

\\PHILIPS-SERVER\Projects\200353\Drawings\Development\Plan\Site.dwg Layout1 May 14, 2020 9:58pm Daniel Finn

LEGAL DESCRIPTION:

LOT 2, M.G.A. ESTATES, A SUBDIVISION IN JOHNSON COUNTY, KANSAS, EXCEPT THE WEST 10 FEET IN ROAD, AND EXCEPT

PART OF LOT 2, M.G.A. ESTATES, AND PART OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 23 EAST IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 01° 56' 33" EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 500.587 METERS (1,662.06 FEET); THENCE NORTH 87° 50' 18" EAST, A DISTANCE OF 18.289 METERS (60.00 FEET) TO THE POINT OF INTERSECTION OF THE SOUTH LINE OF SAID LOT 2 WITH THE EAST RIGHT-OF-WAY LINE OF LONE ELM ROAD, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE NORTH 01° 56' 47" WEST, ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 102.391 METERS (335.93 FEET) TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE NORTH 87° 57' 52" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 3.038 METERS (9.97 FEET); THENCE SOUTH 00° 14' 49" EAST, A DISTANCE OF 102.441 METERS (336.09 FEET) TO THE TRUE POINT OF BEGINNING.

NET AREA = 420,888± SQ.FT. / 9.662± ACRES

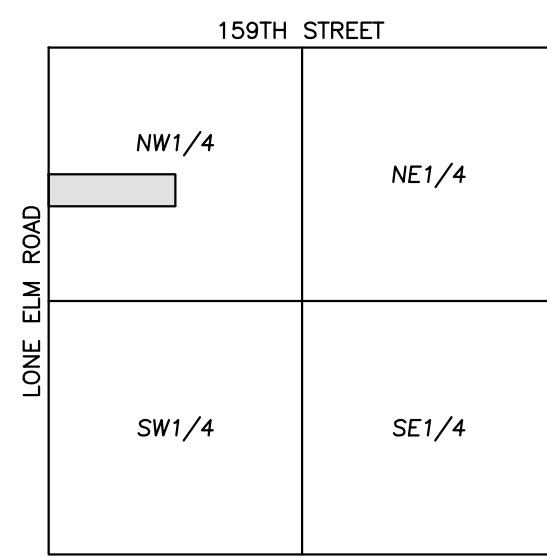
FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, COMMUNITY NO. 200173, MAP NO. 2009100106, DATED AUGUST 3, 2009.



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



VICINITY MAP
SEC. 14-14-23

SITE DATA

LOT 2	420,888 S.F. / 9.662 AC.
ZONING EXISTING PROPOSED	 RUR M2
BUILDING AREA EXISTING BUILDING PROPOSED BUILDING TOTAL BUILDING	 4,000 S.F. 14,000 S.F. 18,000 S.F.
PROPOSED OPEN SPACE	8.1 AC. (84%)

PARKING DATA

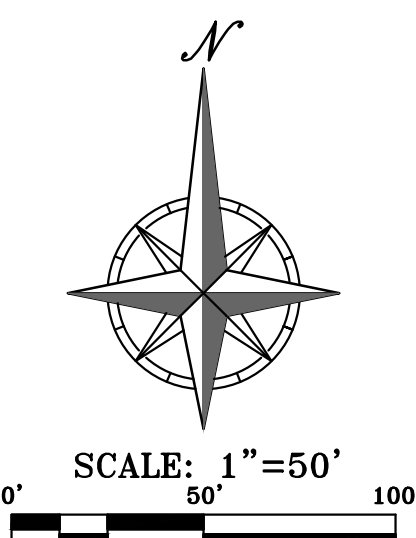
REQUIRED PARKING 1 SPACE PER 1,500 S.F. (ANIMAL CARE SERVICES)	12
PROPOSED PARKING STANDARD STALLS (9'-0" X 18'-0") ACCESSIBLE STALLS TOTAL STALLS	39 6 45
REQUIRED ACCESSIBLE STALLS REQUIRED ACCESSIBLE STALLS (51-75)	3

LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— 2' CURB & GUTTER —	
— 6" CURB —	
— B/L —	BUILDING SETBACK LINE
— P/S —	PARKING SETBACK LINE
— L/S —	LANDSCAPE SETBACK LINE
[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Pattern]	PROPOSED BUILDING
[Pattern]	CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	CHAIN LINK FENCE
[Pattern]	PARKING SPACES

PLANNING NOTES:

- TRASH ENCLOSURE TO BE CONSTRUCTED PER OLATHE UDO SECTION 18.30.130.1:
 - THREE (3) SIDES WITH A SIX (6) TO EIGHT (8) FOOT SOLID WALL CONSTRUCTED OF MASONRY OF A COLOR AND FORM THAT IS CONSISTENT AND COMPATIBLE WITH THE PRINCIPAL BUILDING ARCHITECTURE OF THE SITE; AND
 - ONE (1) SIDE WITH A METAL GATE.
- ALL ON-SITE WIRING AND CABLES MUST BE PLACED UNDERGROUND.
- EXTERIOR GROUND MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES METER BANKS, AND COOLERS MUST BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.



SITE PLAN

K-9 ACRES

16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	200353	DATE	5/14/20	BY	App.
CHECKED	DAF	APPROVED	JDC	SMH	DAF
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING - LS-82					
ENGINEERING - E-361					
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING-20070128					
ENGINEERING-20070028					

SHEET

C1

PHILIPS ENGINEERING, INC.
1370 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.philipsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



\\PHILIPS-SERVER\Projects\200353\Drawings\Development Plans\GRADING.dwg Layout1 May 14, 2020 9:48pm Daniel Finn



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

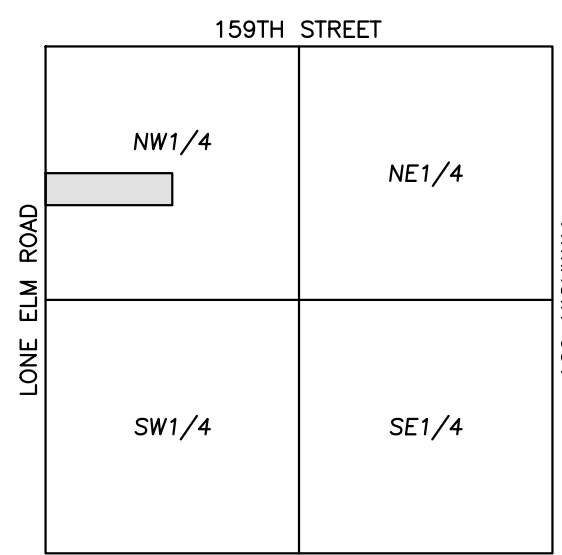
FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS, COMMUNITY NO. 200173, MAP NO. 20091C01086, DATED AUGUST 3, 2009.

BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON THE AS-BUILT SANITARY SEWER LINE THROUGH PROPERTY.

1. SET "1" CUT ON SOUTH END OF ISLAND IN CENTER OF LONE ELM ROAD ADJACENT TO PROPERTY.
ELEVATION = 1042.52



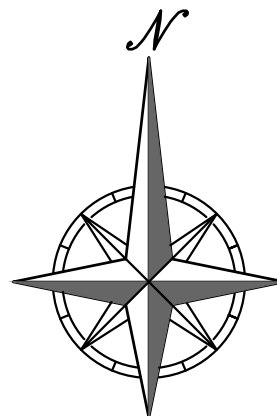
VICINITY MAP
SEC. 14-14-23



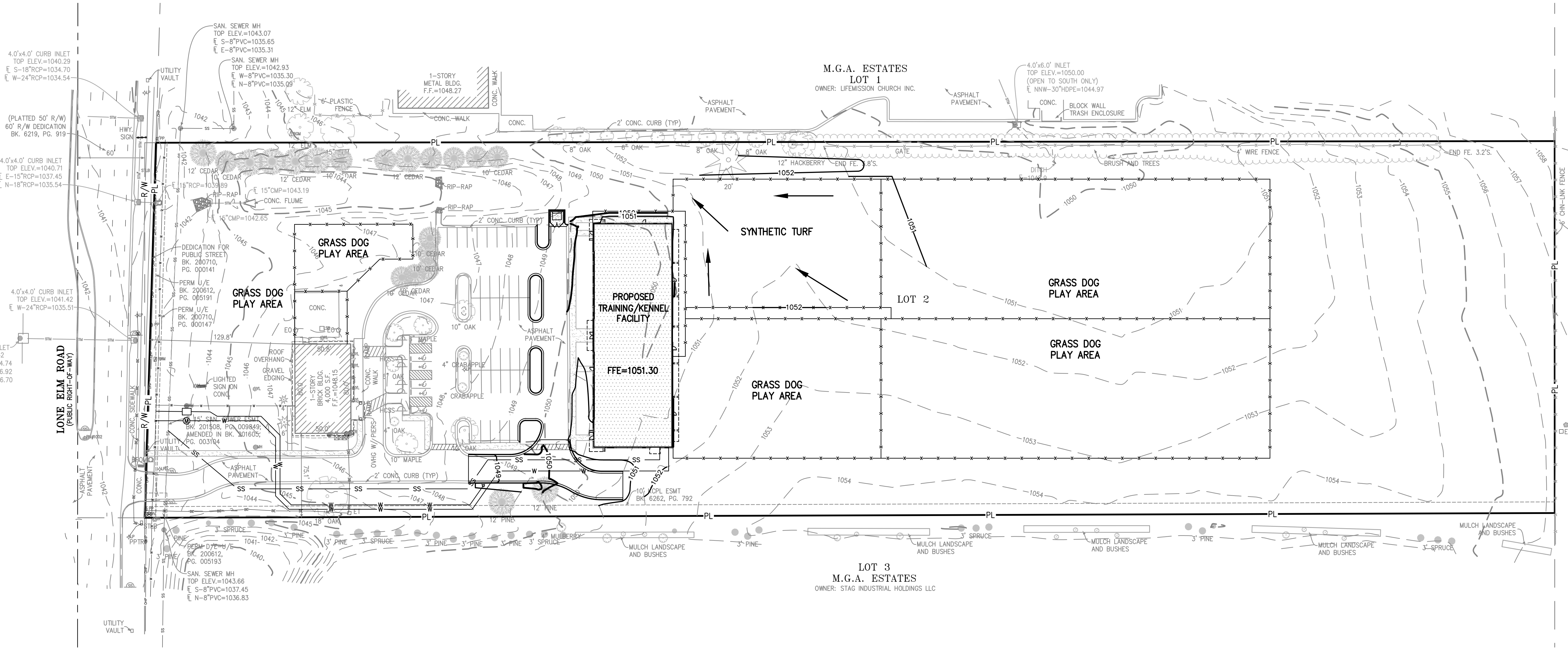
SCALE: 1"=2000'

LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
=====	2' CURB & GUTTER
--- 920 ---	EXISTING CONTOURS
--- 918 ---	PROPOSED CONTOURS
--- 918 ---	PROPOSED SPOT ELEVATION
1088.00 SW	LG LIP OF GUTTER
	TC TOP OF CURB
	SW SIDEWALK
	ME MATCH EXISTING
	HP HIGH POINT
	LP LOW POINT
	P TOP OF PAVEMENT
	TE TOP OF STRUCTURE
	GR GROUND ELEVATION
	BS BOTTOM OF STEPS
	TS TOP OF STEPS
	BW BOTTOM OF WALL
	TW TOP OF WALL
=====	EXISTING STORM SEWER
=====	PROPOSED STORM PIPE
=====	PROPOSED WET CURB & GUTTER
=====	PROPOSED DRY CURB & GUTTER
=====	PROPOSED RETAINING WALL



SCALE: 1"=50'
0' 50' 100'

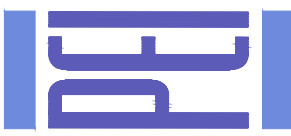


TRACT A
ACTIVITY CENTER COMPLEX
OWNER: UNITED SCHOOL DISTRICT #233



PHILIPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax: (913) 393-1165
www.philipsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



GRADING PLAN

K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	BY	APP.	REVISIONS
200353	4-16-20	BRANN: SNH	1.	5/14/20
		CHECKED: DAF		
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING - LS-82		
		ENGINEERING - E-361		
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING - 200701028		
		LAND SURVEYING - 200700208		

SHEET

C2

\\PHILIPS-SERVER\Projects\1\000553\dwg\Utility\Development Plans\UTILITY.dwg Layout:1 May 14, 2020 - 9:48pm Daniel Finn

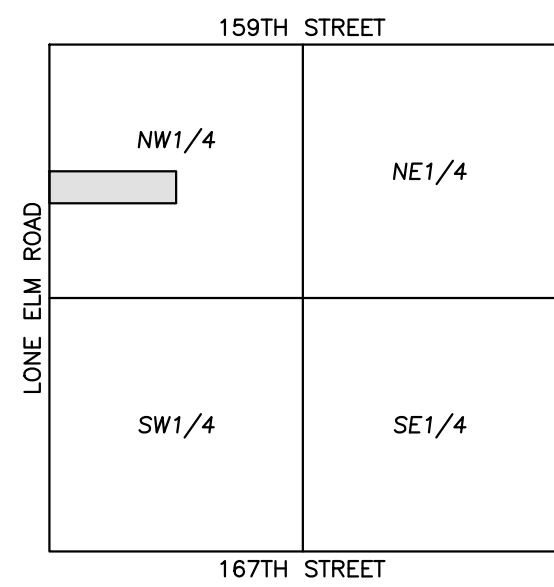


Know what's below.
Call before you dig.

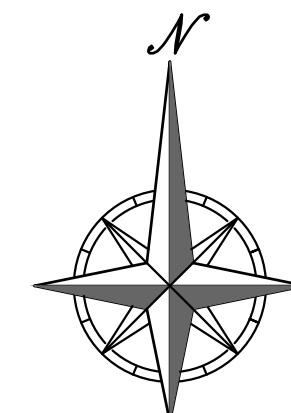
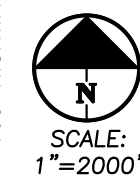
UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

LEGEND

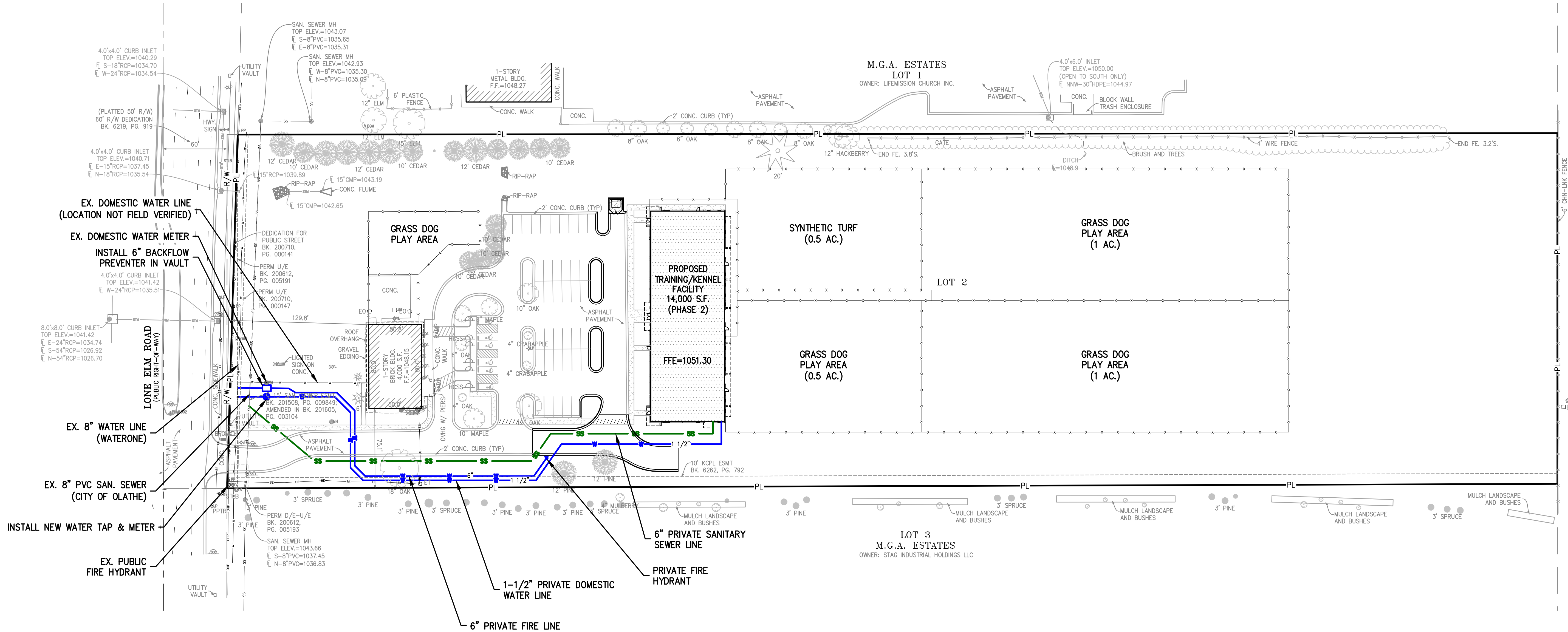
— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— CATV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC LINE
— OHP —	EXISTING OVERHEAD POWER LINE
— OHT —	EXISTING OVERHEAD TELEPHONE LINE
— SS —	EXISTING SANITARY SEWER LINE
— 24"HDPE —	EXISTING STORM SEWER LINE (& SIZE)
— BT —	EXISTING BURIED TELEPHONE LINE
— W-6" —	EXISTING WATER LINE (& SIZE)
— CATV —	PROPOSED CABLE TELEVISION LINE
— FO —	PROPOSED FIBER OPTIC LINE
— G —	PROPOSED GAS LINE
— BE —	PROPOSED BURIED ELECTRIC LINE
— SS —	PROPOSED SANITARY SEWER LINE
— OHP —	PROPOSED OVERHEAD POWER LINE
— STM-6" —	PROPOSED STORM SEWER LINE (& SIZE)
— BT —	PROPOSED BURIED TELEPHONE LINE
— W-6" —	PROPOSED WATER LINE (& SIZE)
— ST-6" —	PROPOSED ROOF DRAIN (& SIZE)



VICINITY MAP
SEC. 14-14-23



SCALE: 1"=50'
0' 50' 100'



TRACT A
ACTIVITY CENTER COMPLEX
OWNER: UNITED SCHOOL DISTRICT #233



PHILIPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1165
www.philipsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



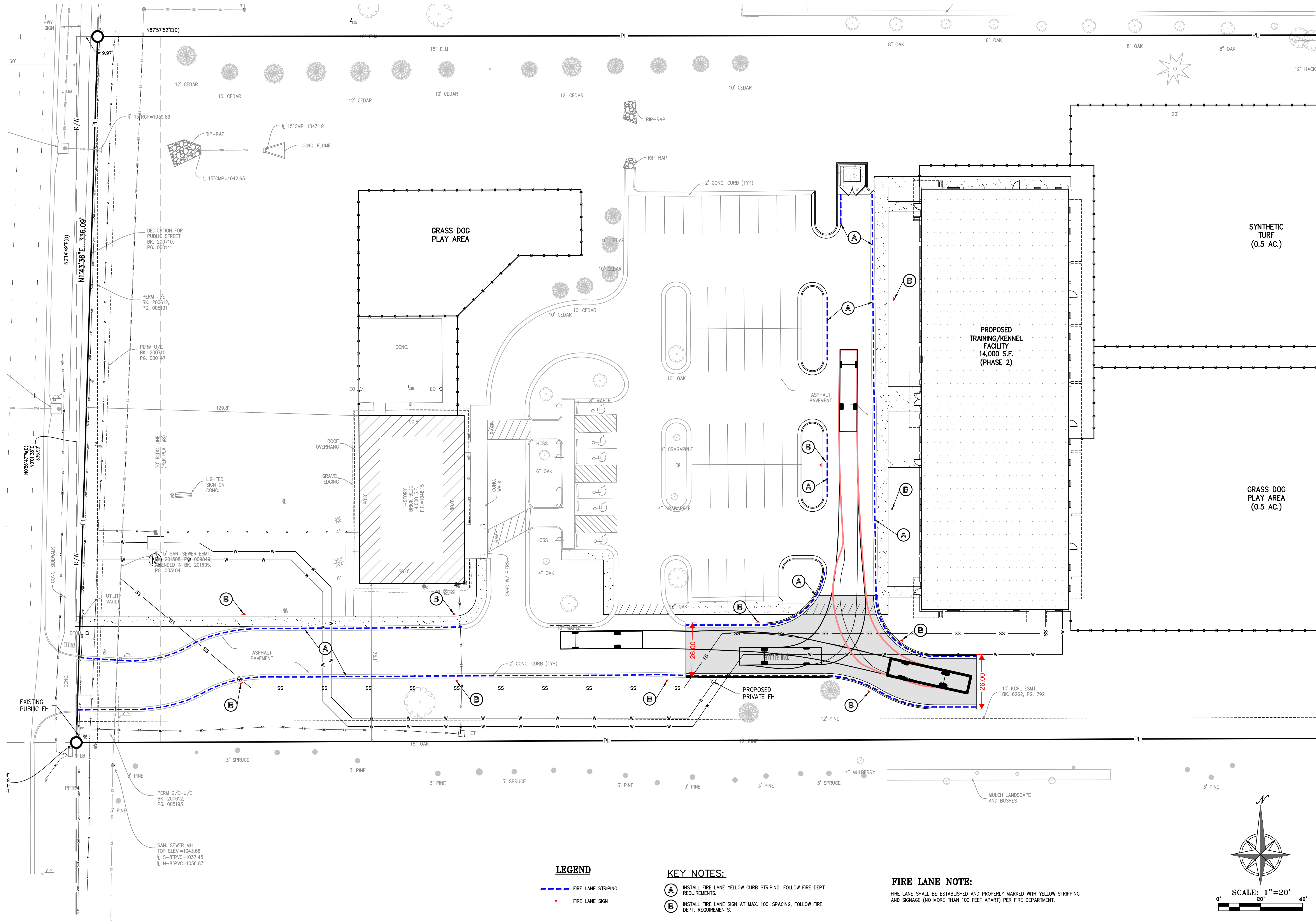
UTILITY PLAN
K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	CHECKED	DATE	NO.	DATE	REVISIONS
200353	4-16-20	DAF	5/14/20	1		
DATE: 4-16-20 DRAWN: SNH CHECKED: DAF APPROVED: JDC						
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING - LS-82						
ENGINEERING - E-361						
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING-20070128						
ENGINEERING-20070528						

SHEET

C3

\\PHILIPS-SERVER\Projects\200353\Drawings\Development Plans\Fire Protection Plan.dwg Layout:1 May 14, 2020 9:53am Daniel Finn



LEGEND

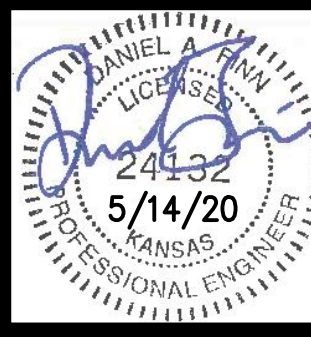
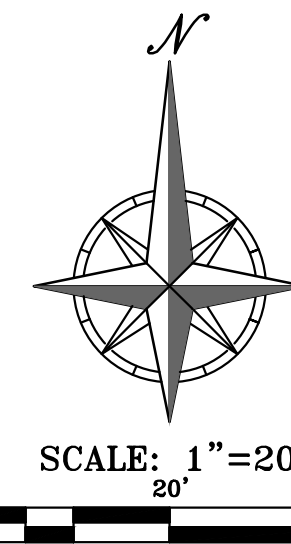
- FIRE LANE STRIPING
- ▲ FIRE LANE SIGN

KEY NOTES:

- (A) INSTALL FIRE LANE YELLOW CURB STRIPING, FOLLOW FIRE DEPT. REQUIREMENTS.
- (B) INSTALL FIRE LANE SIGN AT MAX. 100' SPACING, FOLLOW FIRE DEPT. REQUIREMENTS.

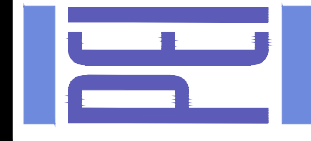
FIRE LANE NOTE:

FIRE LANE SHALL BE ESTABLISHED AND PROPERLY MARKED WITH YELLOW STRIPING AND SIGNAGE (NO MORE THAN 100 FEET APART) PER FIRE DEPARTMENT.



PHILIPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.philipsengineering.com

**PLANNING
ENGINEERING
IMPLEMENTATION**



FIRE PROTECTION PLAN

K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	200353	By	App.
DATE: 4-16-20	DRAWN: SNH	SNH	DAF
CHECKED: DAF	APPROVED: JDC		
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING - LS-82			
ENGINEERING - E-361			
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING-20070128			
ENGINEERING-20070529			

SHEET

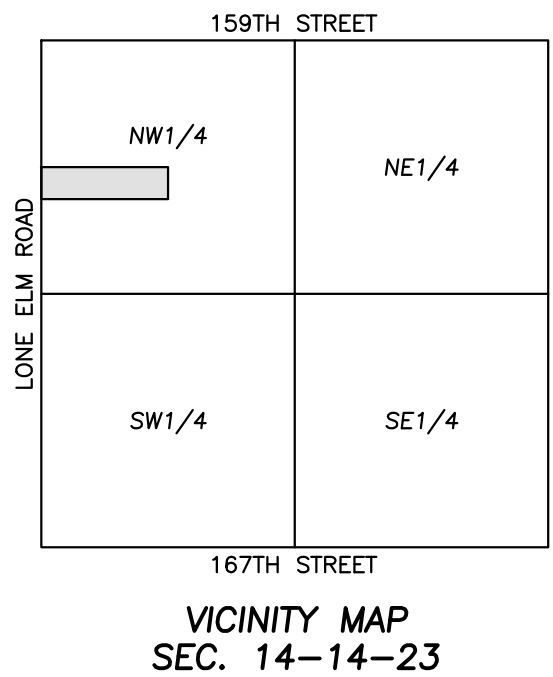
C3.1

\\PHELPS-SERVER\Projects\1\000553\Stormwater\Exhibits\Exhibits & Proposed Conditions A1-A2.dwg Layout/Proposed Conditions A2 May 14, 2020 - 8:47pm Daniel Elm



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

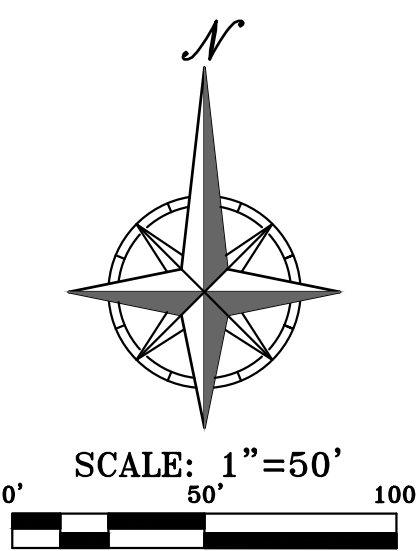


SCALE: 1"=2000'

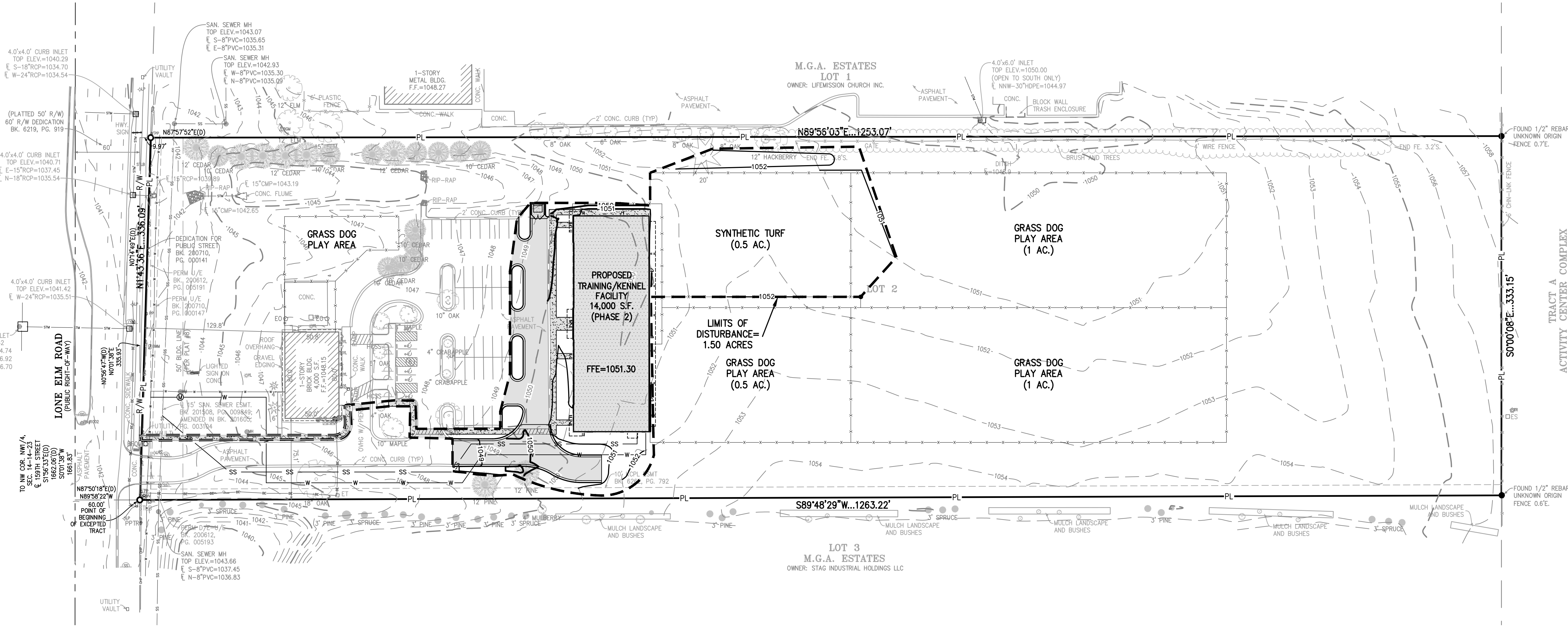
- LEGEND**
- PL — PROPERTY LINE
 - LOT LINE
 - R/W- RIGHT-OF-WAY
 - IMPERVIOUS
 - OPEN SPACE
 - LIMITS OF DISTURBANCE

PROPOSED IMPERVIOUS AREA = 0.63 ACRES

TOTAL LOT = 420,888 S.F. (9.66 ACRES)
IMPERVIOUS = 87,281 S.F. (2.00 ACRES)
OPEN SPACE = 333,607 S.F. (7.66 ACRES)



SCALE: 1"=50'
0' 50' 100'



PROPOSED CONDITIONS MAP

K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	NO.	DATE	BY	APP.
200353	05-14-20	1	05-14-20	SNH	DAF
DATE: 4-14-2020	CHECKED: DAF	APPROVED: JDC	REVISED: per Planning Comments		
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING - LS-82					
ENGINEERING - E-361					
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING - LS-82					
ENGINEERING - E-361					

SHEET
A2



PHelps ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1166
www.phelpsengineering.com





159TH STREET

NW1/4

NE1/4

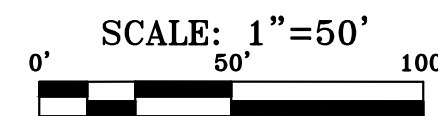
LONE ELM ROAD

SW1/4

SE1/4

167TH STREET

VICINITY MAP
SEC. 14-14-23



- WORKSHEET 1A: REQUIRED LEVEL OF SERVICE - DEVELOPED SITE

Date: 4/16/2020
Date: 4/16/2020

1. Required Treatment Area

A. Total Area Disturbed by Redevelopment Activity

Disturbed Area Description	Acres
Proposed building expansion and parking lots	1.50
"1A" Total:	1.50

B. Existing Impervious Area Inside Disturbed Area

Existing Impervious Area Description	Acres
Existing parking lot	0.19
"1B" Total:	0.19

C. Required Treatment Area

"1A" Total Less "1B" Total	"1C"	1.31
----------------------------	------	------

2. Percent Impervious in Postdevelopment Condition and Level of Service (LS)

A. Total Postdevelopment Impervious Area Inside Disturbed Area

Postdevelopment Imperious Area Description	Acres
Building/Paving Areas	0.63
"2A" Total:	0.63

B. Existing Impervious Area Inside Disturbed Area

"1B" Total: 0.19

C. Net Increase in Impervious Area

"2A" Total Less "1B" Total	"2C"	0.44
----------------------------	------	------

D. Percent Impervious

Net Increase in Impervious Area / Required Treatment Area
"2C"/"1C"x100 34 %(Round to Integer)

E. Level of Service

Use Percent Impervious to Enter Table XX

LS= 5.2

3. Minimum Required Total Value Rating of BMP Package

Total Value Rating = LS x Required Treatment Area VR= 6.81

WORKSHEET 2: DEVELOP MITIGATION PACKAGE(S) THAT MEETS REQUIRED LOS

Project: Canine Acres
Location: Olathe, Ks
Sheet: 1 of 1

By: KAD
Checked: DAF

Date: 4/16/2020
Date: 4/16/2020

1. Required LOS (from Table 1 or 1A or Worksheet 1 or 1A, as appropriate)
Required Total VR (from Table 1 or 1A or Worksheet 1 or 1A, as appropriate)

5.2
6.81

2. Proposed BMP Option Package No.

1

ID	BMP / Cover Description	Treatment Area, ac.	VR	Product of VR x Area
1	Extended Dry Detention	2.87	4	11.48
Total:		2.87	Total:	11.48

2) Meets required LOS (Yes/No)?

Yes (If No, or if additional options are being tested
move to next sheet.)



PROPOSED CONDITIONS MAP

K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

[illegible]