

Floodplain Note:

The entire property lies within Zone 'X', described as "areas determined to be outside the 0.2% annual chance floodplain" on the FEMA Flood Insurance Rate Map (FIRM) No. 20091C0078G, revised August 3rd, 2009.

Utility Legend

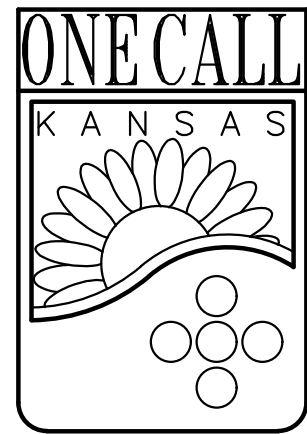
existing
proposed

Linetypes

sanm sanitary main
sans sanitary service
storm sewer (existing)
storm sewer (solid wall, proposed)
storm sewer (solid wall, proposed)
storm sewer (perforated, proposed)
water main
wtrm water service (fire)
wtrd water service (domestic)
wtri water service (irrigation)
gasm natural gas main
gass natural gas service schematic
elpu underground primary electric
elsu underground secondary electric
elpo overhead electric
datu underground cable/phone/data
datsu underground cable/phone/data service
fence-chainlink
fence-wood
fence-barbed wire
treeline

Symbols

sanitary manhole
service cleanout
force main release valve
rectangular structure
circular structure
fire hydrant
water valve
water meter
backflow preventer
natural gas meter
service transformer (pad mount)
primary switch gear
light pole
cable/phone/data junction box
street light
pedestrian street light
electric pole
guy wire
end section



Know what's below.
Call before you dig.

Legal Description:

(per Olsson "FINAL PLAT OF CHESTNUT NORTH")

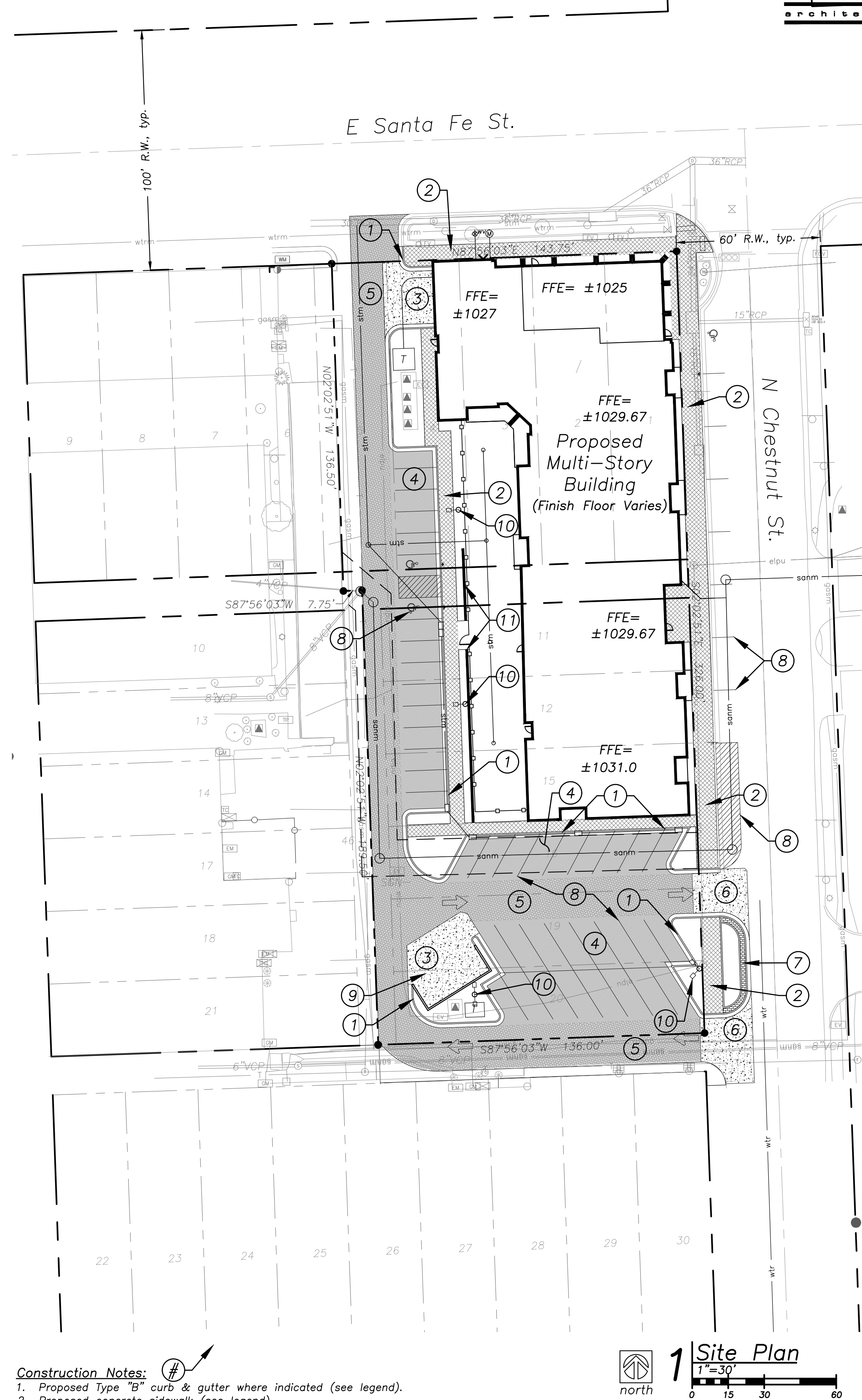
All of Lots 1, 2, 3, 4, 11, 12, 15, 16, 19 and 20 and the East 22.75 feet of Lot 5, Block 46, CITY OF OLATHE, a subdivision of land and the vacated alleyway by Ordinance No. 316 recorded December 20, 1974 as Document No. 1004958 in Book 1008 at Page 970 all in the Northeast Quarter of Section 35, Township 13 South, Range 23 East of the 6th Principal Meridian in the City of Olathe, Johnson County, Kansas: Beginning at the Northeast corner of said Lot 1, said corner also being the intersection of the South right-of-way line of E Sante Fe Street, as now established and the West right-of-way line of Chestnut Street, as now established; thence South 02°02'51" East, along said West right-of-way line, 326.00 feet to the Southeast corner of said Lot 20; thence South 87°56'03" West, along the South line of said Lot 20 and it's Westerly prolongation, 136.00 feet to the centerline of a North-South vacated alleyway; thence North 02°02'51" West, along said centerline 189.50 feet to the centerline of an East-West vacated alleyway; thence South 87°56'03" West, along said centerline, 7.75 feet; thence North 02°02'51" West, along the West line of the East 22.75 feet of said Lot 5, 136.50 feet to a point on the South right-of-way line of said E Sante Fe Street; thence North 87°56'03" East, along said South right-of-way line, 143.75 feet to the Point of Beginning. Containing 45,394 square feet or 1.04 acres, more or less.

Property Legend

right of way
property lines
lot lines
easements

Construction Legend

concrete pavement
standard asphalt
heavy duty asphalt
concrete sidewalk
Type "B" curb & gutter



Construction Notes:

- Proposed Type "B" curb & gutter where indicated (see legend).
- Proposed concrete sidewalk (see legend).
- Proposed concrete pavement, section per geotechnical report (see legend).
- Proposed standard duty asphalt pavement, section per geotechnical report (see legend).
- Proposed heavy duty asphalt pavement, section per geotechnical report (see legend).
- Proposed concrete commercial entrance per City of Olathe standards.
- Proposed decorative brick paver pattern to match downtown area theme.
- Proposed striping: parking, hatching, universal ADA symbol, re: A1.1, typ.
- Proposed trash enclosure, re: Arch plans.
- Proposed site lighting, re: Arch plans, typ.
- Proposed retaining wall at courtyard.

A new development for

Chestnut - North

E. Santa Fe & N Chestnut
Olathe, Kansas 66061

date 08.23.2019
drawn by LDM
checked by DAE
revisions
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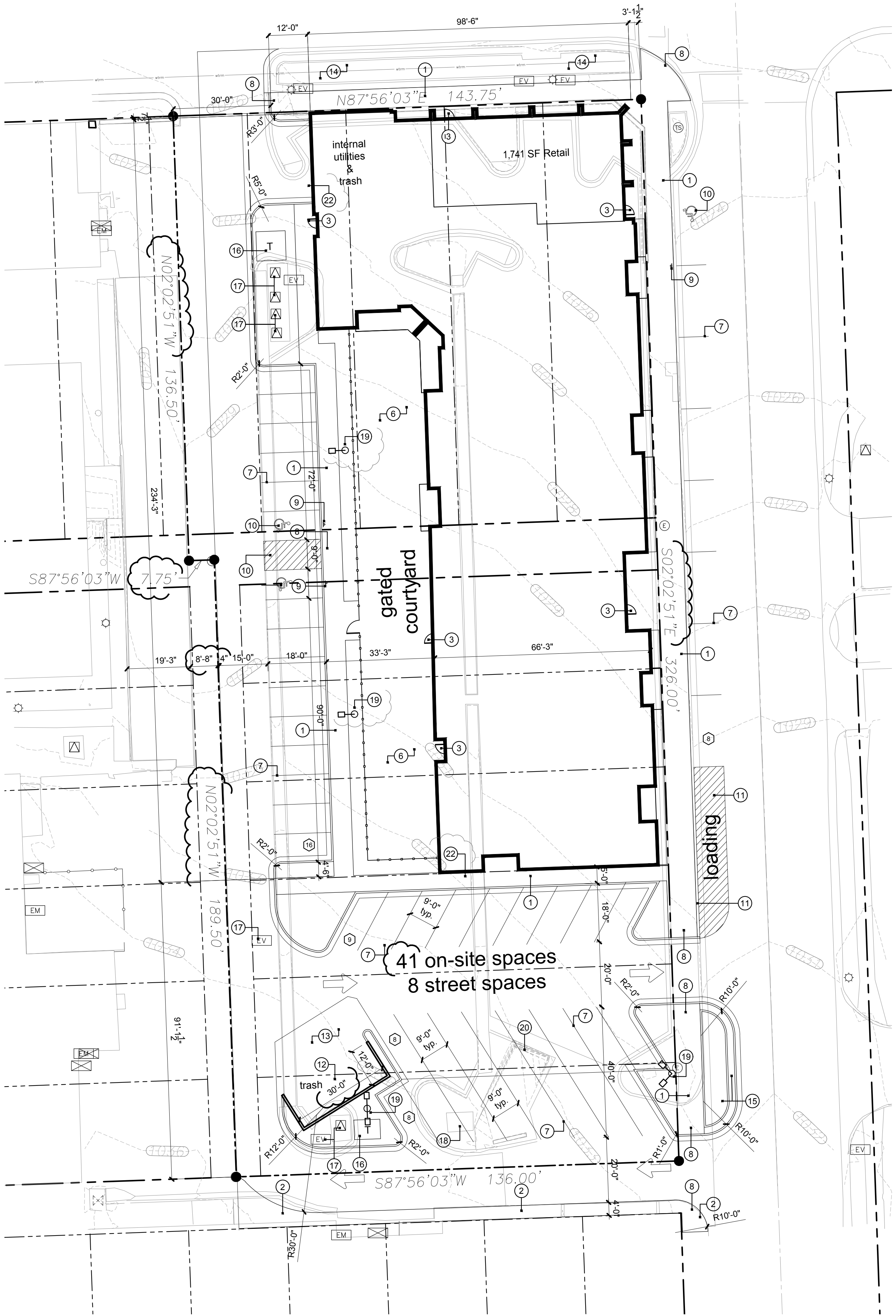
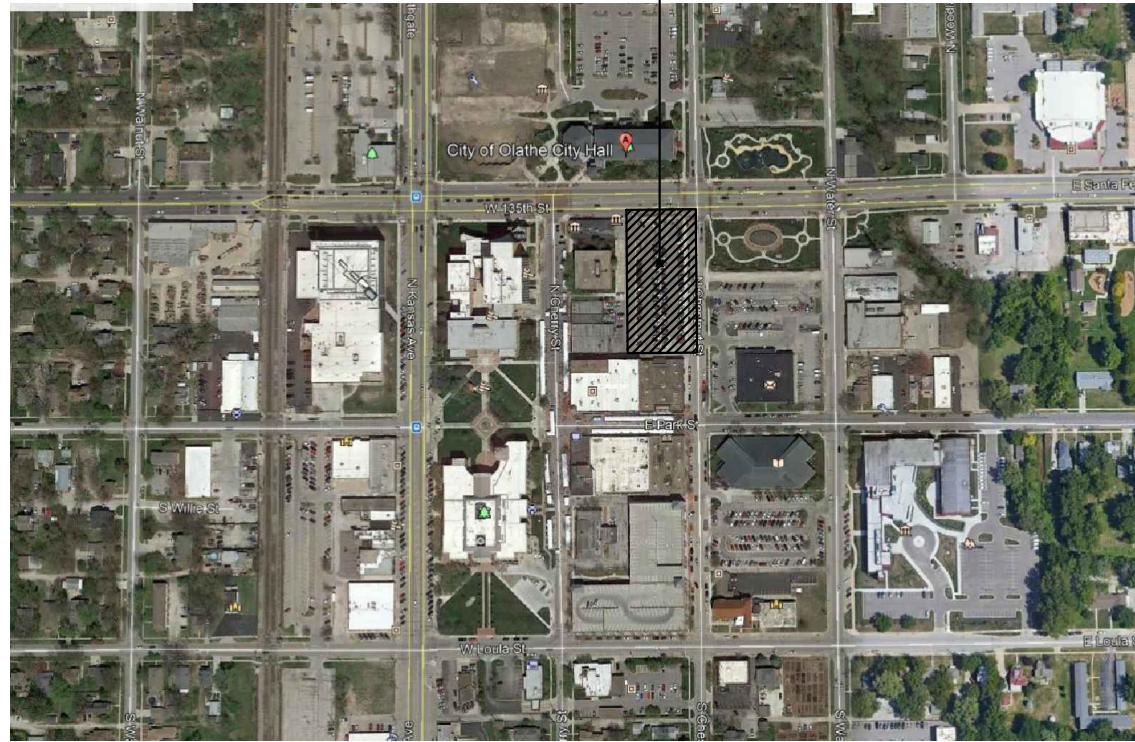
general notes:

- All construction shall conform to the standards and specifications of the city of Olathe, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface & subsurface ground conditions prior to start of construction
- Slopes shall maintain a maximum 3:1 slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping or building elements and shall be prefinished or painted to match the primary adjacent wall color.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.

construction notes: ##

- Furnish and install concrete sidewalk - 4" minimum thickness with 6x6 10/10 WWF steel mesh. Control joints at 5'-0" o.c. Broom finish for non-slip surface.
- Furnish and install new zero-entry concrete sidewalk along existing building. Coordinate installation with existing building owner and tenants to maintain access. Coordinate transition to existing alley paving per Civil Engineer and field conditions.
- Furnish and install concrete stoop to frost depth at all exterior door locations, per Structural Engineer.
- Not used.
- Not used.
- Courtyard landscaping and paver design per Landscape Architect and Hardscape plans to be determined at permit phase.
- Furnish and install parking lot striping to be painted white with 4" stroke.
- Furnish and install ADA ramp and sidewalk per Civil Engineer.
- Furnish and install ADA parking signage per detail, typ. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "VAN ACCESSIBLE" as required per ADA and within 5' of stall.
- Furnish and install ADA striping and universal symbol painted white with 4" stroke.
- Furnish and install new striping and signage at proposed loading zone.
- Furnish & install masonry trash enclosure to match building materials and per details.
- Furnish & install concrete apron at trash enclosure per Civil Engineer.
- Existing planter and landscaping to remain. Provide construction protection as required.
- Furnish and install new raised concrete curb planter bed with 2'-0" perimeter paver surround per City of Olathe standard with pattern and color to match existing.
- Furnish and install concrete transformer pad at new transformer location per Civil Engineer.
- Existing transformer, pad, and or vault to remain. Provide construction protection as required.
- Relocate existing transformer and pad per civil Engineer and utility.
- Furnish and install new LED parking lot lighting fixtures on non-adjustable head with cut-off lens on prefinished pole and concrete base per MEP Engineer.
- Relocate existing city trash enclosure.
- Not used.
- Furnish and install building mounted LED parking lot lighting fixtures on non-adjustable head with cut-off lens per MEP Engineer.
- Furnish and install prefinished bench as part of site furniture package, to meet City of Olathe specifications.
- Furnish and install prefinished bicycle rack as part of site furniture package, to meet City of Olathe specifications.
- Not used.
- Not used.

project location



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Plant Schedule:

key	qty.	botanical name	common name	size	spacing
deciduous trees					
gb	2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal.	per plan
pm	2	Acer Griseum	Paperbark Maple	2" cal.	per plan
co	5	Quercus x warei 'Long'	Regal Prince Columnar Oak	2" cal.	per plan
ff	12	Carpinus Betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2" cal.	per plan
evergreen trees					
tj	0	Juniperus Virginiana 'Taylor'	Taylor Juniper	5' ht.	per plan
sj	5	Juniperus Chinenalis 'Spartan'	Spartan Juniper	5' ht.	per plan
shrubs and grasses					
fl	7	Rhamnus Frangula	Fine Line Buckthorn	b&b	per plan
hf	46	Pennisetum Alopecuroides 'Hameln'	Hameln Fountain Grass	3 gal.	per plan
sg	25	Panicum Virgatum 'Northwind'	Northwind Switch Grass	3 gal.	per plan
ty	17	Taxus x Media 'Tauntonii'	Tauntoni's Yew	3 gal.	per plan

*NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1; AMERICAN STANDARD FOR NURSERY STOCK

LANDSCAPE NOTES:

1. LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.

2. LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.

3. LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES, UNLESS OTHERWISE NOTED ON THE PLANS, EXCEPT WHERE ACCESS BEYOND IS REQUIRED FOR CONSTRUCTION RELATED TO UTILITY INSTALLATION AND EQUIPMENT ACCESS TO THE SITE.

4. REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.

5. THE CONTRACTOR SHALL ARRANGE AND CONDUCT A PRE-CONSTRUCTION MEETING ONSITE WITH LANDSCAPE ARCHITECT PRIOR TO ALL WORK.

6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.

7. THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.

8. THE CONTRACTOR SHALL PLACE SHREDDDED HARDWOOD BARK MULCH AROUND ALL TREES TO A DEPTH OF 3", AND IN ALL PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.

9. TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY THE LANDSCAPE ARCHITECT.

10. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI-Z60-2004, OR MOST RECENT EDITION.

11. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.

12. THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF OLATHE KANSAS AND THE LANDSCAPE ARCHITECT.

13. PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (APRIL 15-JUNE 15) OR FALL (SEPTEMBER 1-NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.

14. STEEL EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED AREAS.

15. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACE.

16. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.

17. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED, ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.

18. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

19. ALL DISTURBED AREAS, INCLUDING RIGHTS OF WAY, NOT OTHERWISE COVERED BY BUILDING, PAVEMENT AND LANDSCAPE BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE AND IRRIGATED UNLESS OTHERWISE INDICATED BY THE OWNER.

20. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT AND UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW PER CITY OF OLATHE UDO.

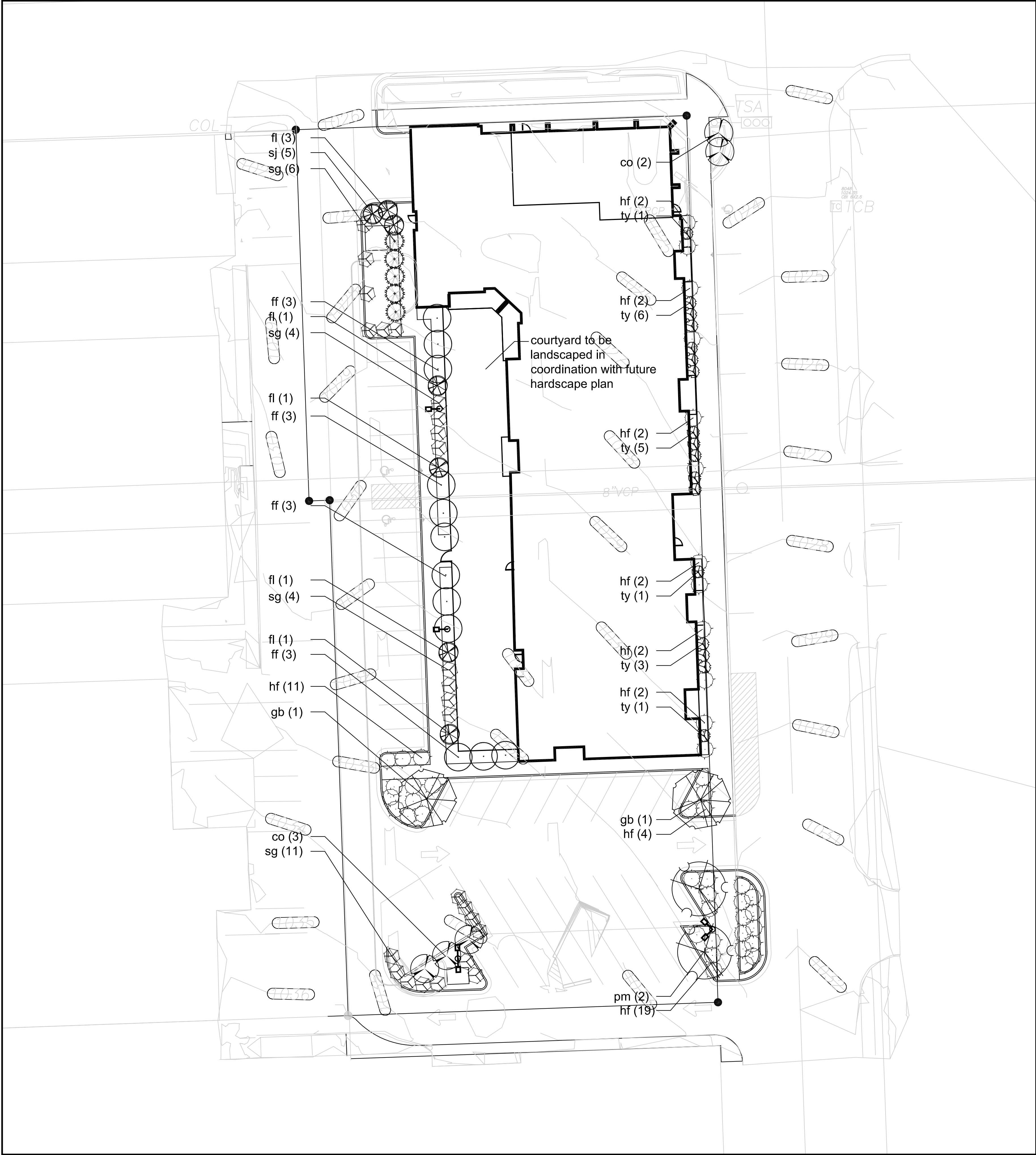
21. PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".

22. APPLY A COMMERCIAL ROOT STIMULATOR (APPROVED BY LANDSCAPE ARCHITECT PRIOR TO USE) TO ALL SHRUBS AND GROUND COVERS AT RATES RECOMMENDED BY MANUFACTURER DURING FIRST PLANT WATERING FOLLOWING INSTALLATION.

23. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS.

35. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.

36. LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS, WITH NO SHRUBS OR TREES WITH IN A 3' RADIUS OF THE FIRE DEPARTMENT CONNECTION OR FIRE HYDRANT.

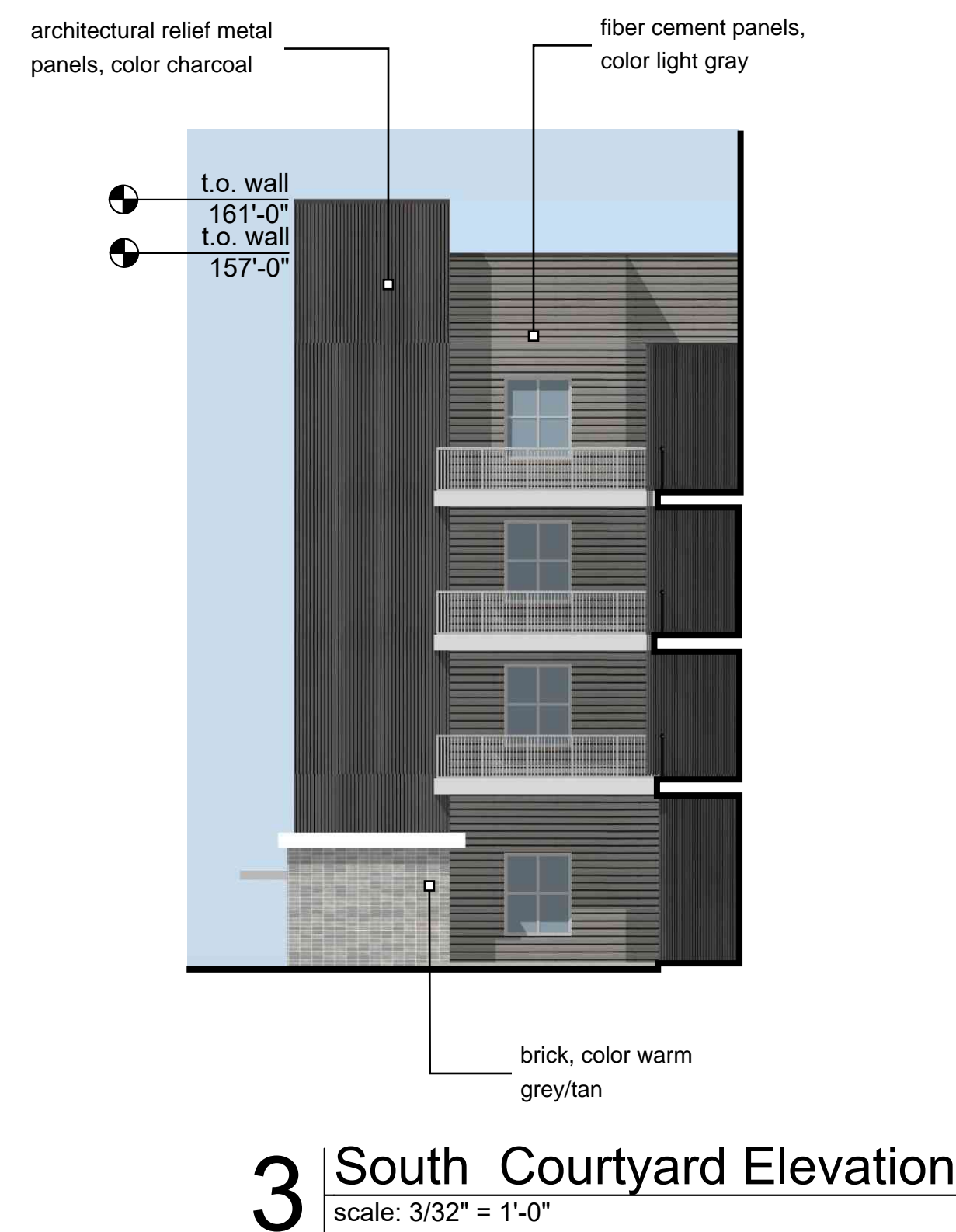




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Chestnut - North
E. Santa Fe & N. Chestnut
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2 | Southeast Corner Perspective
NOT TO SCALE



1 | Northeast Corner Perspective
NOT TO SCALE



4 | Northwest Corner Perspective
NOT TO SCALE



3 | Southwest Corner Perspective
NOT TO SCALE

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