area:

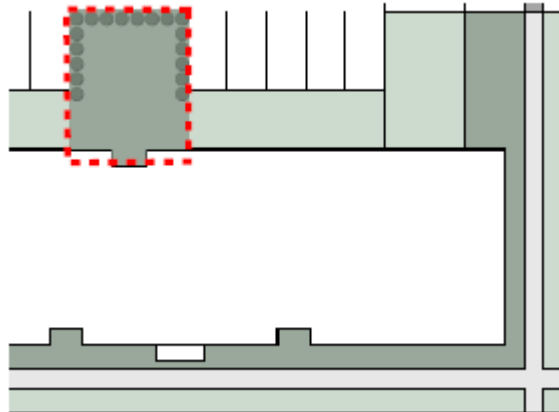
## 1. Plaza or Courtyard

A common use area directly accessible from adjoining buildings that includes decorative paving, street furniture, planters and/or pergolas or other shade structures.



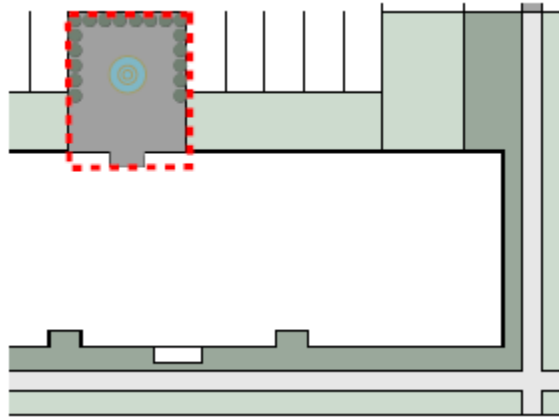
## 2. Common Green

A green shared by users of the development that may include a lawn, a stand of trees, or shrubs.



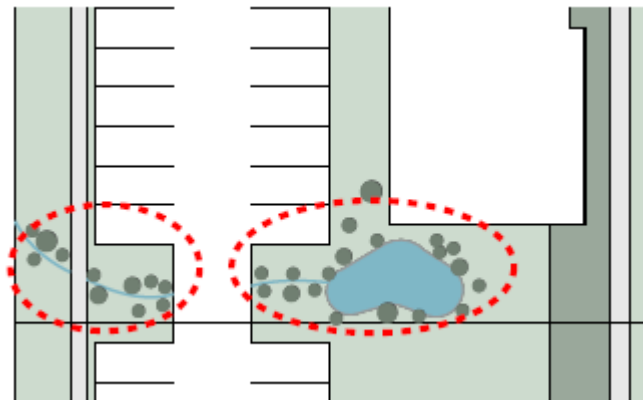
### 3. Water Feature

A fountain or decorative pool shared by users of the development (note that properly designed artificial drainage areas may also be used to meet common open space standards).



### 4. Natural Feature

Stands of mature trees or natural drainage areas retained as an amenity for users of the development.



### C. Street Frontage Area ~~for Site Design Category 3~~

~~See Table 15-12.~~ [Street frontage area for commercial/mixed use buildings: 0 feet \(min.\) from property line / 15 feet \(max.\) from property line.](#)

**D. Façade Width in Frontage Area ~~for Site Design Category 3~~**

~~See Table 15-12.~~ Façade Width in Frontage Area for commercial/mixed use: Minimum 30% of lot width. Exceptions may be provided for Civic Uses. The Planning Official may reduce the required façade width in the setback area to support preservation of significant trees or tree clusters.

**E. ~~Maximum~~ Parking Pod Size ~~for Site Design Category 3~~**

~~See Table 15-12.~~ Maximum number of parking stalls in one pod: 40.

**F. ~~Design Standards for~~ Pedestrian Connectivity ~~in Site Design Category 3~~**

Development in Site Design Category 3 must provide an internal public or private street system with a connectivity ratio of at least 1.7 (see § 18.30.220).

**1. ~~Design Standards for~~ Pedestrian Circulation System ~~in Site Design Category 3~~**

Development in Site Design Category 3 must provide a coordinated pedestrian and bicycle system to provide convenient pedestrian access within the site and to adjacent development. All sites must provide:

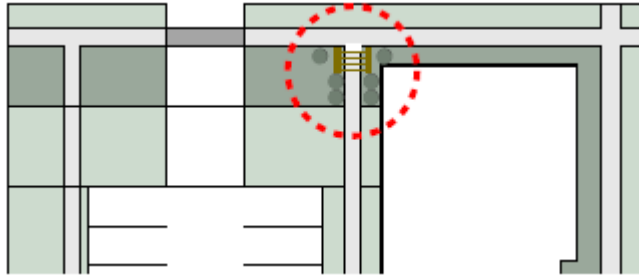
- a) Direct pedestrian connections between buildings on the site;
- b) Paving materials that differentiate pedestrian ways from parking spaces and automobile travel lanes; and
- c) Direct pedestrian connections to adjacent transit stops.

**G. ~~Menu of~~ Additional Pedestrian Connection Options ~~for Site Design Category 3~~**

Development in Site Design Category 3 must provide enhanced pedestrian connections to encourage pedestrian use, integrate with surrounding land uses or connect to regional paths and trails. Select at least two of the following options:

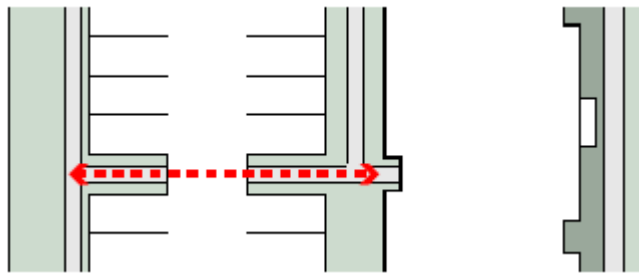
### 1. Pedestrian Gateway

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.



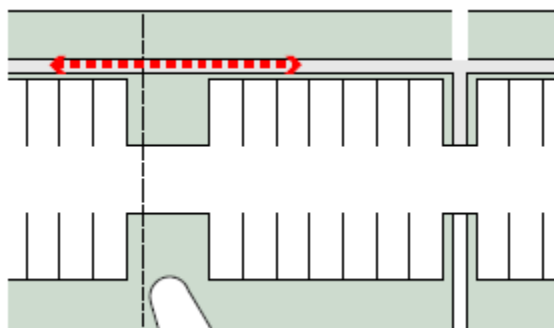
### 2. Cross Property Connection

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



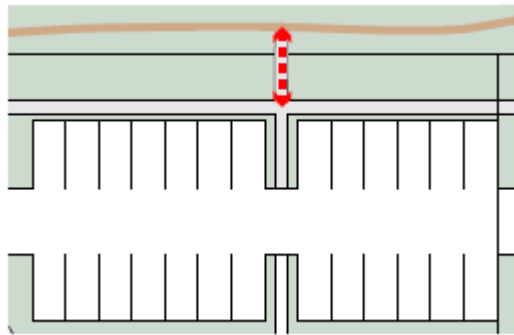
### 3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



#### 4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.



#### H. Connectivity to Adjacent Driveways ~~for Site Design Category 3~~

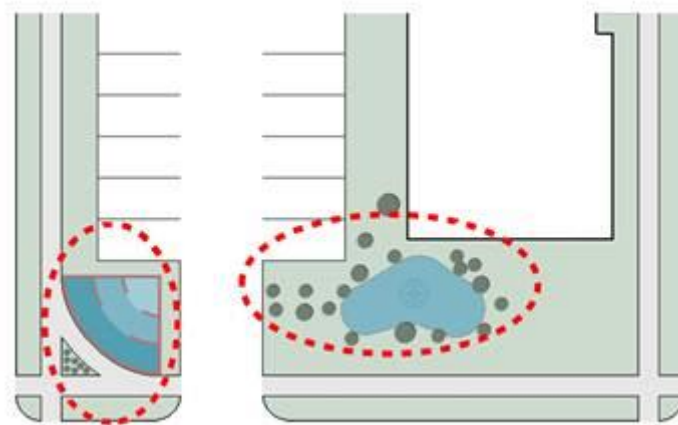
~~See Table 15-12.~~ [Connections to driveways on adjacent properties are required where possible.](#)

#### I. Drainage Features ~~for Site Design Category 3~~

Open drainage and detention areas visible to the public shall be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following tools:

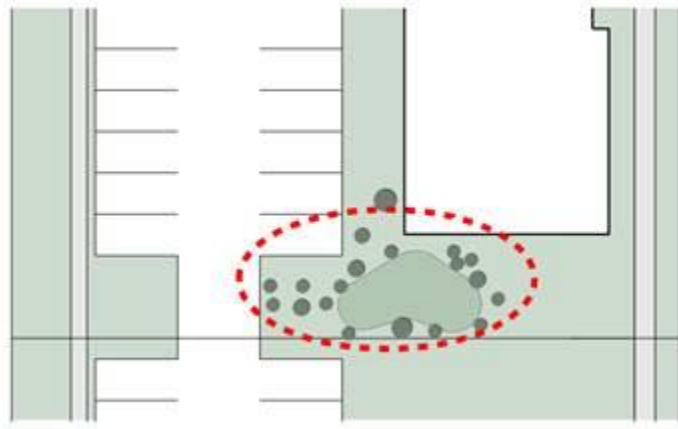
##### 1. Pond or fountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



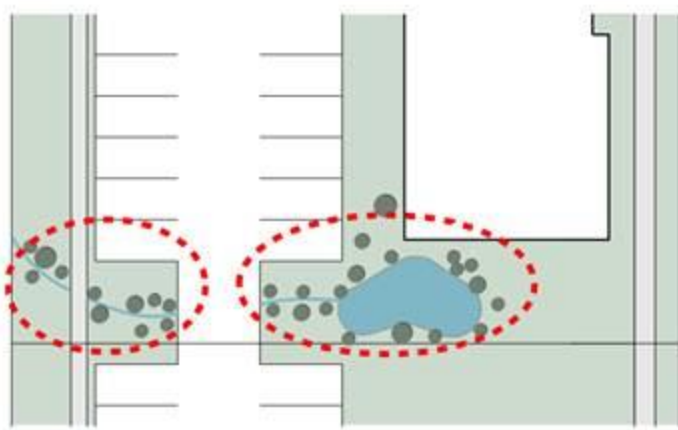
## 2. Landscaped basin or channel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



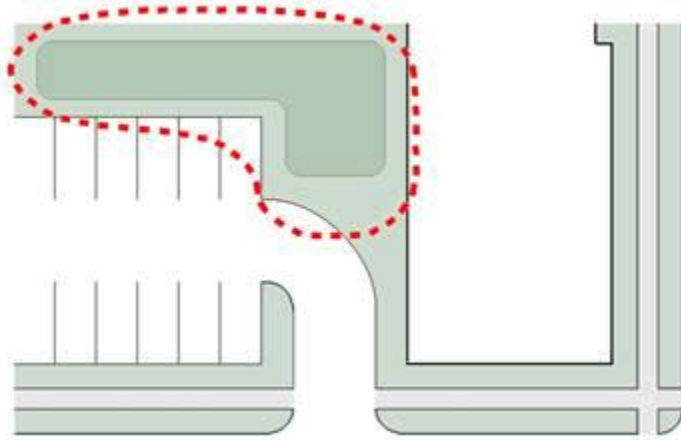
## 3. Natural drainage feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



#### 4. Geometric basin

Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.

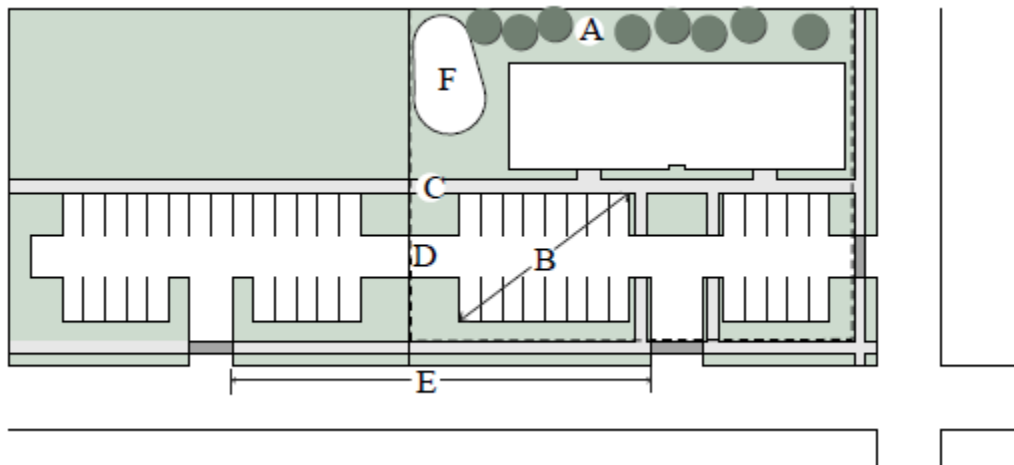


(Ord. 15-16 §3, 2015)

#### 18.15.120 Site Design Category 4

~~Composite~~ Site Design Category 4 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Commercial Corridors, Community Commercial Centers and Regional Commercial Centers. The following ~~general~~ site design standards apply to all projects in Site Design Category 4. [The letters located on Figure 1 below correspond with the site design standards provided within this section.](#)

**Figure 1: Site Design Category 4**





**Table 15-13. General Design Standards for Site Design Category 4**

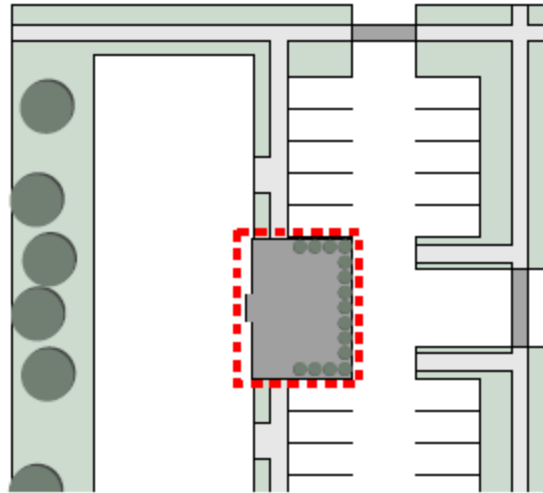
<b>Open Space</b>		
<b>A</b>	<del>Outdoor Amenity Space</del>	<del>Required for development with more than 65% open space or larger than 4 acres—See menu options</del>
<b>Parking Placement</b>		
<b>B</b>	<del>Parking Pod Size (max. spaces)</del>	<del>80</del>
<b>Connectivity</b>		
<b>C</b>	<del>Pedestrian Connections</del>	<del>Required—See menu options</del>
<b>D</b>	<del>Connections to Driveways on Adjacent Properties</del>	<del>Required where possible</del>
<b>E</b>	<del>Distance between curb cuts (min.)</del>	<del>Refer to City's Access Management Plan</del>
<b>Drainage Features</b>		
<b>F</b>	<del>Open Drainage and Detention Areas Designed as Amenities</del>	<del>Required—See design options</del>
<b>Buffer Area Adjacent to Other Uses</b>		
<b>G</b>	<del>Buffer Area Adjacent to Residential Uses</del>	<del>Required—See design options</del>

**A. ~~Menu of~~ Outdoor Amenity Space Options ~~for Site Design Category 4~~**

Development in Site Design Category 4 that is greater than 4 acres in size or includes more than 65% open space must include outdoor amenity space to enhance the public realm and promote pedestrian activity. Select one or more of the following options to cover at least 10% of the site area:

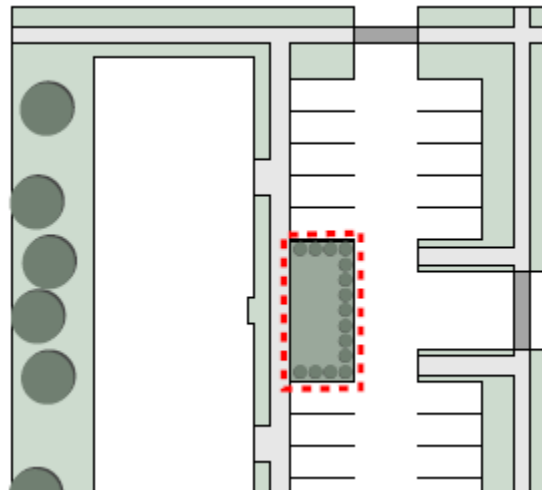
**1. Plaza or Courtyard**

A common use area directly accessible from adjoining buildings that includes decorative paving, street furniture, planters and/or pergolas.



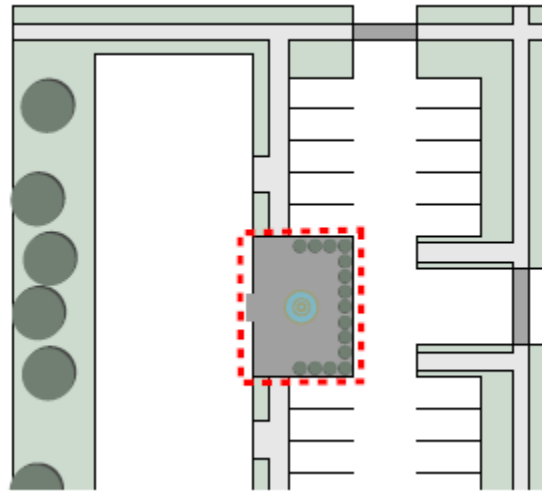
## 2. Common Green

A green shared by users of the development that may include a lawn, a stand of trees, shrubs and bushes.



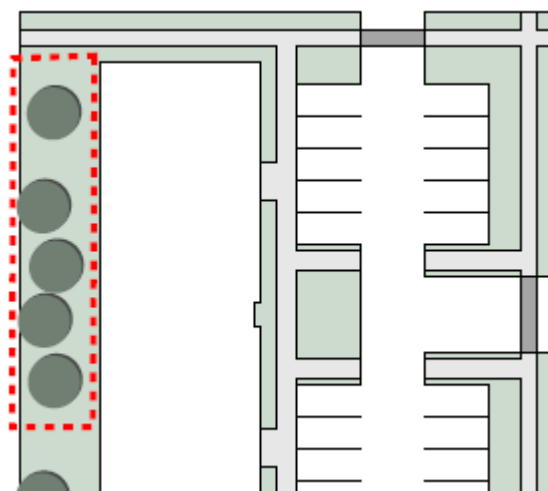
### 3. Water Feature

A fountain or decorative pool shared by users of the development (note that properly designed artificial drainage areas may also be used to meet common open space standards).



### 4. Natural Feature

Stands of mature trees or natural drainage areas retained as an amenity for users of the development.



**B. ~~Maximum~~ Parking Pod Size ~~for Site Design Category 4~~**

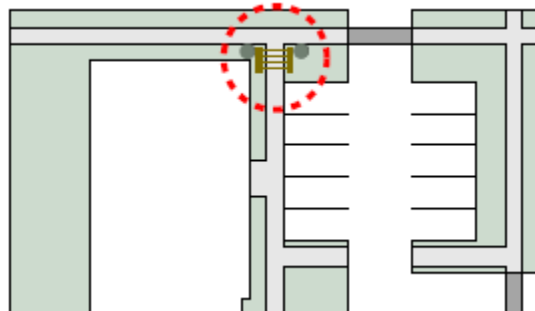
~~See Table 15-13.~~ [Maximum number of parking stalls in one pod: 80.](#)

**C. ~~Menu of~~ Pedestrian Connection Options ~~for Site Design Category 4~~**

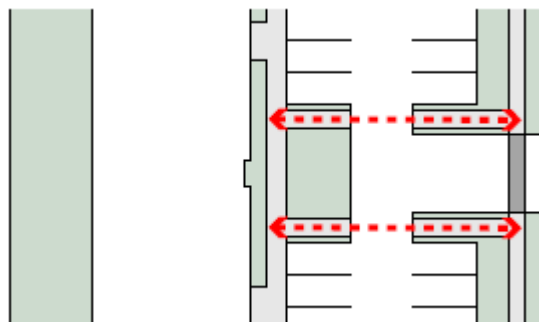
Development in Site Design Category 4 must provide pedestrian connections from surrounding development, parking and adjacent transit stops. Select at least one of the following tools:

**1. Pedestrian Gateway**

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.

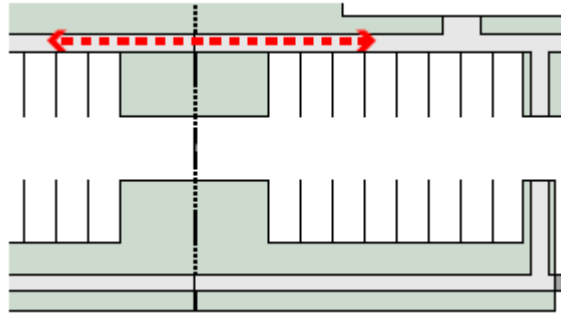
**2. Cross Property Connection**

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



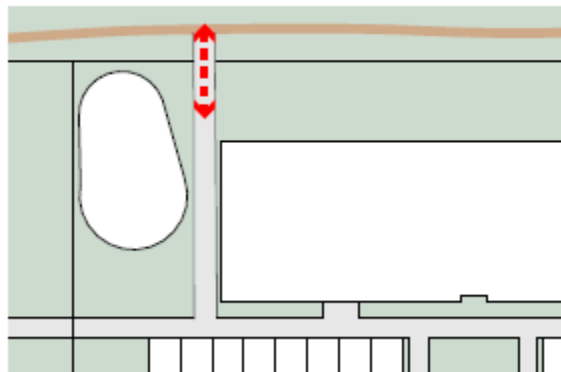
### 3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



### 4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.



### D. Connectivity to Adjacent Driveways ~~for Site Design Category 4~~

~~See Table 15-13. Connections to driveways on adjacent properties are required where possible.~~

### E. Distance between Curb Cuts ~~for Site Design Category 4~~

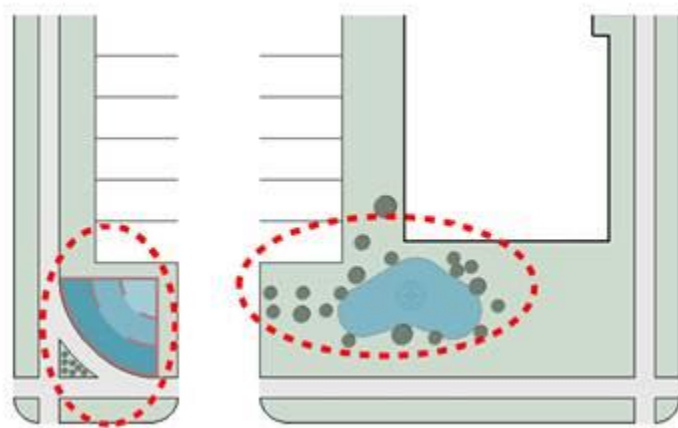
~~See Table 15-13. For the minimum distance between curb cuts, refer to the City's Access Management Plan.~~

**F. Drainage Features ~~for Site Design Category 4~~**

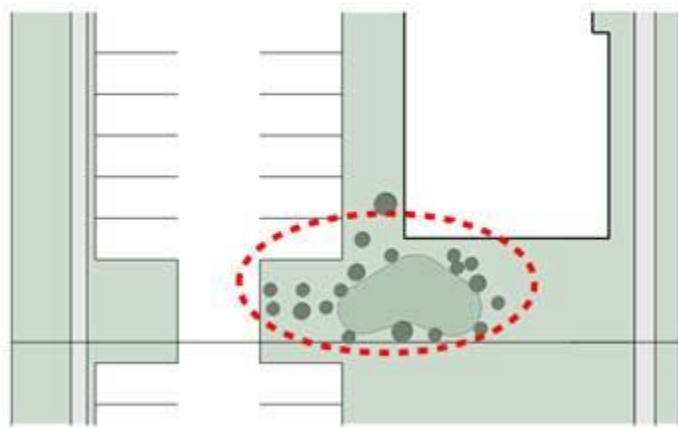
Open drainage and detention areas visible to the public shall be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following tools:

**1. Pond or fountain**

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.

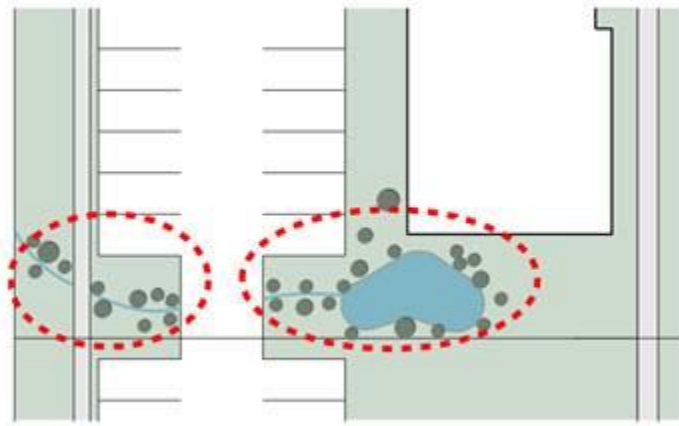
**2. Landscaped basin or channel**

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



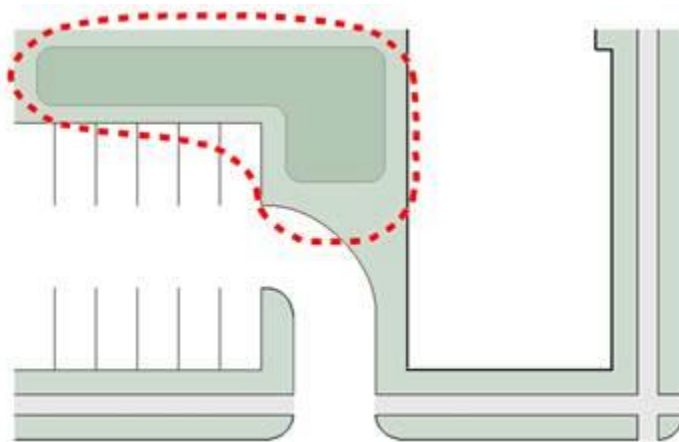
### 3. Natural drainage feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



### 4. Geometric basin

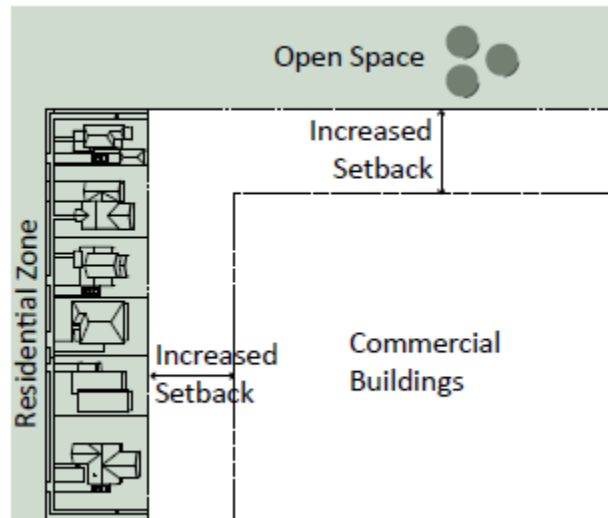
Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.



### G. ~~Required~~ Landscaped Buffer Area ~~for Site Design Category 4~~

Buffer standards apply to development in Site Design Category 4 that is located adjacent to a residential zoning district. Standards are intended to mitigate visual and noise impacts on surrounding land uses.

## 1. Increased Setback

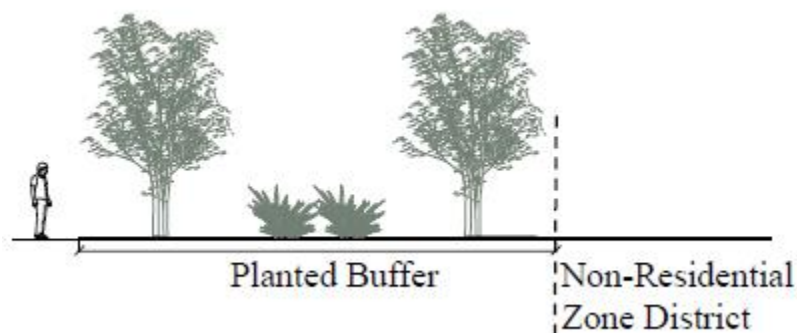


Buildings must be set back at least 40 feet from an adjoining R-1 or R-2 zoning district or designated open space.

## 2. Perimeter Landscaping

One of the following landscaping strategies must be used within the required minimum setback area on the edges of an ~~industrial~~ [commercial](#) site that directly abuts an R-1 or R-2 zoning district or designated open space:

### a. Planted Buffer with No Fence or Wall

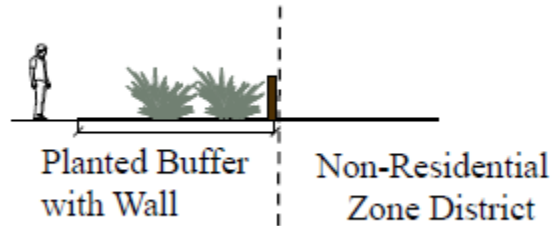


A landscaped area at the sidewalk edge that is at least 40 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.



**b. Planted Buffer with a Fence or Wall**

A landscaped area of at least 15 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous/permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and shall include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (*Ord. 15-16 §3, 2015*)

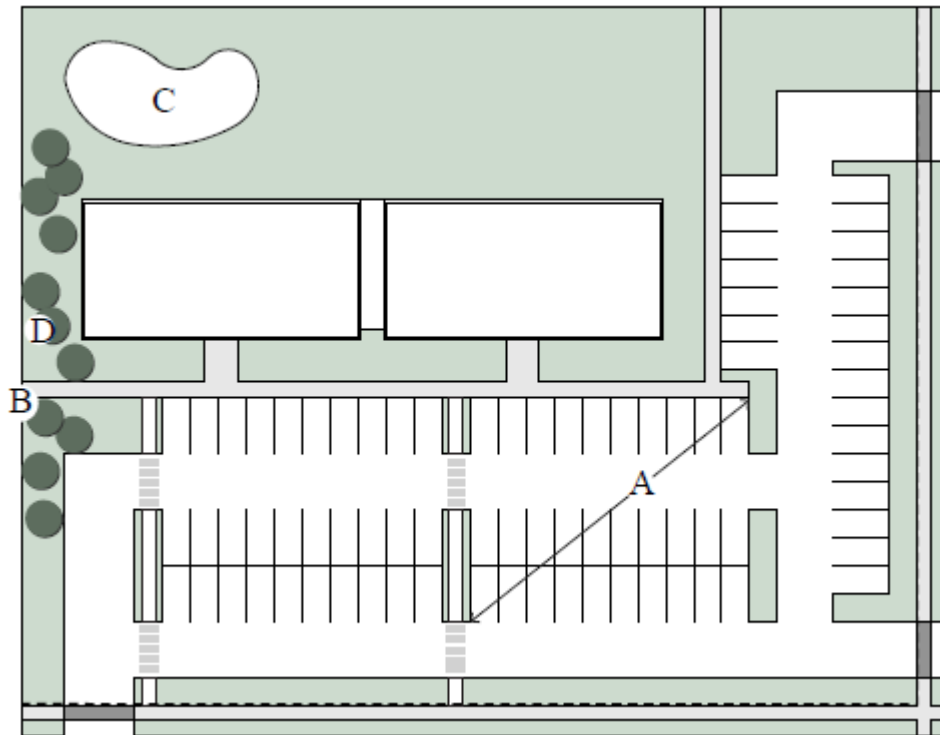


(⇒ See § [18.50.050](#) for fence height and design)

## 18.15.125 Site Design Category 5

~~Composite~~ Site Design Category 5 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Employment Areas. The following ~~general~~ site design standards apply to all projects in Site Design Category 5. [The letters located on Figure 1 below correspond with the site design standards provided within this section.](#)

**Figure 1: Site Design Category 5**



**Table 15-14. General Design Standards for Site Design Category 5**

Parking Placement		
<b>A</b>	Parking Pod Size (max. spaces)	160
Connectivity		
<b>B</b>	Pedestrian Connections	Required—See menu options
Drainage Features		
<b>C</b>	Open Drainage and Detention Areas Designed as Amenities	Required—See design options
Buffer Area Adjacent to Other Uses		

**D** ~~Buffer Area Adjacent to Non-Commercial and Industrial Uses~~~~Required — See design options~~**A. ~~Maximum Parking Pod Size for Site Design Category 5~~**

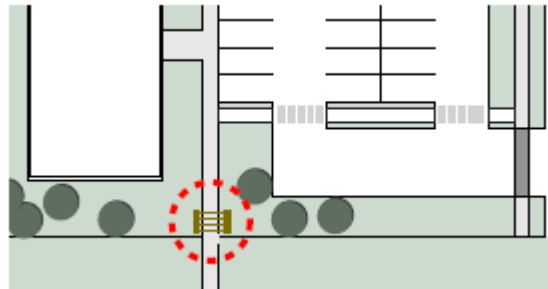
See Table 15-14. Maximum number of parking stalls in one pod: 160.

**B. ~~Menu of Pedestrian Connection Options for Site Design Category 5~~**

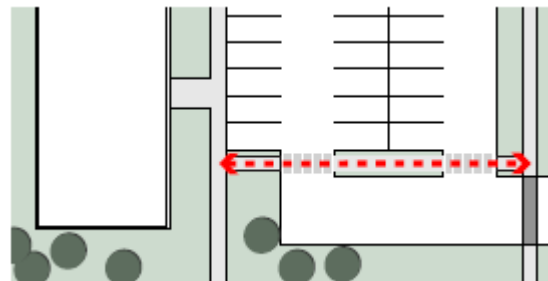
Development in Site Design Category 5 must provide pedestrian connections from surrounding development, parking and adjacent transit stops. Select at least one of the following tools:

**1. Pedestrian Gateway**

Provide at least one defined pedestrian gateway into the site using landscape and hardscape materials.

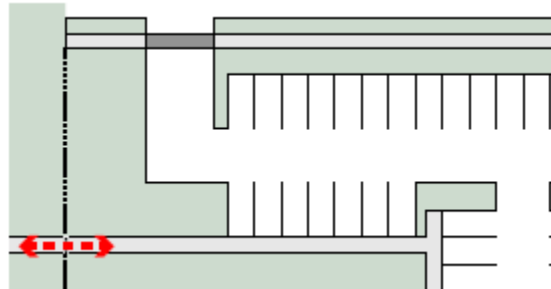
**2. Cross Property Connection**

Provide at least one dedicated pedestrian connection across the development defined with wide sidewalks, special paving material or landscaping.



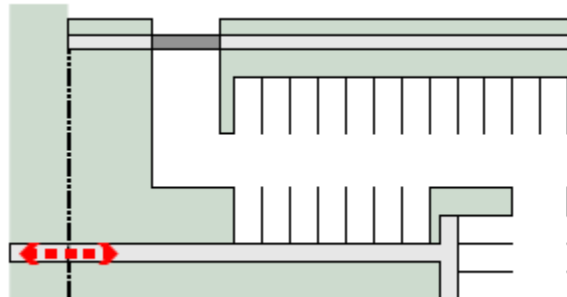
### 3. Pedestrian Connection to Adjacent Development

Provide at least one dedicated off-street pedestrian and bicycle connection to an adjacent residential, commercial or mixed-use development, or to an adjacent transit stop.



### 4. Pedestrian Connection to Regional Trail

Provide at least one dedicated pedestrian and bicycle connection to an adjacent pedestrian or multi-use trail.

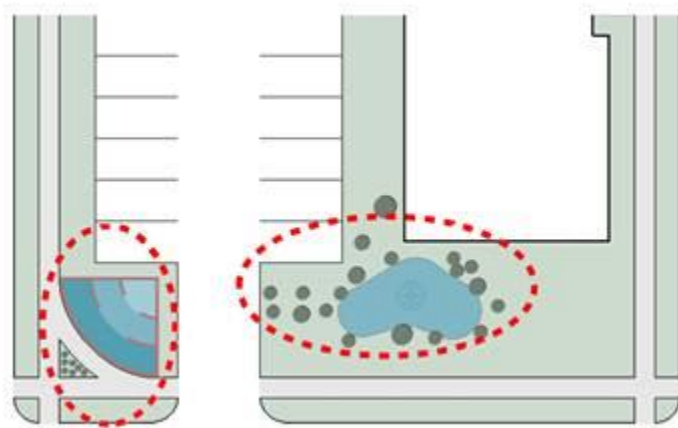


### C. Drainage Features ~~for Site Design Category 5~~

Open drainage and detention areas visible to the public shall be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following tools:

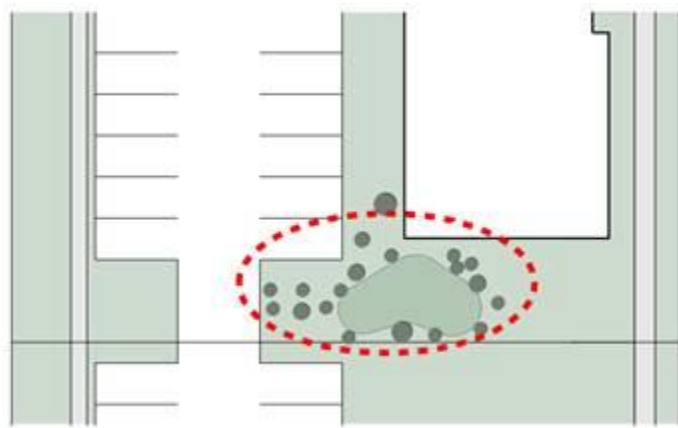
#### 1. Pond or ~~f~~ountain

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



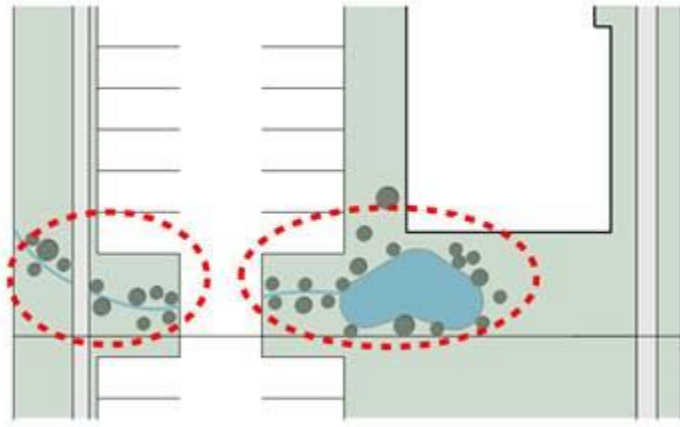
#### 2. Landscaped ~~b~~asin or ~~c~~hannel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



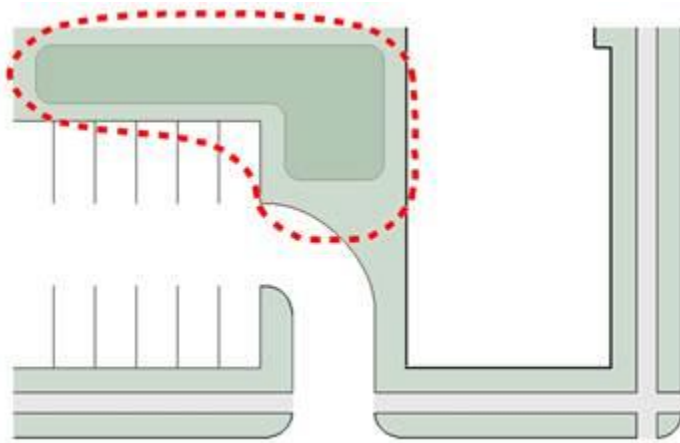
### 3. Natural ~~d~~Drainage ~~f~~Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



### 4. Geometric ~~b~~Basin

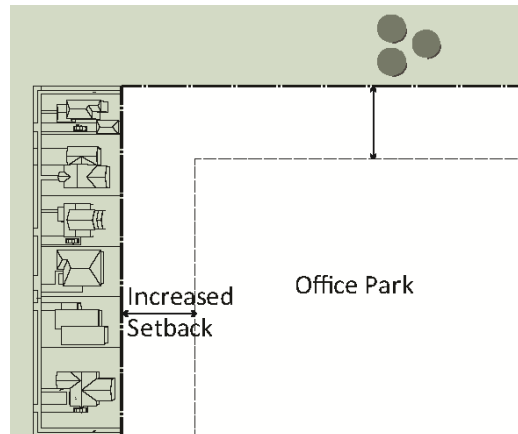
Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.



### D. ~~Required~~Landscaped Buffer Area ~~for Site Design Category 5~~

Buffer standards apply to development in Site Design Category 5 that is located adjacent to any arterial street or any non-commercial or non-industrial zoning district. Standards are intended to mitigate visual and noise impacts on surrounding land uses.

## 1. Increased Setback

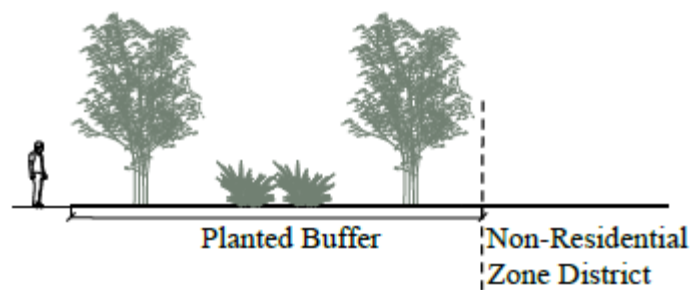


Buildings must be set back at least 40 feet from an adjoining arterial street or non-residential zoning district and 100 feet from an adjoining R-1 or R-2 zoning district or designated open space.

## 2. Perimeter Landscaping

One of the following landscaping strategies must be used within the required minimum setback area on the edges of an [industrial site in the employment area](#) that directly abuts an arterial street or any non-commercial or [non-industrial](#) zoning district:

### a. Planted Buffer with No Fence or Wall

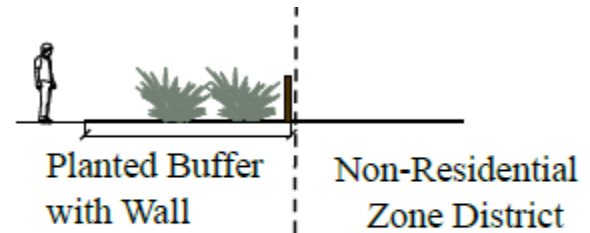


A landscaped area at the sidewalk edge that is at least 40 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

**b. Planted Buffer with a Fence or Wall**

A landscaped area of at least 15 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and shall include posts, columns, and/or pedestrian gateways a minimum of every 100 feet.

(Ord. 15-16 §3, 2015)



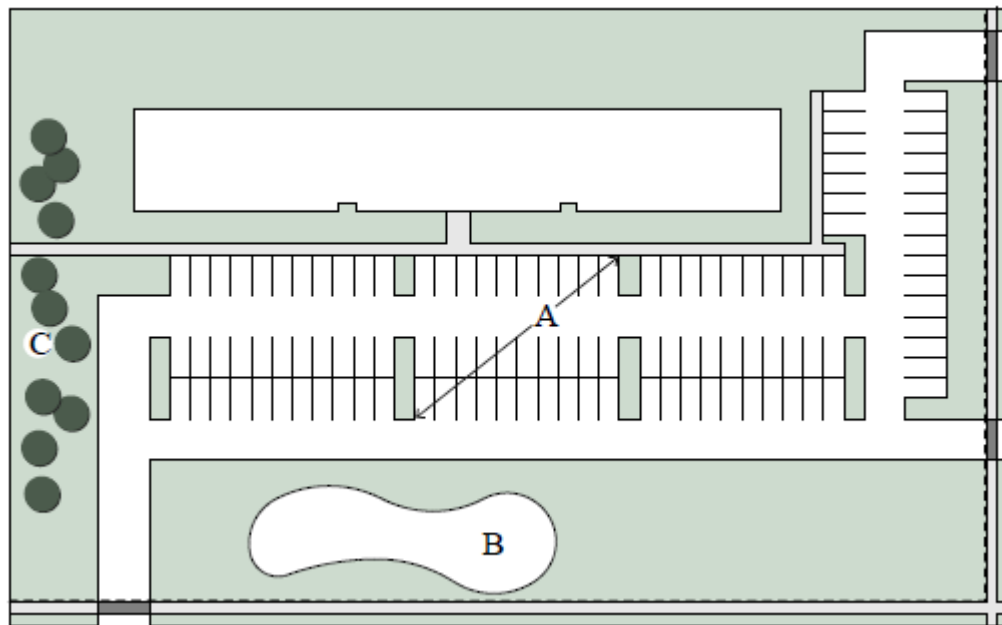
(⇒ See § 18.50.050 for fence height and design)



### 18.15.130 Site Design Category 6

~~Composite~~ Site Design Category 6 provides standards to ensure compatible site development in areas designated by *PlanOlathe* as Industrial Areas. The following ~~general~~ site design standards apply to all projects in Site Design Category 6: [The letters located on Figure 1 below correspond with the site design standards provided within this section.](#)

**Figure 1: Site Design Category 6**



**Table 15-15. General Design Standards for Site Design Category 6**

Parking Placement		
<b>A</b>	Parking Pod Size (max. spaces)	320
Drainage Features		
<b>B</b>	Open storm drainage and detention areas visible to the public designed to reduce visual impacts and provide a pedestrian amenity	Required—See design options
Buffer Area Adjacent to Other Uses		
<b>C</b>	Landscaped buffer area adjacent to arterial streets or non-industrial uses	Required—See design options

**A. ~~Maximum~~ Parking Pod Size ~~for Site Design Category 6~~**

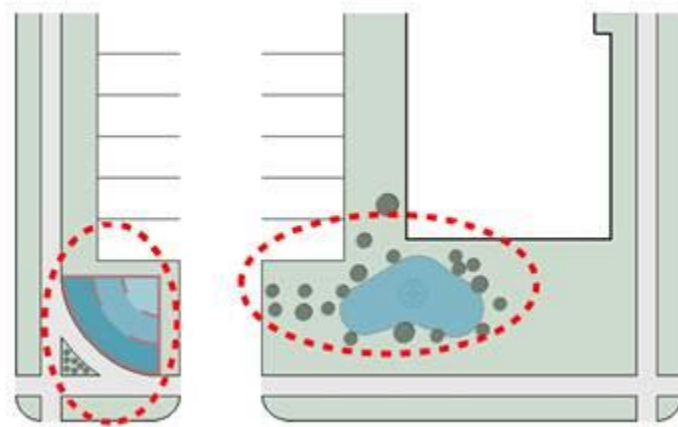
~~See Table 15-15.~~ [Maximum number of parking stalls in one pod: 320.](#)

**B. Drainage Features ~~for Site Design Category 6~~**

Open drainage and detention areas visible to the public shall be incorporated into the design of the site as an attractive amenity or focal point, using at least one of the following tools:

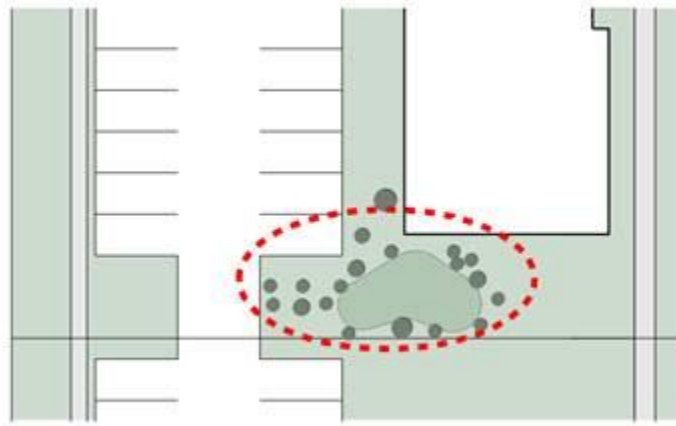
**1. Pond or fountain**

A wet-bottom basin in a prominent location that is enhanced with decorative features such as fountains, waterfalls, and/or extensive landscaping.



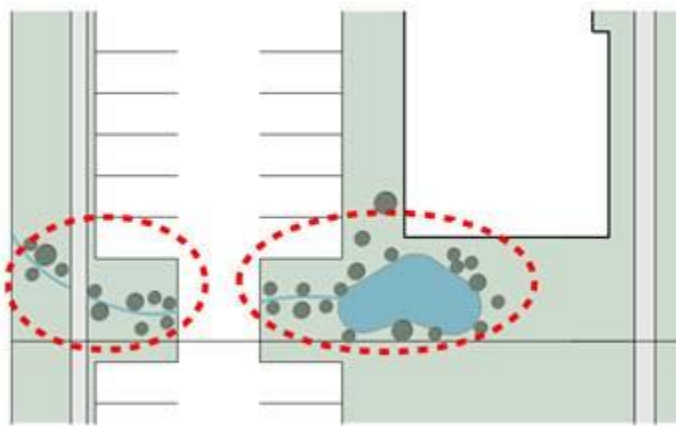
## 2. Landscaped [b](#)Basin or [c](#)Channel

A dry-bottom basin or channel that is maintained as extensively landscaped open space or yard area, designed with shallow slopes and a curvilinear, non-geometric shape to avoid an artificial appearance.



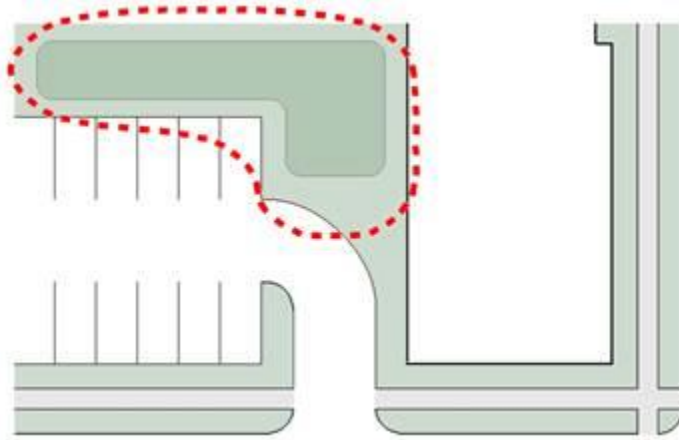
## 3. Natural [d](#)Drainage [f](#)Feature

Preservation of natural drainage areas including existing trees and vegetation. If existing trees and vegetation are missing or removed, new trees, shrubs, and plants should be added to restore the appearance of natural landscaping.



#### 4. Geometric ~~b~~Basin

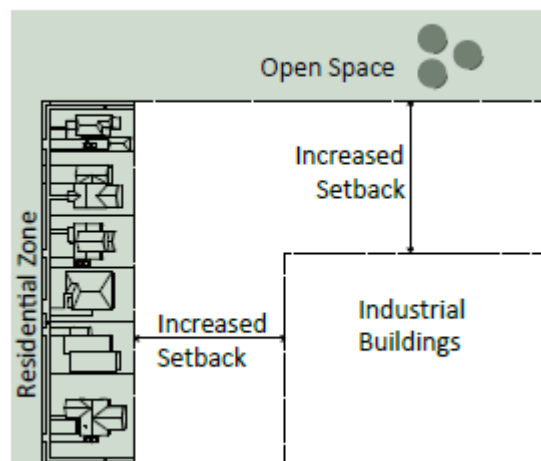
Artificial geometrically shaped basins should generally be avoided, but may be used in areas that are not visible to the public or from adjacent property.



#### C. ~~Required~~ Landscaped Buffer Area ~~for Site Design Category 6~~

Buffer standards apply to development in Site Design Category 6 that is located adjacent to any arterial street or non-industrial zoning district. Standards are intended to mitigate visual and noise impacts of industrial development on surrounding land uses.

##### 1. Increased Setback

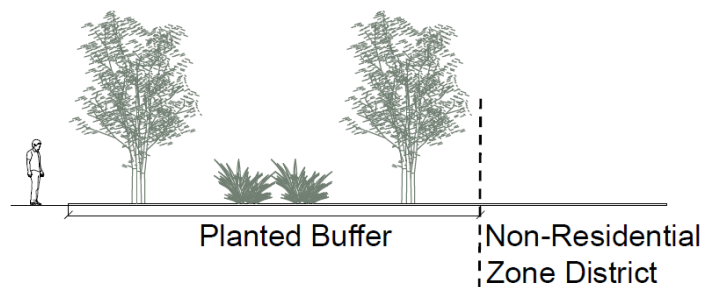


Buildings must be set back at least 50 feet from an adjoining arterial street or non-residential zoning district and 200 feet from an adjoining R-1 or R-2 zoning district or designated open space.

## 2. Perimeter Landscaping

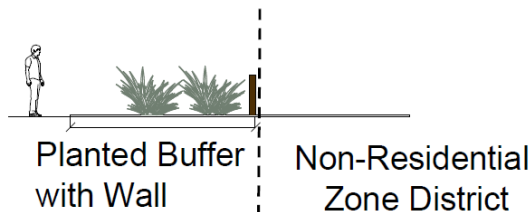
One of the following landscaping strategies must be used within the required minimum setback area on the edges of an industrial site that directly abuts an arterial street or any non-industrial zoning district:

### a. Planted Buffer with No Fence or Wall



A landscaped area at the sidewalk edge that is at least 50 feet deep with a minimum of 70% porous/permeable surfaces and 50% planted material.

### b. Planted Buffer with a Fence or Wall



A landscaped area of at least 20 feet between the sidewalk edge and a fence or wall with a minimum of 70% porous / permeable surfaces and 50% planted material. A fence or wall shall be located within the landscape area and should include posts, columns, and/or pedestrian gateways a minimum of every 100 feet. (*Ord. 15-16 §3, 2015*)