

2 Key Map  
N.T.S.

Utility Legend

existing  
proposed

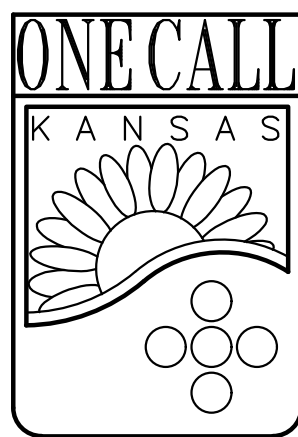
Linetypes

sanm sanitary main  
sans sanitary service  
ssem storm sewer (existing)  
sswm storm sewer (solid wall, proposed)  
sswm storm sewer (solid wall, proposed)  
sswm storm sewer (perforated, proposed)  
wtrm water main  
wtrf water service (fire)  
wtrd water service (domestic)  
wtri water service (irrigation)  
gasm natural gas main  
gass natural gas service schematic  
elpu underground primary electric  
elsu underground secondary electric  
elpo overhead electric  
datu underground cable/phone/data  
datsu underground cable/phone/data service

fence-chainlink  
fence-wood  
fence-barbed wire  
treeline

Symbols

sanitary manhole  
service cleanout  
force main release valve  
rectangular structure  
circular structure  
fire hydrant  
water valve  
water meter  
backflow preventer  
natural gas meter  
service transformer (pad mount)  
primary switch gear  
light pole  
cable/phone/data junction box  
street light  
pedestrian street light  
electric pole  
guy wire  
end section



Know what's below.  
Call before you dig.

Legal Description:

(per Olsson "FINAL PLAT OF CHESTNUT SOUTH")

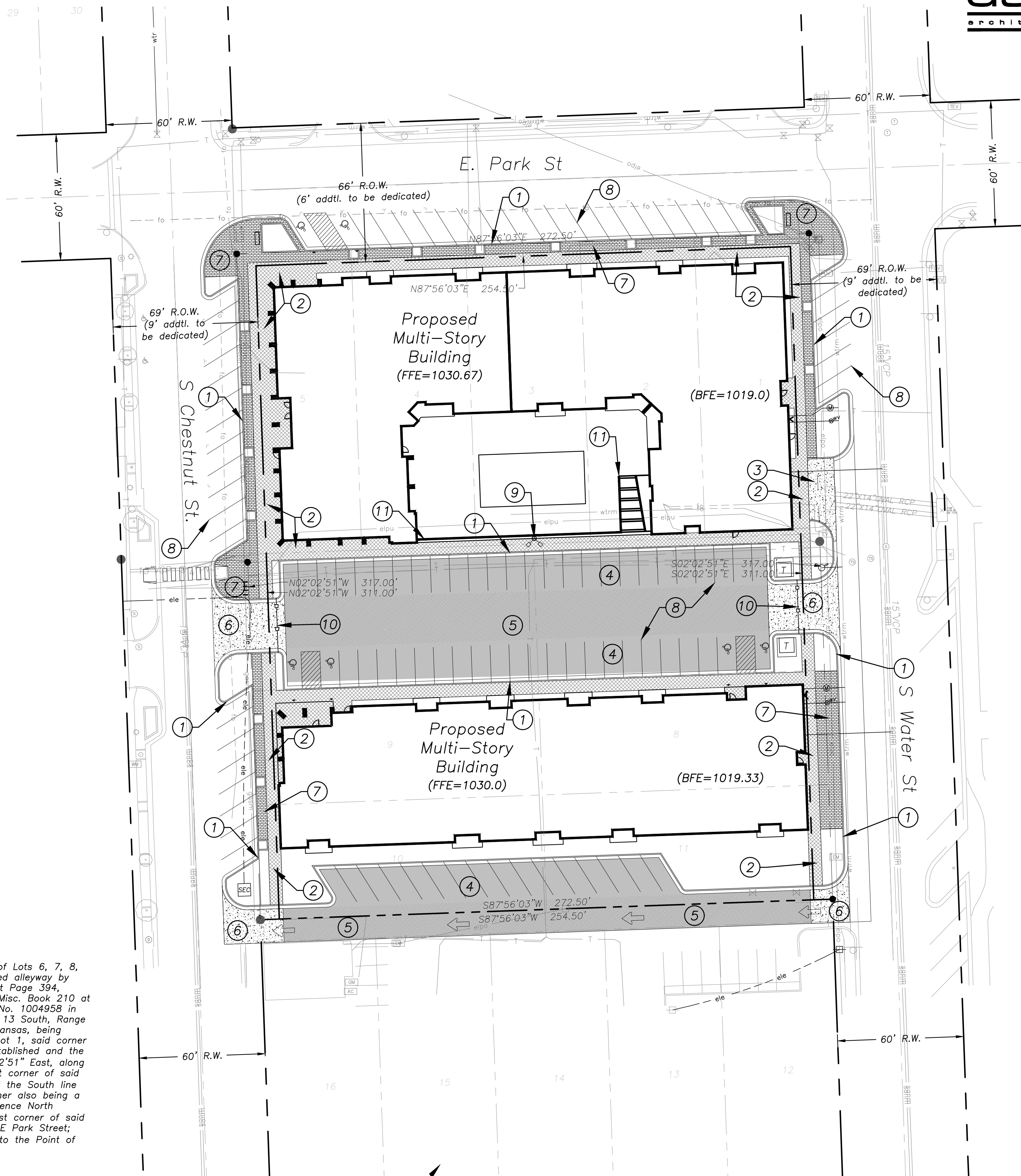
All of Lots 1, 2, 3, 4 and 5, WILLIAMS AND DEVENPORTS SUBDIVISION and all of Lots 6, 7, 8, 9, 10 and 11, CITY OF OLATHE, both being subdivisions of land and the vacated alleyway by Ordinance dated August 1, 1930 as Document No. 179760 in Misc. Book 17 at Page 394, Ordinance No. 355-C recorded August 27, 1970 as Document No. 860145 in Misc. Book 210 at Page 341 and Ordinance No. 316 recorded December 20, 1974 as Document No. 1004958 in Book 1008 at Page 970, all in the Northeast Quarter of Section 35, Township 13 South, Range 23 East of the 6th Principal Meridian in the City of Olathe, Johnson County, Kansas, being bounded and described as follows: Beginning at the Northeast corner of said Lot 1, said corner being the intersection of South right-of-way line of E Park Street, as now established and the West right-of-way line of Water Street, as now established; thence South 02°02'51" East, along said West right-of-way line of said Water Street, 317.00 feet to the Southeast corner of said Lot 11; thence South 87°56'03" West, along the South line of said Lot 11 and the South line of said Lot 10, 272.50 feet to the Southwest corner of said Lot 10, said corner also being a point on the East right-of-way line of Chestnut Street, as now established; thence North 02°02'51" West, along said East right-of-way line, 317.00 feet to the Northwest corner of said Lot 5, said corner also being a point on the South right-of-way line of said E Park Street; thence North 87°56'03" East, along said South right-of-way line, 272.50 feet to the Point of Beginning. Containing 86,382 square feet or 1.98 acres, more or less.

Property Legend

right of way  
property lines  
lot lines  
easements

Construction Legend

concrete pavement  
standard asphalt  
heavy duty asphalt  
concrete sidewalk  
Type "B" curb & gutter



Construction Notes:

- Proposed Type "B" curb & gutter where indicated (see legend).
- Proposed concrete sidewalk (see legend).
- Proposed concrete pavement, section per geotechnical report (see legend).
- Proposed standard duty asphalt pavement, section per geotechnical report (see legend).
- Proposed heavy duty asphalt pavement, section per geotechnical report (see legend).
- Proposed concrete commercial entrance per City of Olathe standards.
- Proposed decorative brick paver pattern to match downtown area theme.
- Proposed striping: parking, hatching, universal ADA symbol, re: A1.1, typ.
- Proposed site lighting, re: Arch plans, typ.
- Proposed access gate, re: Arch plans, typ.
- Proposed retaining wall at courtyard/pool.

1 Site Plan  
1"=30'

A new development for  
**Chestnut - South**  
E. Park & S Chestnut  
Olathe, Kansas 66061

date 08.23.2019  
drawn by LDM  
checked by DAE  
revisions  
09.20.2019 01  
10.14.2019 02

sheet number

**C1.2**

drawing type  
preliminary  
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19053



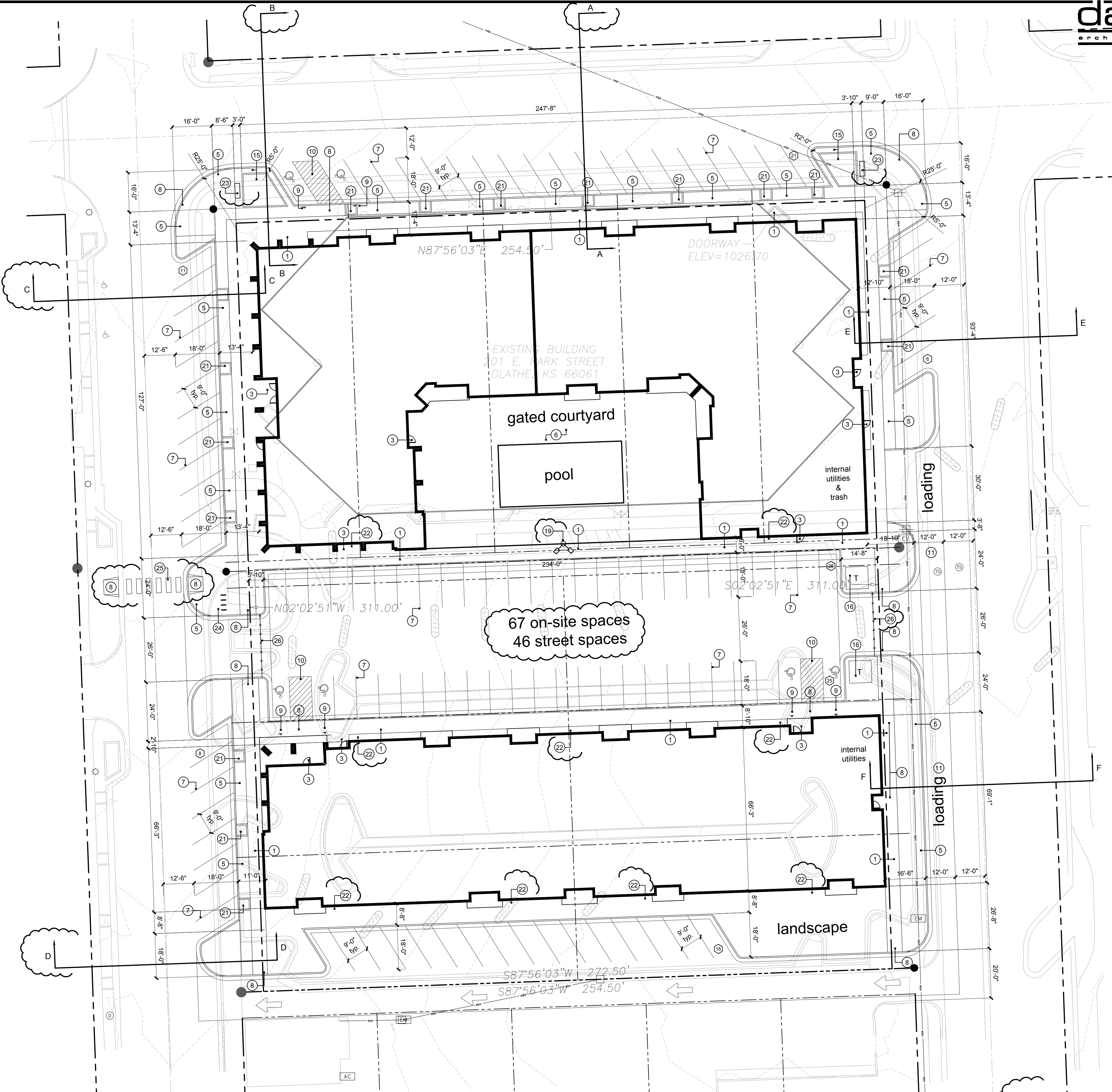
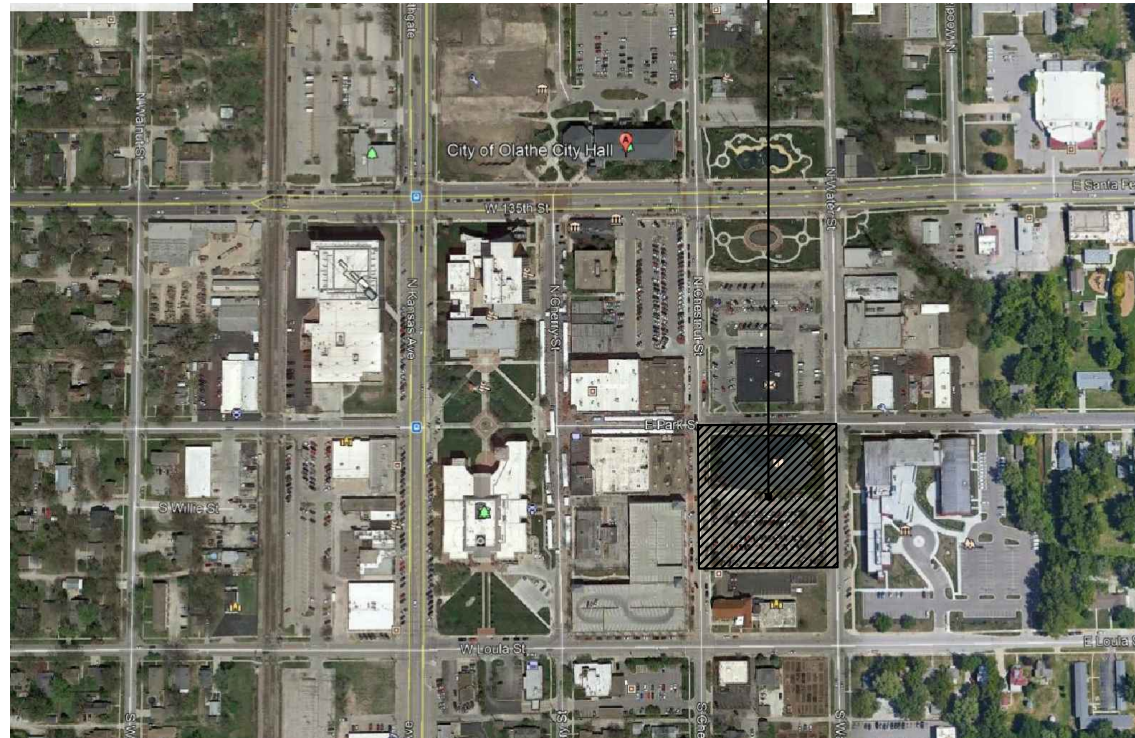
general notes:

- All construction shall conform to the standards and specifications of the city of Olathe, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface & subsurface ground conditions prior to start of construction
- Slopes shall maintain a maximum 3:1 slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping or building elements and shall be prefinished or painted to match the primary adjacent wall color.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.

construction notes: #

- Furnish and install concrete sidewalk - 4" minimum thickness with 6x6 10/10 WWF steel mesh. Control joints at 5'-0" o.c. Broom finish for non-slip surface.
- Not used.
- Furnish and install concrete stoop to frost depth at all exterior door locations, per Structural Engineer.
- Not used.
- Furnish and install decorative brick paver per City of Olathe standards with pattern and color to match existing.
- Courtyard landscaping and paver design per Landscape Architect and Hardscape plans to be determined at permit phase.
- Furnish and install parking lot striping to be painted white with 4" stroke.
- Furnish and install ADA ramp and sidewalk per Civil Engineer.
- Furnish and install ADA parking signage per detail, typ. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "VAN ACCESSIBLE" as required per ADA and within 5' of stall.
- Furnish and install ADA striping and universal symbol painted white with 4" stroke.
- Furnish and install new striping and signage at proposed loading zone.
- Not used.
- Not used.
- Not used.
- Furnish and install new raised concrete curb planter bed with 2'-0" perimeter paver surround per City of Olathe standard with pattern and color to match existing.
- Furnish and install concrete transformer pad at new transformer location per Civil Engineer.
- Not used.
- Not used.
- Furnish and install new LED parking lot lighting fixtures on non-adjustable head with cut-off lens on prefinished pole and concrete base per MEP Engineer.
- Not used.
- Furnish and install flush, 6" concrete edging and 4' x 4' landscape tree grate per landscape architect.
- Furnish and install building mounted LED parking lot lighting fixtures on non-adjustable head with cut-off lens per MEP Engineer.
- Furnish and install prefinished bench as part of site furniture package, to meet City of Olathe specifications.
- Furnish and install prefinished bicycle rack as part of site furniture package, to meet City of Olathe specifications.
- Furnish and install new crosswalk striping per City of Olathe specifications.
- Furnish and install parking lot gates. Operator shall include an opener function that will respond to Emergency Service vehicle audible tone opener and shall include a knox box with fob or opener.

project location





Plant Schedule:

key	qty.	botanical name	common name	size	spacing
deciduous trees					
gb	10	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal.	per plan
pm	15	Acer Griseum	Paperbark Maple	2" cal.	per plan
co	6	Quercus x warei 'Long'	Regal Prince Columnar Oak	2" cal.	per plan
ff	7	Carpinus Betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2" cal.	per plan
evergreen trees					
tj	10	Juniperus Virginiana 'Taylor'	Taylor Juniper	5' ht.	per plan
sj	0	Juniperus Chinenalis 'Spartan'	Spartan Juniper	5' ht.	per plan
shrubs and grasses					
fl	0	Rhamnus Frangula	Fine Line Buckthorn	d&b	per plan
hf	112	Pennisetum Alopecuroides 'Hameln'	Hameln Fountain Grass	3 gal.	per plan
sg	22	Panicum Virgatum 'Northwind'	Northwind Switch Grass	3 gal.	per plan
ty	46	Taxus x Media 'Tauntonii'	Tauntoni's Yew	3 gal.	per plan

\*NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1; AMERICAN STANDARD FOR NURSERY STOCK

LANDSCAPE NOTES:

1. LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.

2. LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.

3. LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES, UNLESS OTHERWISE NOTED ON THE PLANS, EXCEPT WHERE ACCESS BEYOND IS REQUIRED FOR CONSTRUCTION RELATED TO UTILITY INSTALLATION AND EQUIPMENT ACCESS TO THE SITE.

4. REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.

5. THE CONTRACTOR SHALL ARRANGE AND CONDUCT A PRE-CONSTRUCTION MEETING ONSITE WITH LANDSCAPE ARCHITECT PRIOR TO ALL WORK.

6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.

7. THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.

8. THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES TO A DEPTH OF 3", AND IN ALL PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.

9. TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY THE LANDSCAPE ARCHITECT.

10. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI-Z60-2004, OR MOST RECENT EDITION.

11. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.

12. THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF OLAHE KANSAS AND THE LANDSCAPE ARCHITECT.

13. PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (APRIL 15-JUNE 15) OR FALL (SEPTEMBER 1-NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.

14. STEEL EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED AREAS.

15. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACE.

16. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.

17. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.

18. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

19. ALL DISTURBED AREAS, INCLUDING RIGHTS OF WAY, NOT OTHERWISE COVERED BY BUILDING, PAVEMENT AND LANDSCAPE BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE AND IRRIGATED UNLESS OTHERWISE INDICATED BY THE OWNER.

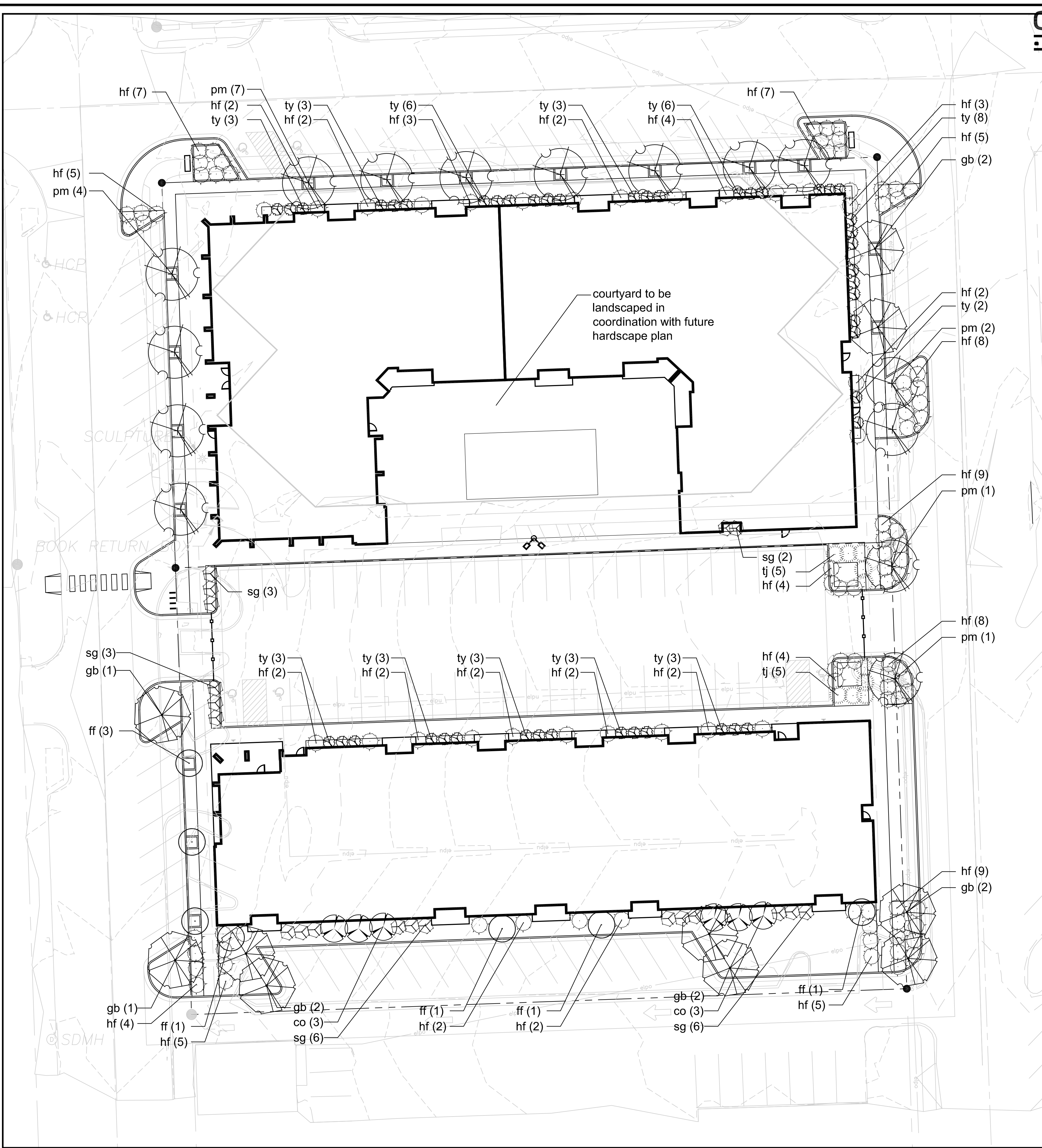
20. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT AND UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW PER CITY OF OLAHE UDO.
21. PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".

22. APPLY A COMMERCIAL ROOT STIMULATOR (APPROVED BY LANDSCAPE ARCHITECT PRIOR TO USE) TO ALL SHRUBS AND GROUND COVERS AT RATES RECOMMENDED BY MANUFACTURER DURING FIRST PLANT WATERING FOLLOWING INSTALLATION.

23. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS.

35. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.

36. LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS, WITH NO SHRUBS OR TREES WITH IN A 3' RADIUS OF THE FIRE DEPARTMENT CONNECTION OR FIRE HYDRANT.



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E. Park & S. Chestnut  
Olathe, Kansas 66061

date  
08.23.2019  
drawn by  
KLV  
checked by  
VSM  
revisions  
09.21.2019  
10.14.2019





1 | South Elevation  
scale: 3/32" = 1'-0"



2 | North Elevation  
scale: 3/32" = 1'-0"

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A new development for  
**Chestnut - South**  
E. Park & S. Chestnut  
Olathe, Kansas 66061

date 10.21.2019  
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checked by DAE  
revisions

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**A3.2**  
drawing type preliminary  
project number 19053





1 East Courtyard Elevation  
scale: 3/32" = 1'-0"



2 West Courtyard Elevation  
scale: 3/32" = 1'-0"

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project number  
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1 South Courtyard Elevation  
scale: 3/32" = 1'-0"



2 North Courtyard Elevation  
scale: 3/32" = 1'-0"

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2 Southeast Corner Perspective  
NOT TO SCALE



1 Northwest Corner Perspective  
NOT TO SCALE



4 Northeast Corner Perspective  
NOT TO SCALE



3 Southwest Corner Perspective  
NOT TO SCALE



6 Southwest Corner Courtyard Perspective  
NOT TO SCALE



5 South Building Entry Perspective  
NOT TO SCALE

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