



Planning Division

STAFF REPORT

Planning Commission Meeting: June 8, 2020

Application:	<u>SU20-0001</u>: Preliminary Development Plan and Special Use Permit for <i>Animal Care – Indoor or Outdoor Kennel</i>, K-9 Acres		
Location:	16129 Lone Elm Road		
Owner:	Jerry Bain, Lone Elm Ventures, LLC		
Applicant:	Brandon Sutherland, Emerald Properties, LLC		
Engineer:	Judd Claussen, P.E., Phelps Engineering		
Staff Contact:	Jessica Schuller, AICP, Senior Planner		

Site Area:	<u>9.7± acres</u>	Existing Building Area:	<u>4,000 sq.ft.</u>
Current Zoning:	<u>CTY RUR (County Rural)</u>	Proposed Total Building Area:	<u>18,000 sq.ft.</u>
Proposed Zoning:	<u>M-2 (General Industrial)</u>	Plat:	<u>M.G.A. Estates</u>

1. Comments:

The applicant is requesting a special use permit for K-9 Acres, a dog training and boarding facility with an associated veterinary clinic. The Unified Development Ordinance (UDO) requires a special use permit for this use category which is classified as an *Animal Care – Indoor or Outdoor Kennel*, in the M-2 (General Industrial) District.

The proposed facility includes multiple outdoor grass play areas, turf play areas, an indoor training and kennel facility, and an associated veterinary clinic. The project will be phased, with the remodel of an existing building taking place in Phase 1, and the construction of a new building and fenced areas east of the new building taking place in Phase 2. A related application is on this agenda for a rezoning and revised preliminary site development plan (RZ20-0004). Zoning to the M-2 district is required for consideration of this special use permit. If case RZ20-0004 is not approved, this special use permit cannot be recommended for approval.

2. History:

The subject property was the previous location of Southwest Community Church, which was constructed in 1999. The 4,000 square foot church building is proposed to remain on the property, to be used for veterinary services, in addition to a proposed 14,000 square foot training/kennel facility. The property is currently zoned CTY RUR (County Rural); a

SU20-0001
June 8, 2020
Page 2

related application to rezone the property to M-2 (General Industrial) is on this agenda (RZ20-0004).

The subject property was platted in 1996 as part of the M.G.A. Estates and was annexed in May 2020 (ANX20-0001).



Site Aerial – Outlined in Blue



Site Photo – Looking east from Lone Elm Road

3. Property Owner Notice:

The applicant held a neighborhood meeting on May 18, 2020, which no neighbors attended. Notice of the neighborhood meeting was mailed to all property owners within 500 feet of the subject property in accordance with UDO requirements and staff has not received any correspondence regarding this proposed special use.

The applicant mailed the required public notification letters to surrounding properties within 200 feet and posted signs on the subject property over 20 days prior to the public hearing.

4. Zoning Requirements:

- a. **Land Use** – The proposed primary land use of *Animal Care – Indoor or Outdoor Kennel* for this development requires approval of a special use permit and is consistent with uses permitted within the M-2 District. *Animal Care – Indoor or Outdoor Kennel* is the primary use and is permitted with approval of a special use permit.
- b. **Building Height** – Building heights within the M-2 District are limited to 55' in height. The proposed building is 21' tall at its highest point, and the existing building is approximately 18' tall, meeting the requirements of the UDO.
- c. **Setbacks/Open Space** – Table 1, below, lists the required dimensional standards for the M-2 District and those proposed for the development.

Table 1: Setbacks	UDO Requirement (minimum)	Proposed Plan
<i>Front Yard</i>	30' from property line	129.8' from property line
<i>Side Yard</i>	10' from property line	60.8' from property line
<i>Rear Yard</i>	10' from the property line	789' from property line
<i>Parking/Paving</i>	30' from right-of-way/10' from property line	200' from right-of-way
<i>Open Space</i>	15% of site area	84% of site area

5. Development Requirements:

- a. **Access/Streets** – One existing driveway provides access to the southern end of the site from Lone Elm Road, which is not proposed to change. A 5' sidewalk is being constructed from Lone Elm Road to the southern side of the existing building.
- b. **Parking** – Per UDO requirements, parking is required at a minimum rate of one space per 1,500 square feet of building area, with no parking maximum. With 18,000 square feet of total building area, a minimum of 12 parking spaces are required. The

applicant proposes to reduce the number of parking spaces from the existing 69 to 45 spaces and will add additional landscape islands to endcap the parking rows.

- c. **Landscaping** – The applicant will provide additional landscaping exceeding the current requirements of the UDO with additional evergreen trees along the northern property line to further screen the proposed development from the adjacent site to the north. A Type 1 Buffer is provided on the eastern property line, and additional plantings are provided on the southern property line to supplement the existing landscaping in order to meet the Type 1 Buffer requirements. Foundation plantings are provided along facades facing the parking lot, and an existing row of trees provides screening of the parking lot from the Lone Elm Road right-of-way.

Preliminary plans identify locations and areas for proposed fencing. The details of the type of fencing and proposed screening will be finalized at the time of final development plan as the developer continues to collaborate with staff. The fences will be landscaped intermittently to break long expanses of fencing, as required by the UDO.

- d. **Public Utilities** – The property is in the Olathe sewer service and WaterOne service areas.
- e. **Stormwater/Detention** – Existing stormwater detention is located on the northwest corner of the property. The basin will be modified to meet current requirements for extended dry detention basins.

6. Site Design Standards:

The site is designated as Employment Center on the *PlanOlathe* Comprehensive Plan Future Land Use Map but is proposed to be rezoned to the M-2 District, therefore the proposed development is subject to **Site Design Category 6** (UDO 18.15.130). Table 2 below provides an analysis of the site design requirements.

Table 2. Composite Site Design (Category 6)	Design Requirements
<i>Parking Pod Size</i>	<p><i>The maximum number of parking stalls allowed in one parking pod is 320.</i></p> <p>The proposed plan has 45 parking spaces, meeting the requirements of the UDO.</p>
<i>Landscape Buffer Area</i>	<p><i>Buildings must be set back at least 50 feet from an adjoining arterial street or nonindustrial zoning district and landscaped with 70% permeable surfaces and 50% planted material.</i></p> <p>The property adjoins a nonindustrial zoning district to the north and east and an arterial street to the west. The building is setback approximately 73' from the northern property line, 790' from the east property line, and 130' feet from the arterial roadway; the site will be landscaped and sodded, meeting the requirements of the UDO.</p>

<i>Drainage Features</i>	<p><i>Open drainage and detention areas visible to the public shall be designed as an attractive amenity.</i></p> <p>The existing dry detention basin on site is maintained as landscaped open space or yard area, meeting the requirements of the UDO.</p>
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7. Building Design Standards:

The building is subject to building design standards for **Industrial Buildings** (UDO 18.15.020.G.10). Table 3, below, lists the requirements of the UDO, and the elements of the proposed design which meet these requirements.

Table 3: Building Design Standards	Design Requirements
	Proposed Design
<i>Building Entryway</i>	<p><i>The main common building entry must be defined with a covered projection from the façade or by a recessed area.</i></p> <p>Entries are located at the corners and in the center of building and are defined with projecting canopies, meeting the requirements of the UDO.</p>
<i>Garage Doors</i>	<p><i>Garage and overhead doors may only face a local or collector public street, unless completely screened from view.</i></p> <p>No proposed garage doors face a local or collector street, meeting the requirements of the UDO.</p>
<i>Vertical Articulation</i>	<p><i>Each primary façade must provide vertical articulation every 50 linear feet of the façade.</i></p> <p>The parapet heights of the primary facade change by 4' across the front façade, creating variation in height at the building entrances located in the center and at both ends of the building, and meeting the requirements of the UDO.</p>
<i>Horizontal Articulation</i>	<p><i>Each primary façade must provide horizontal articulation every 50 linear feet of the façade.</i></p> <p>Wall projections that are 4" deep and 24" wide are provided for the full height of the facade on both sides of the central building entrance, and on each end of the building near the corner entrances, meeting the requirements of the UDO.</p>
<i>Building Materials – Primary Facades</i>	<p><i>Each primary façade requires a minimum of 75% Class 1 & Class 2 materials and a minimum of 15% clear glass.</i></p> <p>The primary façade exceeds this minimum requirements. See Table 4, below, for building materials.</p>

<i>Building Materials – Secondary Facades</i>	<p><i>Each secondary façade requires a minimum of 40% Class 1, Class 2 and Class 3 materials.</i></p> <p>The secondary façade exceeds this minimum requirement. See Table 4, below, for building materials.</p>
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Proposed Building Materials

The proposed building will be constructed of architectural quality precast concrete panels with integral color in varying shades of gray, tan colored stone veneer, and gray colored genuine stucco. Glass is used on all facades, located around building entrances, and on the upper portions of the building. The standing seam metal roof is screened from the primary façade by the building parapet, which will also fully screen the rooftop mechanical units.

Table 4, below, lists the percentages of Class 1 and Class 2 materials used on each façade. A Class 3 material is used in the form of pre-cast concrete painted architectural panels, at 20% of the primary façade. A small percentage of metal trim (a Class 4 material) is also used throughout the building.

Table 4. Building Materials	Stone Veneer & Stucco (Class 1)	Clear Glass (Class 1)	Precast Concrete Panels (Class 1)	Metal Awning (Class 1)	Total (Class 1)
<i>Secondary Façade - North</i>	12%	3%	83%	0%	98%
<i>Secondary Façade - East</i>	0%	16%	52%	25%	93%
<i>Secondary Façade - South</i>	12%	3%	77%	3%	95%
<i>Primary Façade - West</i>	16%	17%	47%	0%	80%

The existing building on site is proposed to be repurposed as a veterinary clinic. The exterior of the building is proposed to remain as existing, with the exception of new paint colors to match the color scheme of the proposed building.

8. Employees/Operation:

K-9 Acres anticipates a maximum of 25 employees with a ratio of one employee per 15 dogs. The maximum dog capacity is 250 and there will be overnight staff to care for the dogs, and 24/7 emergency hours for the veterinarian office.

According to the applicant, normal hours of operation are daily, 6 a.m. – 8 p.m.

9. Time Limit:

According to UDO 18.40.100F.4, unless otherwise specified, Special Use Permits are approved for a five (5) year period. In this instance, the applicant's proposal meets all UDO requirements and there are no residential developments within 500 feet of the site. The applicant is requesting a 10 year Special Use Permit, which staff is supportive of.

10. Land Use Analysis:

The future land use map of the *Comprehensive Plan* identifies the subject property as "Employment Center." Staff is supportive of the proposed use, as *Animal Care – Indoor or Outdoor Kennel* is a higher intensity commercial/industrial use that relies on an increased amount of indoor and outdoor space. The potential for a higher level of noise creation is suitable for an employment center that is zoned for General Industrial uses. The following are criteria for considering special use applications as listed in *Unified Development Ordinance (UDO) Section 18.40.100.F*:

A. The conformance of the proposed use to the Comprehensive Plan and other adopted planning policies.

The Comprehensive Plan designates the subject property as part of an Employment Center which allows for a variety of uses, including light industrial uses, and complementary retail and service uses which should be carefully integrated with the surrounding employment area. The proposed use of *Animal Care – Indoor or Outdoor Kennel* is appropriate for the subject property as it is a commercial service-type use that is situated on a large lot and is well screened from adjacent uses.

B. The character of the neighborhood including but not limited to: land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space and floor-to-area ratio (commercial and industrial).

The surrounding area consists of commercial and industrial uses on large parcels. A large industrial building, the Frito Lay Warehouse, is located on the parcel south of the subject property and is a three-story tall concrete structure. LifeMission Church is located on the parcel north of the property and consists of multiple structures/assembly spaces and large parking areas. The Olathe District Activity Center, a sports and recreation facility consisting of football, soccer, baseball and softball fields, is located to the east of the subject property.

C. The zoning and uses of nearby properties and the extent to which the proposed use would be in harmony with such zoning and uses.

The proposed development is consistent with the zoning of nearby properties and surrounding uses. The surrounding land uses range from sporting uses to the east

(zoned AG – Agricultural), assembly uses to the north (zoned C-O – Office) and trucking/warehousing uses to the south (zoned M-2 – General Industrial). There are existing residences to the west, across Lone Elm Road. These single-family residences are situated on multi-acre lots with farmland (zoned CTY RUR – County Rural) and are setback from the roadway. The proposed use of *Animal Care – Indoor or Outdoor Kennel* is in harmony with the surrounding uses as the uses are separated by large lots and exceed the minimum setbacks required in the UDO. The site is well buffered by landscaping and the style of the building is consistent with surrounding structures.

D. The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations.

The proposed outdoor kennel use is not permitted within the existing CTY RUR zoning district, requiring a rezoning to develop the property as proposed. The proposed M-2 (General Industrial) District permits more intensive uses than the existing CTY RUR zoning district, permitting uses such as warehousing, office, automobile, product assembly, and construction type uses. The proposed use of *Animal Care – Indoor or Outdoor Kennel* is allowed in M-2 Districts with a special use permit. The special use permit ensures that adequate precautions are taken to assure compatibility with surrounding uses. The special use permit will be reconsidered by the Planning Commission upon its expiration, should the applicant wish to seek a renewal.

E. The length of time the property has remained vacant as zoned.

The subject property is currently zoned CTY RUR (County Rural) and was developed with the Southwest Community Church in 1999. The church, however, is not currently in use on this site.

F. The extent to which approval of the application would detrimentally affect nearby properties.

The proposed development is not anticipated to detrimentally affect nearby properties. The proposed use may potentially produce a greater level of noise than standard commercial uses due to the outdoor kennel areas, but is located a suitable distance from adjacent property lines and buffered with landscaping; neighboring uses (sporting, assembly, and trucking) also have the potential to create increased levels of noise.

The UDO requires that outdoor kennels not be located closer than 40' to religious buildings. The proposed kennels are approximately 70' from the property line, and a greater distance to the religious buildings.

G. The extent to which development under the proposed district would substantially harm the value of nearby properties.

The proposed special use will not substantially harm the value of nearby properties, which consist of higher intensity industrial use to the south, farmland to the west, religious assembly to the north and outdoor athletic uses to the east. Landscaping buffers will be provided along property lines to screen the proposed kennel from the adjacent existing uses.

H. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the road network influenced by the use, or present parking problems in the vicinity of the property.

The proposed use will not adversely affect the capacity or safety of the roadway network. Lone Elm Road is a high capacity arterial roadway. The proposed use will likely result in fewer trips than the previous use on the site, that of a religious institution. The proposed application is also reducing the total number of parking spaces that currently exist from 69 to 45, which will provide adequate parking for the proposed use.

I. The extent to which the proposed use would create air pollution, water pollution, noise pollution or other environmental harm.

Staff is not aware of any potential for unlawful levels of air, water or noise pollution with the proposed development. The proposed development shall be subject to all local, state, and federal environmental regulations.

J. The economic impact of the proposed use on the community.

K-9 Acres has indicated that they anticipate hiring 25 employees and the new center will generate additional sales tax revenue.

K. The gain, if any, to the public health, safety, and welfare due to denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

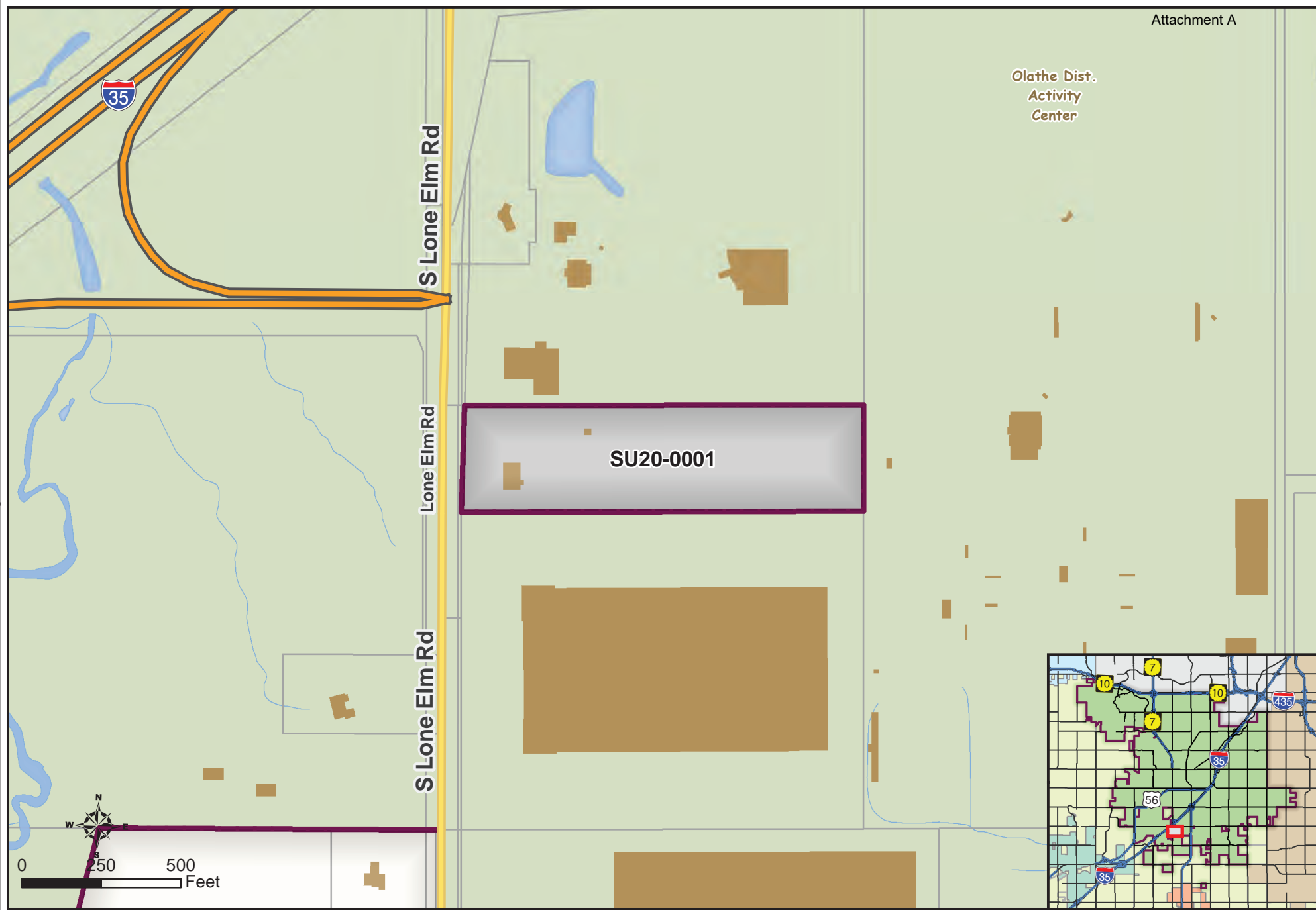
The proposed special use does not negatively impact public health, safety, or welfare as presented. If the special use permit were denied, the parcel would remain abandoned, causing a hardship for the property owner. City staff and the applicant agree the special use permit offers an improved use of the property and service to the community, while providing consistency with surrounding properties.

11. Staff Recommendation:

Staff recommends approval of the special use permit (SU20-0001) with the following stipulations:

- a. The special use permit for *Animal Care – Indoor or Outdoor Kennel* is approved for a ten (10) year period effective from the date of the Resolution.
- b. A final site development plan must be approved prior to issuance of a building permit.
- c. As required by the UDO, all exterior ground or building mounted equipment, including but not limited to mechanical equipment, utility meter banks and coolers, shall be screened from public view with landscaping or an architectural treatment compatible with the building.
- d. All new on-site wiring and cables shall be placed underground.
- e. Details of the fencing of the outdoor enclosed dog areas, including landscaping details, shall be determined at the time of Final Site Development Plan.

- f. Additional architectural interest on the north and south facades will be provided by the applicant during Final Site Development Plan review.
- g. At the time of Final Site Development Plan, the proposed building must either provide an automatic fire sprinkler system or alterations to the access roads in order to resolve the fire access deficiency.

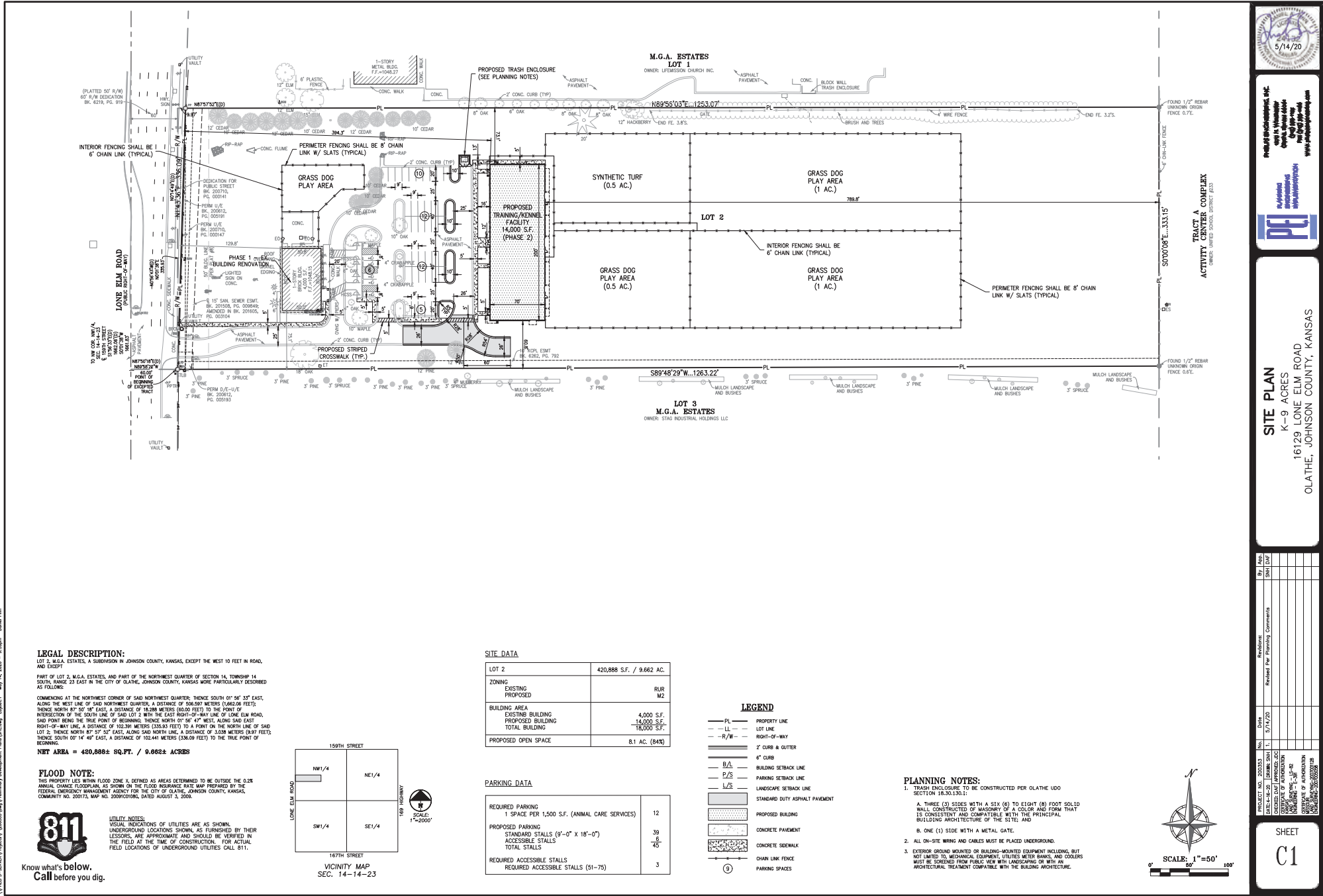


K-9 ACRES
SU20-0001



User: JaredMD
Date: 06/02/2020





David A. Winkler
Professional Engineer
State of Kansas
No. 14467
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SITE PLAN
K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	BY	REVISIONS
200553	5/17/23	DAW	
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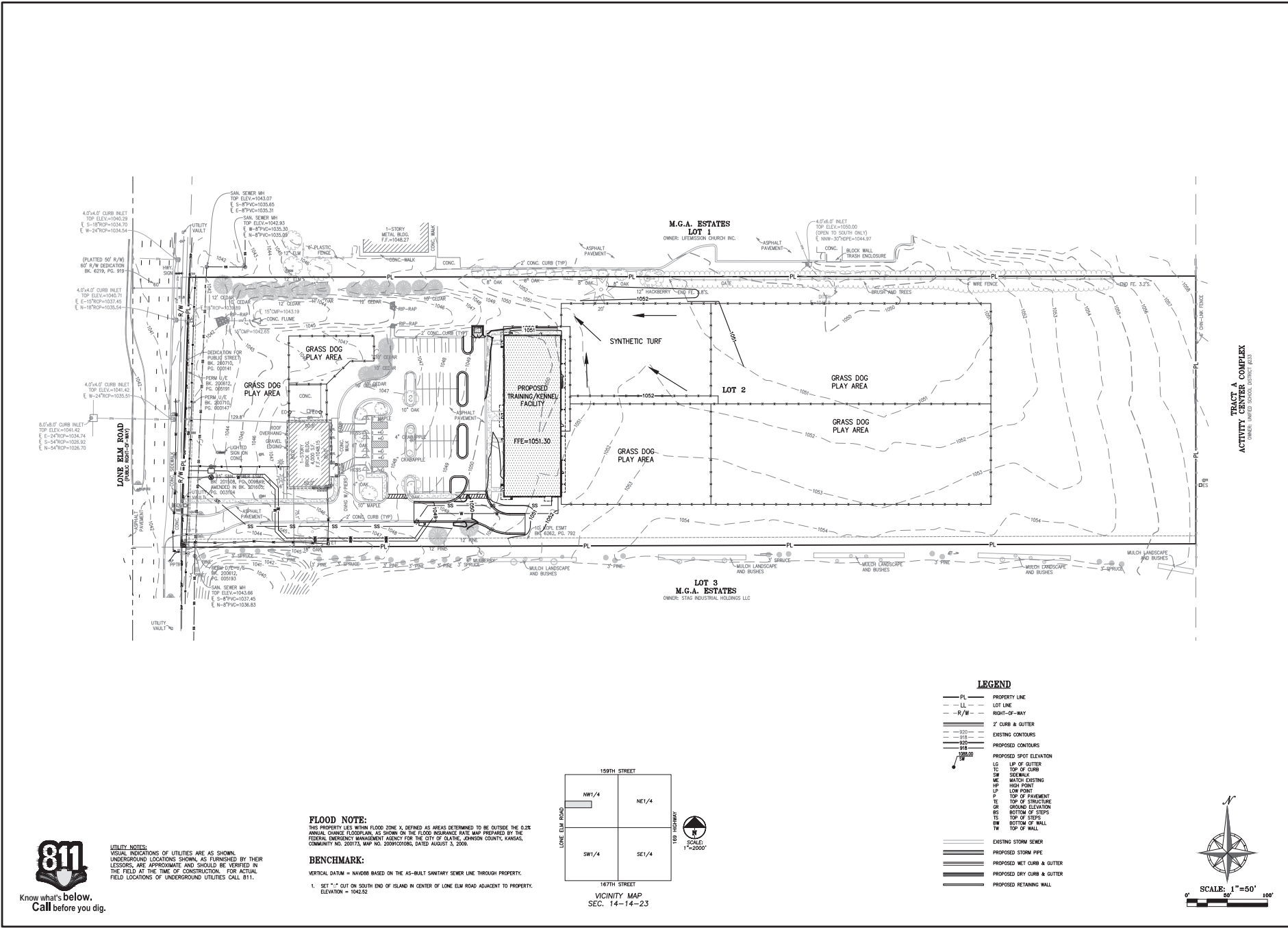
Professional Engineer, State of Kansas
No. 20053
David Finn
www.davidfinn.com



GRADING PLAN
K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	BY	REVISIONS
20053	5/17/23	DAVID FINN	
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811
Know what's below.
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| — LL — | LOT LINE |
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| — TV — | EXISTING CABLE TELEVISION LINE |
| — FO — | EXISTING FIBER OPTIC LINE |
| — CG — | EXISTING GAS LINE |
| — BE — | EXISTING BURIED ELECTRIC LINE |
| — OP — | EXISTING OVERHEAD POWER LINE |
| — BT — | EXISTING BURIED TELEPHONE LINE |
| — SS — | EXISTING SANITARY SEWER LINE |
| — 24"PE — | EXISTING STORM SEWER LINE (8" SIZE) |
| — TV — | EXISTING BURIED TELEPHONE LINE |
| — WT — | EXISTING WATER LINE (8" SIZE) |
| — CATV — | PROPOSED CABLE TELEVISION LINE |
| — FO — | PROPOSED FIBER OPTIC LINE |
| — CG — | PROPOSED GAS LINE |
| — BE — | PROPOSED BURIED ELECTRIC LINE |
| — SS — | PROPOSED SANITARY SEWER LINE |
| — OP — | PROPOSED OVERHEAD POWER LINE |
| — STM — 6" — | PROPOSED STORM SEWER LINE (8" SIZE) |
| — BT — 6" — | PROPOSED BURIED TELEPHONE LINE (8" SIZE) |
| — WT — 6" — | PROPOSED WATER LINE (8" SIZE) |
| — ST — 6" — | PROPOSED ROAD DRAIN (8" SIZE) |

VICINITY MAP
SEC. 14-14-23

SCALE: 1"=50'



Know what's below.
Call before you dig.

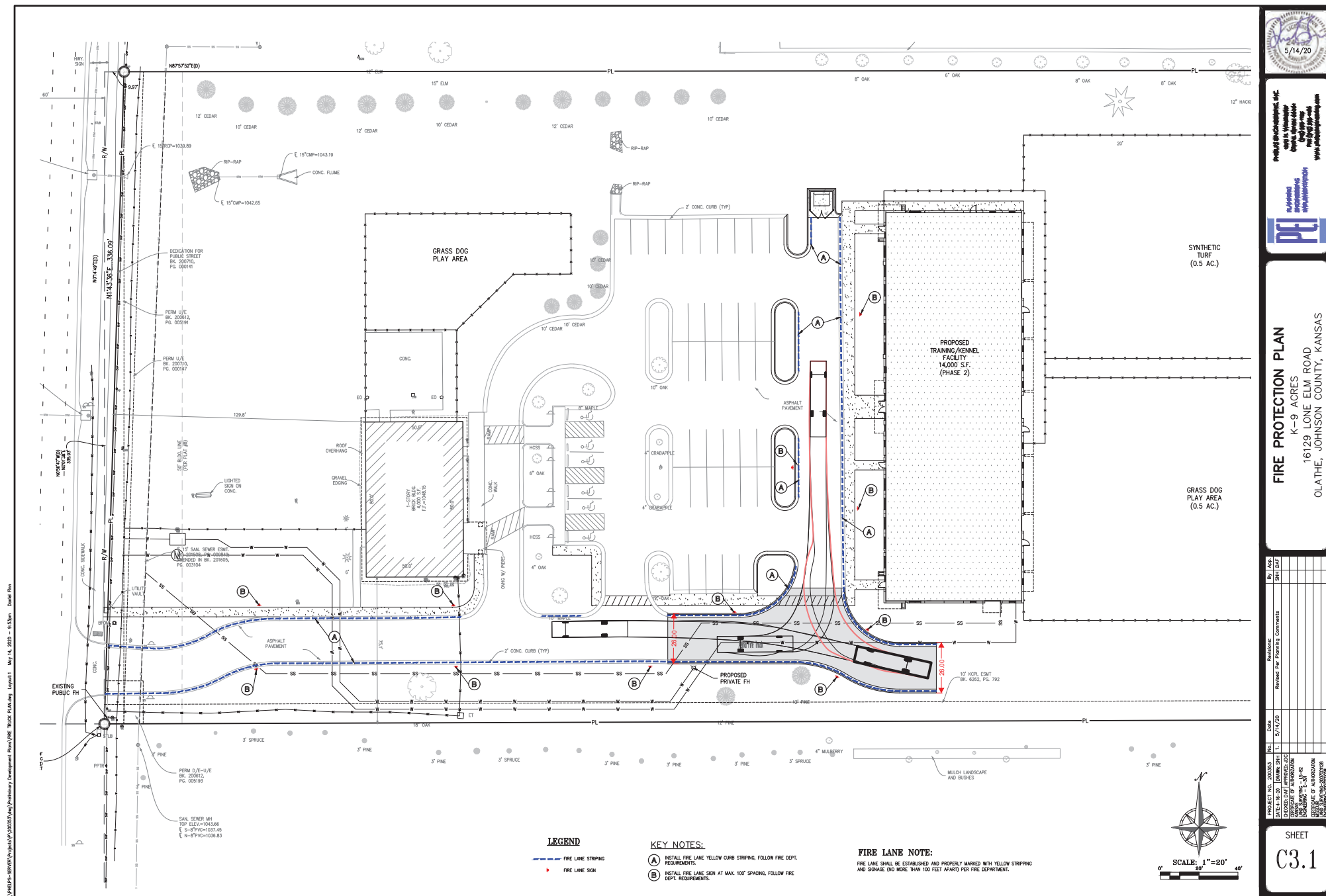
FIRE PROTECTION PLAN

K-9 ACRES

16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

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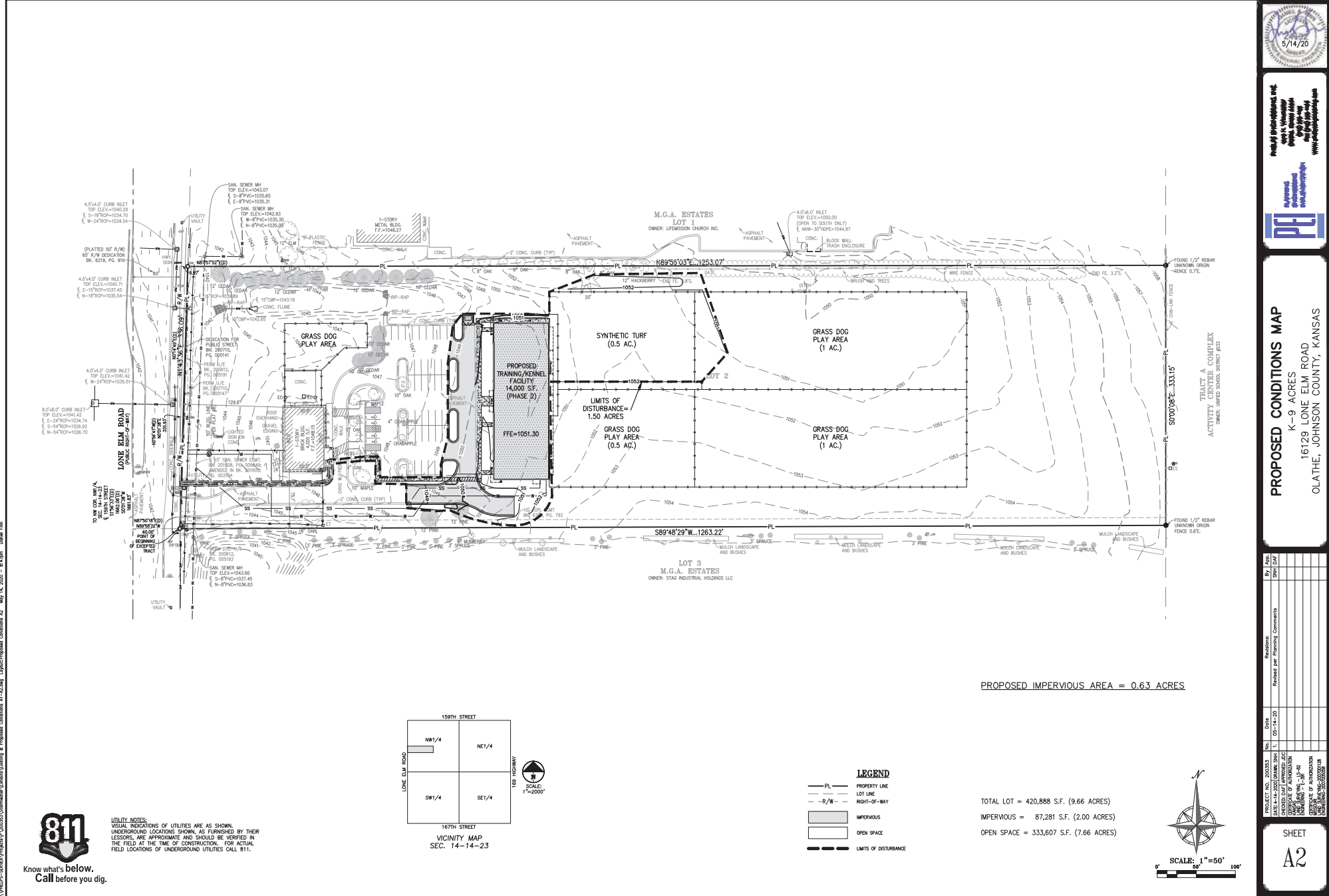
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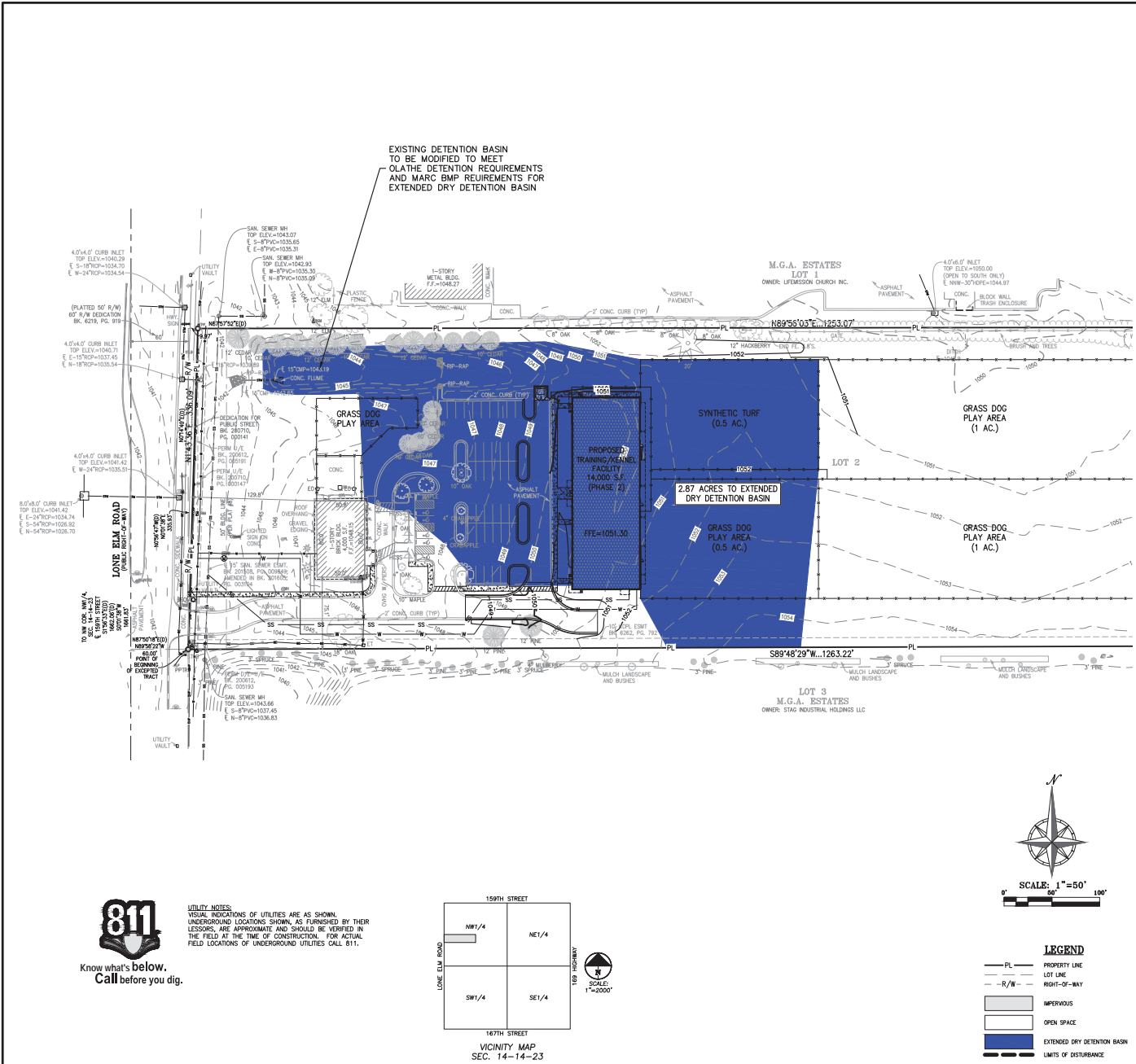


PROPOSED CONDITIONS MAP
K-9 ACRES
16129 LONE ELM ROAD
OLATHE, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	BY	REVISIONS
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SHEET
A2





Worksheet: LA - RICHMOND-LEVEL OF SERVICE, DEVELOPED SITE		By	Scale	Date
Project Name	Location	City	County	Date
Deane Rd		Orange	CA	6-14-2010
5. Required Impervious Area				
A. Total Area Disturbed by Redevelopment Activity				
1. Impervious Area		Acres		
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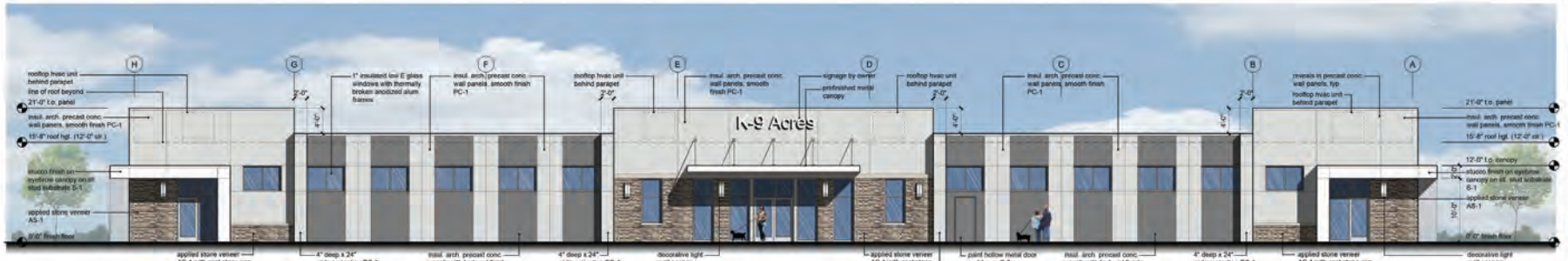
WORKSHEET 2: DEVELOP MITIGATION PACKAGE(S) THAT MEETS REQUESTS

Project	Genetic Resources	By	SAJ	Date	4-16-2022
Location	Glenfield, Ka	Checked	ESB	Date	4-16-2022
Sheet	1 of 1				

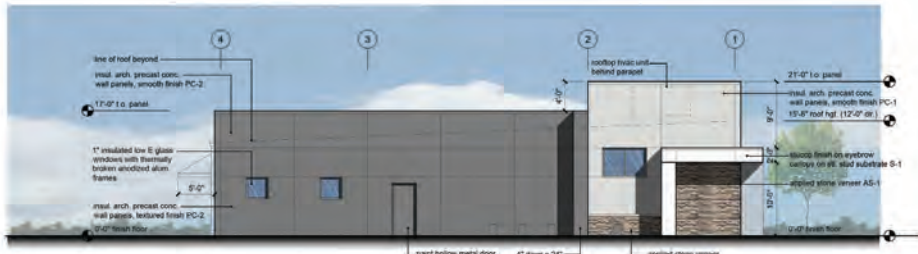
^a Measured LOS from "Idle Time" or Worksheet 3 on T&E, as appropriate.
Measured Total VM from "Idle Time" or Worksheet 3 on T&E, as appropriate.

2. Proponent (MS) Options (All ages 16+)		3	4. Object of VMP - Age	
Q1	MS/MS Owner Description (17-18), (19-20), (21-22)	Registration date, by "A"	VMP by "A"	Object of VMP - Age (17-18), (19-20), (21-22)
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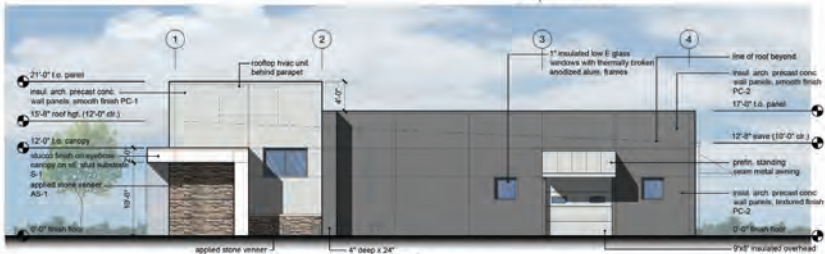
2) Vessels required LOS (Yes/No) ☒ Yes ☐ No ☐ Not Applicable



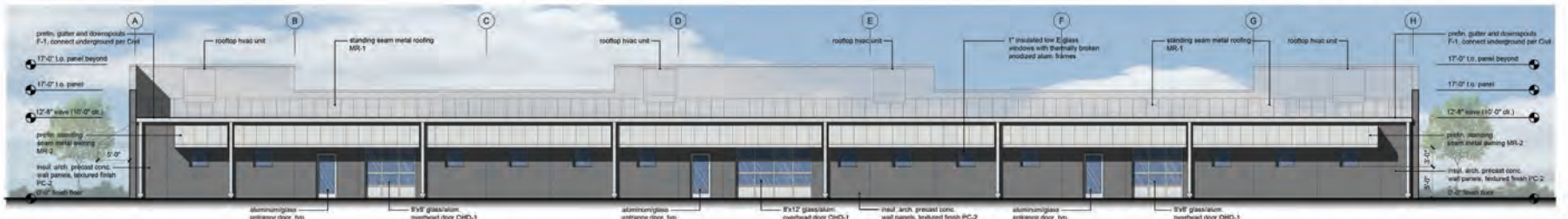
1 West Elevation
scale: 1/8" = 1'-0"



3 North Elevation
scale: 1/8" = 1'-0"



2 South Elevation
scale: 1/8" = 1'-0"



4 East Elevation
scale: 1/8" = 1'-0"

primary facade - west

material	area	% of wall area
architectural quality precast conc. panels, class 1	1574 sf	51%
integral color		
clear glass in alum. frame curtainwall, class 1	664 sf	17%
stone veneer, synthetic, class 1	104 sf	3%
stone veneer, synthetic, class 1	853 sf	13%
metal door/frame, class 4	760 sf	22%
total wall area	3825 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1 and 2 with no less than 75% of facade with 15% min. clear glass

West primary facade has 80% class 1 materials, including 17% clear glass

secondary facade - east

material	area	% of wall area
architectural quality precast conc. panels, class 1	1138 sf	52%
integral color		
clear glass in alum. frame curtainwall, class 1	404 sf	16%
standing seam metal roofing, class 1	845 sf	22%
metal trim, class 4	181 sf	7%
total wall area	2563 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

East facade has 90% class 1 materials

secondary facade - north

material	area	% of wall area
architectural quality precast conc. panels, class 1	1079 sf	30%
integral color		
clear glass in alum. frame curtainwall, class 1	42 sf	3%
stone veneer, synthetic, class 1	42 sf	3%
stone veneer, synthetic, class 1	116 sf	9%
metal door/frame, class 4	21 sf	2%
total wall area	1302 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

North facade has 90% class 1 materials

secondary facade - south

material	area	% of wall area
architectural quality precast conc. panels, class 1	993 sf	77%
integral color		
clear glass in alum. frame curtainwall, class 1	42 sf	3%
stone veneer, synthetic, class 1	42 sf	3%
stone veneer, synthetic, class 1	116 sf	9%
standing seam metal roofing, class 1	35 sf	2%
prefinished overhead door, class 4	72 sf	3%
total wall area	1302 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

South facade has 90% class 1 materials

exterior materials and finishes:

- pre-cast concrete architectural panels
- PC-1 light gray integral color, match SW7071 Gray Screen
- PC-2 dark gray integral color, match SW7074 Software
- exterior paint
- P-1 Sherwin Williams SW7071 Gray Screen
- P-2 Sherwin Williams SW7074 Software
- applied stone veneer
- AS-1 Eldorado Stone, Stacked Stone pattern, color Alderwood or equal cast stone
- CS-1 Midwest Cast Stone, color: 1A or equal
- stone veneer
- S-1 fine finish, color: white
- anodized aluminum frame, color: clear
- glass
- GL-1 1" insulated clear glass with low-E coating and argon fill
- GL-2 1/2" insulated clear glass with low-E coating and argon fill
- GL-3 1/4" insulated clear glass with low-E coating and argon fill
- GL-4 1/2" insulated clear glass with low-E coating and argon fill
- GL-5 1/4" insulated clear glass with low-E coating and argon fill
- GL-6 1/2" insulated clear glass with low-E coating and argon fill
- GL-7 1/4" insulated clear glass with low-E coating and argon fill
- GL-8 1/2" insulated clear glass with low-E coating and argon fill
- GL-9 1/4" insulated clear glass with low-E coating and argon fill
- GL-10 1/2" insulated clear glass with low-E coating and argon fill
- GL-11 1/4" insulated clear glass with low-E coating and argon fill
- GL-12 1/2" insulated clear glass with low-E coating and argon fill
- GL-13 1/4" insulated clear glass with low-E coating and argon fill
- GL-14 1/2" insulated clear glass with low-E coating and argon fill
- GL-15 1/4" insulated clear glass with low-E coating and argon fill
- GL-16 1/2" insulated clear glass with low-E coating and argon fill
- GL-17 1/4" insulated clear glass with low-E coating and argon fill
- GL-18 1/2" insulated clear glass with low-E coating and argon fill
- GL-19 1/4" insulated clear glass with low-E coating and argon fill
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- GL-21 1/4" insulated clear glass with low-E coating and argon fill
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- GL-96 1/2" insulated clear glass with low-E coating and argon fill
- GL-97 1/4" insulated clear glass with low-E coating and argon fill
- GL-98 1/2" insulated clear glass with low-E coating and argon fill
- GL-99 1/4" insulated clear glass with low-E coating and argon fill
- GL-100 1/2" insulated clear glass with low-E coating and argon fill

UDO category 10 Industrial Buildings compliance:

- Building Facade Treatment
- 1 Building Entry - a 2' wide x 5' deep prefinished metal canopy projects from the facade
- 2 Overhead Doors - no overhead doors face the public street
- 3 Windows - primary west facade has 17% clear glass, exceeds UDO minimum
- 4 Facade Articulation - the 200' long primary west facade is divided into 5 vertical bays. Two end bays, one corner bay and 3 bays that separate the center and ends from each other. The building is "bookended" with vertical articulation at both ends, and at the corner where the main building entrance is located.
- One facade articulation technique is required for each of the following categories:
- 1 Horizontal Articulation
- 2 Vertical Articulation
- 3 Window Articulation
- 4 Roofline Articulation
- 5 Material Articulation
- 6 Color Articulation
- 7 Texture Articulation
- 8 Shape Articulation
- 9 Detail Articulation
- 10 Finish Articulation
- 11 Pattern Articulation
- 12 Scale Articulation
- 13 Proportion Articulation
- 14 Contrast Articulation
- 15 Emphasis Articulation
- 16 Rhythm Articulation
- 17 Balance Articulation
- 18 Unity Articulation
- 19 Variety Articulation
- 20 Contrast Articulation
- 21 Emphasis Articulation
- 22 Rhythm Articulation
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- 100 Rhythm Articulation

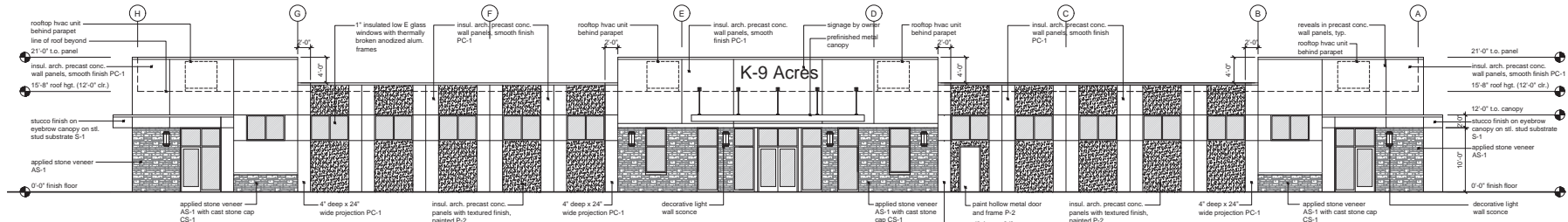
notes:

- 1. All signage is approved administratively through a separate application.

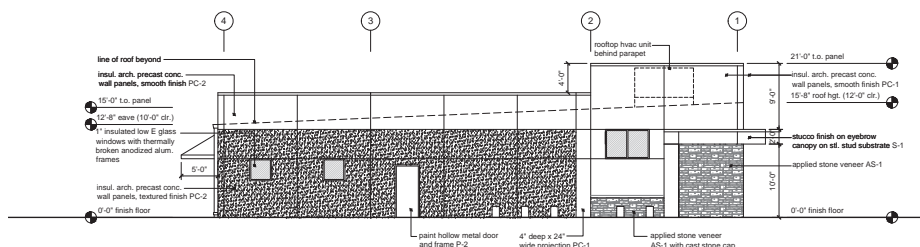
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K-9 Acres
16129 S. Lone Elm Road
Olathe, Kansas

date
05.15.2020
drawn by
DAE
checked by
DAE
revisions

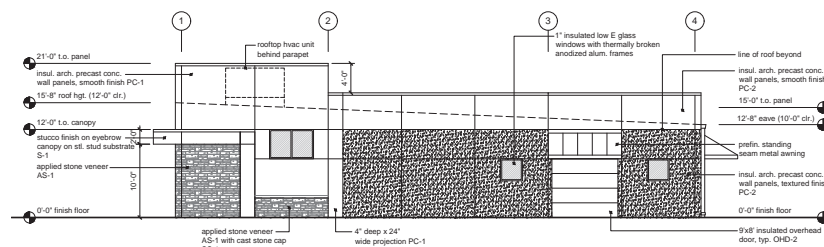
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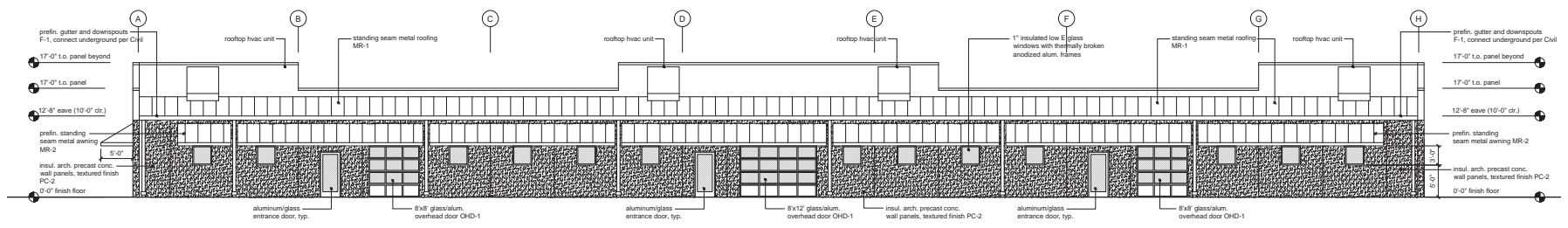
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scale: 1/8" = 1'-0"



3 North Elevation
scale: 1/8" = 1'-0"



2 South Elevation
scale: 1/8" = 1'-0"



4 East Elevation
scale: 1/8" = 1'-0"

primary facade - west

material	area	% of wall area
architectural quality precast conc. panels, class 1	1814 sf	47%
integral color		
clear glass in alum. frame curtainwall, class 1	664 sf	17%
stucco, genuine, class 1	104 sf	3%
stone veneer, synthetic, class 1	493 sf	13%
precast conc. panels, painted, class 3 (dark gray)	760 sf	20%
total wall area	3835 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1 and 2 with no less than 75% of facade, with 15% min. clear glass

West primary facade has 80% class 1 materials, including 17% clear glass

secondary facade - east

material	area	% of wall area
architectural quality precast conc. panels, class 1	1338 sf	52%
integral color		
clear glass in alum. frame curtainwall, class 1	404 sf	16%
standing seam metal awning, class 1	640 sf	25%
metal trim, class 4	181 sf	7%
total wall area	2663 sf	100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

east facade has 93% class 1 materials

secondary facade - north

material	% of wall area
architectural quality precast conc. panels, class 1	1079 sf 83%
integral color	
clear glass in alum. frame curtainwall, class 1	42 sf 3%
stucco, genuine, class 1	42 sf 3%
stone veneer, synthetic, class 1	118 sf 9%
metal door/frame, class 4	21 sf 2%
total wall area	1302 sf 100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

north facade has 98% class 1 materials

secondary facade - south

material	% of wall area
architectural quality precast conc. panels, class 1	993 sf 77%
integral color	
clear glass in alum. frame curtainwall, class 1	42 sf 3%
stucco, genuine, class 1	42 sf 3%
stone veneer, synthetic, class 1	118 sf 9%
standing seam metal awning, class 1	35 sf 3%
precast conc. panels, painted, class 4	72 sf 5%
total wall area	1302 sf 100%

UDO requirements: 2 materials from class 1 or comb. 2 materials from class 1, 2 or 3 with no less than 40% of facade

south facade has 95% class 1 materials

exterior materials and finishes:

- pre-cast concrete architectural panels
 - PC-1 light gray integral color, match SW7071 Gray Screen
 - PC-2 dark gray integral color, match SW7074 Software
- exterior paint:
 - P-1 Sherwin Williams SW7071 Gray Screen
 - P-2 Sherwin Williams SW7074 Software
- applied stone veneer:
 - AS-1 Eldorado Stone, Stacked Stone pattern, color Alderwood or equal cast stone
 - CS-1 Midwest Cast Stone, color: 1A or equal
- stucco finish eyebrow canopy:
 - S-1 fine finish, color: white
- stone/fin windows:
 - GL-1 1" insulated clear glass with low-E coating and argon fill "use SOLARBAN 60 as basis
- copings, gutters and downspouts:
 - prefinished 24 ga., color: Firestone Claycolor or equal
- metal entrance canopy:
 - MC-1 prefinished, color: Mapes White or equal
- Standing seam metal roofing:
 - MR-1 prefinished, color: galvalume finish
- Standing seam metal awning:
 - MR-2 prefinished, color: Firestone Claycolor or equal
- hollow metal doors and frames:
 - P-2 paint color SW7074 Software
- overhead doors:
 - OHD-1 glass and aluminum
 - OHD-2 prefinished metal, light gray

UDO category 10 Industrial Buildings compliance:

- Building Facade Treatment
 - 1. Building Entry - a 27' wide x 5' deep prefinished metal canopy projects from the facade.
 - 2. Overhead Doors - no overhead doors face the public street.
 - 3. Windows - primary west facade has 17% clear glass, exceeds UDO minimum.
 - 4. Facade Articulation - the 200' long primary west facade is divided into 5 vertical bays - two end bays, one center bay and 2 bays that separate the center and end bays from each other. The building is "bookended" with vertical articulation at both ends, and at the center where the main building entrance is located.
- One facade articulation technique is required for each of the following categories:
 - 1. Horizontal Articulation:
 - Wall projection is the selected technique. Each bay is separated with a 4' x 24' wide vertical projection from the wall, full height of the facade.
 - 2. Vertical Articulation:
 - Variation in height is the selected technique. The parapet is raised 4' at the ends and center bays.
- Exterior building materials (see facade information this sheet).
- Roofing Materials - project is using class 1 standing seam metal roofing, prefinished vertically run panels with interlocking raised seams.

notes:

- 1. All signage is approved administratively through a separate application.

a new development for
K-9 Acres
16129 S. Lone Elm Road
Olathe, Kansas

date: 05.15.2020
checked by: DAE
checked by: DAE
revisions:

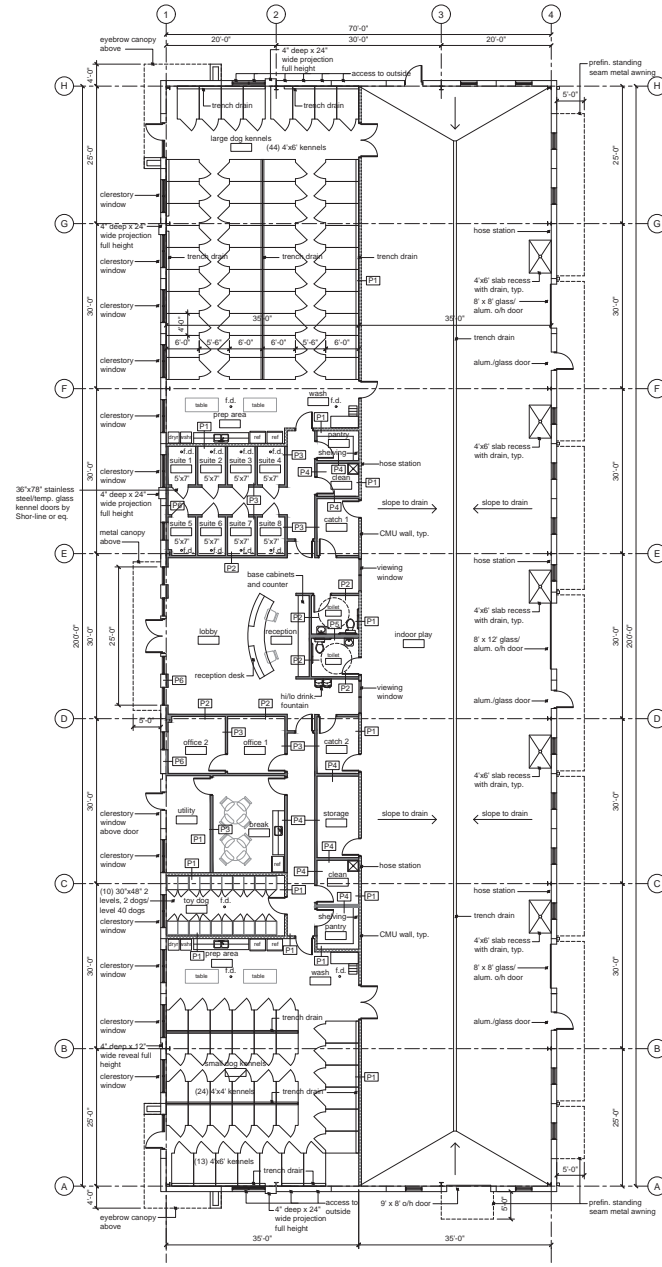
sheet number
A3.1
drawing type: preliminary
project number: 20057

partition legend:

- full height CMU partition:
full height 8" thick CMU wall to structure. Reinforcing and grouting per structural.
- full height insulated partition:
6" metal studs at 16" o.c. with 5/8" gypsum on each side full height to underside roof decking with deep leg slip track per detail and full batt insulation. Stud gauge per supplier.
- standard insulated partition:
3-5/8" metal studs at 16" o.c. with 5/8" gypsum on each side to 12'-0" a.f.f. with 3 1/2" unfaced sound attenuation insulation. Stud gauge per supplier. Utilize Dens-Armour Plus at all restroom walls.
- standard partition:
3-5/8" metal studs at 16" o.c. with 5/8" gypsum on each side to 12'-0" a.f.f. Stud gauge per supplier. Utilize Dens-Armour Plus at all restroom walls.
- plumbing chase partition:
8" metal studs at 16" o.c. with 5/8" Dens-Armour Plus gypsum board on both sides up to 12'-0" a.f.f., with sound attenuation insulation. Stud gauge per supplier.
- interior turned partition:
5/8" gypsum on interior side of 3 5/8" studs to above ceiling with 3 1/2" batt insulation. Stud gauge per supplier.

plan notes:

1. Flooring is epoxy (with epoxy cove base) except as noted.
Lobby - ceramic tile
toilet off lobby - ceramic tile
2 offices - carpet
utility room - sealed concrete
2. Personal suites will have FRP on walls.
Price glass/steel doors on suites by Shor-Line, or equal, 8 total.
3. Walls in Indoor Play will have epoxy paint.
4. Provide cost for full CMU wall separation between Indoor Play and Office/Kennel area. Indoor play will be heated and ventilated only. Suspended heating units and exhaust fans/hoods for Indoor Play area. Contractor can price (3) HVLs fans in Indoor area for consideration.
Provide cost for fence between Kennel areas and Indoor Play with HVAC entire facility.
5. All other interior doors are hollow metal doors and frames, painted.
6. Ceiling heights:
Lobby - 12'
Offices, toilers break, pantry, etc. 10'
Kennel areas - exposed to roof structure
Indoor Play - exposed to roof structure
7. Kennels shown will be purchased by owner.
8. Office area and Kennel areas HVAC are roof mounted, screened by building parapets.
9. Contractor can price prefabricated standing seam metal awnings on east side as well as canvas type awnings, for owner review and selection.
10. Coordinate type of dog wash tub selection with owner.
11. Refrigerators, washers and dryers shown are by owner, but will require M/P/E connections.
12. Provide alternate cost for 25' wide x 10' high aluminum frameless curtainwall and entrance. See alternate west elevation A3.1a.
(Base bid is curtainwall system as shown on west elevation sheet A3.1.)



1 Floor Plan
scale: 3/32" = 1'-0"
north

a new development for
K-9 Acres
16129 S. Lone Elm Road
Olathe, Kansas

date: 05.15.2020
drawn by: DAE
checked by: DAE
revisions:

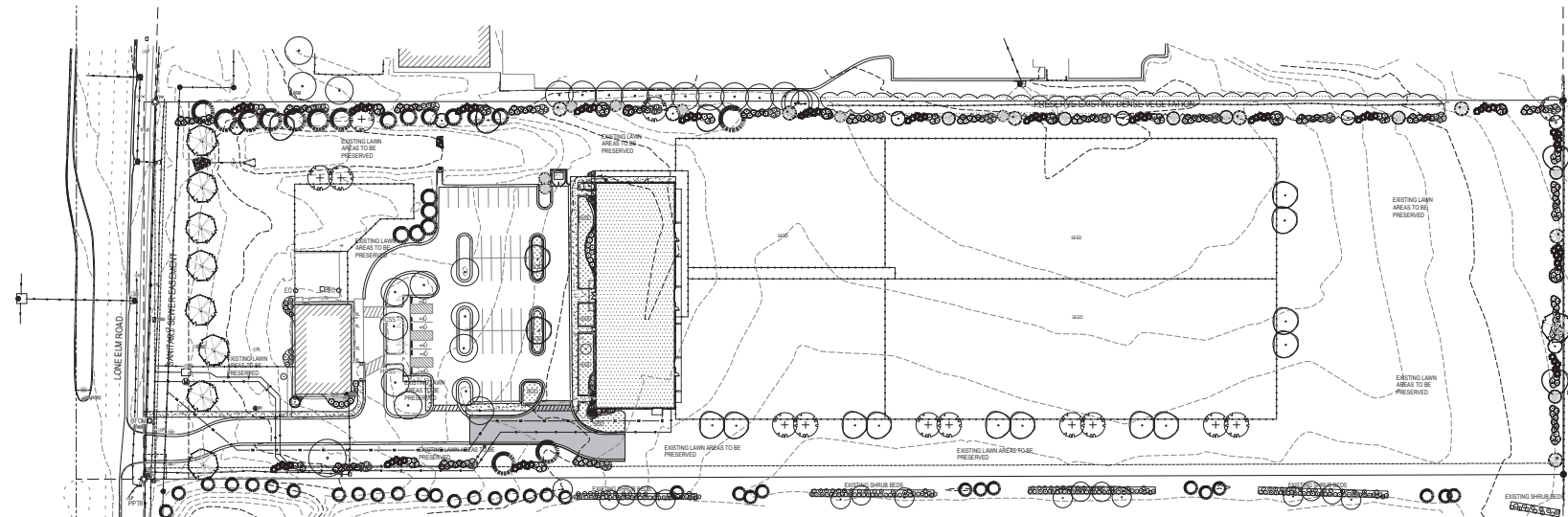
sheet number
A2.1
drawing type:
preliminary
project number:
20057



CLIENT
Brandon and Danette
Sutherland
14665 S CAENEN LN
Overland Park, KS 66062

In association with:
David Caton
KC Elite Dog Training

PROJECT
K-9 Acres
Property Masterplan
16129 Lone Elm Road
Olathe, Kansas



1 LANDSCAPE PLAN

SCALE: 1"=50'-0"

M-2 Zoning Landscape Calculations

STREET TREE REQUIREMENTS:

One tree per 40 feet public or private street frontage (minus intersecting driveways)
311 LP along Lone Elm Road
8 Street trees required
8 Street trees provided
Requirements Met

BUFFER LANDSCAPING:

M-1 adjacent to M-1, M-2, C-2, C-3, buffer landscape requirements (North and South Boundary):
Minimum buffer width: 10R - TYPE 1 Buffer required.
(1 Deciduous Shade tree, 1 Ornamental tree, 1 evergreen tree, 20 shrubs, per 100 linear feet)

Linear feet along North edge of site: 1253 LF (extensive existing vegetation to be preserved)

Deciduous trees required: 13
Existing Deciduous trees provided: 13
Evergreen trees required: 13
Existing Evergreen trees provided: 13
Additional evergreen trees provided above requirements.

Linear feet along East edge of site: 331 LF

Deciduous trees required: 3
Existing Deciduous trees provided: 3
Evergreen trees required: 3
Existing Evergreen trees provided: 3
Requirements Met

Linear feet along South edge of site: 1263 LF (Partial Type 1 buffer already existing)

Deciduous trees required: 13
Existing Deciduous trees provided: 13
Evergreen trees required: 13
Existing Evergreen trees provided: 13
Requirements Met

INTERIOR PARKING REQUIREMENTS:

One (1) shade tree shall be provided for every parking and vehicular use landscape island.
Requirement Met

BUILDING FOUNDATION PLANTINGS:

Along any building facade or foundation that fronts upon a public right-of-way or a parking lot provided for the building, landscape areas shall be provided equivalent to a minimum of twenty-five (25) percent of each building facade or foundation.
Requirement Met

Planting Notes

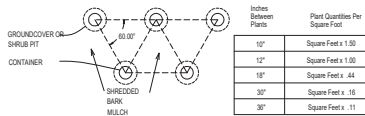
- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
 - Mulch all planting beds areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
 - Note: If plants are not labeled - they are existing and shall remain.
 - In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
 - All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
 - No trees may be planted within 15 feet of a street light.
 - Landscape areas must contain 50% living material.
 - Building facade and foundation landscape areas must be irrigated.

Materials:

- Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
- Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting beds areas shall be free of all other foreign substances.

Installation:

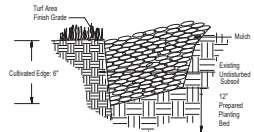
- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
- After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
- Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
- Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
- Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.



NOTES: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENDMENTS AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS



3 CULTIVATED EDGE DETAIL

SCALE: NTS

TREE PLANTING NOTES:

- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE THE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
- APPLY 4" THICK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK.
- EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL.
- REMOVE ALL TRUNK ROOTS, WIRE, AND BURGLAR FROM THE UPPER 1/3 OF ROOT BALL. REMOVE IRON BASKETS.
- PLACE ALL ROOT BALLS ON TOP OF EXCAVATED OR TAMPED SOIL TYPE.

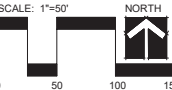
4 PLANTING INSTALLATION DETAILS

SCALE: NTS



Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
DECIDUOUS TREES							
10	8	Gleditsia triacanthos "Shademaster"	Shademaster Honeylocust	2.5"	6"	1/4"	min. clear, ground to canopy
11	13	Platanus x acerifolia	London Plane Tree	2.5"	6"	1/4"	min. clear, ground to canopy
12	19	Acer x fraxinifolius "Seminole"	Pacific Sweet Maple	2.5"	6"	1/4"	min. clear, ground to canopy
EVERGREEN TREES							
7	7	Juniperus chinensis "Savoyana"	Horizontal Juniper	6"	18"	1/4"	symmetrical pyramidal form
8	7	Chamaecyparis nortoniensis "Pencil"	Weeping Alaska Cedar	6"	18"	1/4"	symmetrical pyramidal form
9	7	Pinus strobus	Norway Spruce	6"	18"	1/4"	symmetrical pyramidal form
ORNAMENTAL TREES							
13	11	Cercis canadensis	Eastern Redbud	1.5"	6"	1/4"	min. clear
14	3	Cornus florida "Cloud Nine"	Cloud 9 Dogwood	1.5"	6"	1/4"	min. clear
15	6	Betula papyrifera var. japonica "Whisper"	Whisper River Birch	1.5"	6"	1/4"	min. clear
DECIDUOUS SHRUBS/GRASSES							
24	14	Liriodendron tulipifera "Variegated"	Variegated Yellow	1"	6"	1/4"	Plant @ 18" O.C.
25	71	Eurythoe distans "Compacta"	Dwarf Burning Bush	3"	6"	1/4"	Plant @ 3' O.C.
26	2	Hydrangea paniculata "Dolby Fire"	Little Quick Fire Hydrangea	3"	6"	1/4"	Plant @ 4' O.C.
27	12	Hydrangea x 'Petal' "	Blooming Purple Vine	5"	6"	1/4"	Plant @ 5' O.C.
EVERGREEN SHRUBS							
142	142	Juniperus chinensis "Sea Green"	Sea Green Juniper	3"	6"	1/4"	Plant @ 4' O.C.
143	14	Juniperus chinensis "Gold Coast"	Gold Coast Juniper	3"	6"	1/4"	Plant @ 4' O.C.
144	93	Taxus x media "Hicksii"	Hicks Yew	5"	18"	1/4"	Symmetrical pyramidal form
SPRING-BLOOMING ASH							
1	1	Juniperus horizontalis "Wilton"	Blue Rug Juniper	1"	6"	1/4"	Plant @ 24" O.C.
EXISTING TREES/SHRUBS TO BE PRESERVED							
EXISTING TREES/SHRUBS TO BE REMOVED							
LAWN AREAS							
SOO	SOO	SOO SHALL BE TALL FESCUE MIXTURE, AS PRODUCED BY MEMBERS OF THE TURF PRODUCERS ASSOC.					
SEED	SEED	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE
15	15	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE
15	15	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE	PERENNIAL MIXTURE



Date: 5.15.2020
Project #: 593
Layout Plan

L1

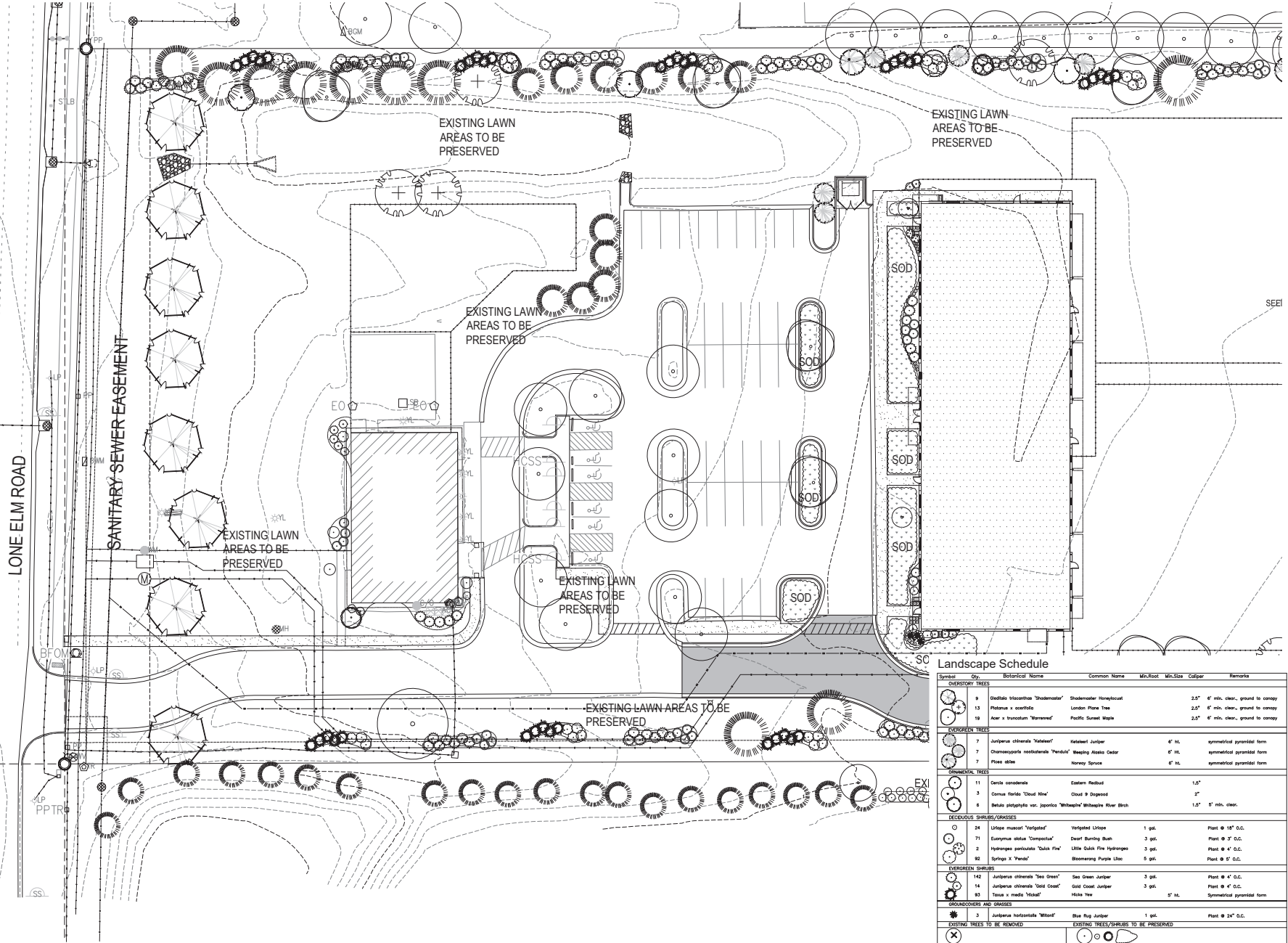
MEIER
LANDSCAPE
ARCHITECTURE
15245 Metcalf Ave.
Overland Park, KS 66223
913.787.2817



CLIENT
Brandon and Danette
Sutherland
14665 S CAENEN LN
Overland Park, KS 66062

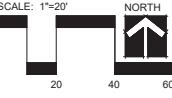
In association with:
David Caton
KC Elite Dog Training

PROJECT
K-9 Acres
Property Masterplan
16129 Lone Elm Road
Olathe, Kansas



Landscape Schedule

Symbol	Qty	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
8	1	Crataegus mollis "Shademaster"	Shademaster Honeysuckle	2.5"	6' min. clear, ground to canopy		
13	1	Platanus x acerifolia	London Plane Tree	2.5"	6' min. clear, ground to canopy		
19	1	Acer x fraxinifolium "Baroness"	Pacific Sunset Maple	2.5"	6' min. clear, ground to canopy		
EVERGREEN TREES							
7	1	Juniperus chinensis "Spartan"	Kelbert Juniper	6" H.	symmetrical pyramidal form		
7	1	Chamaecyparis nortoniensis "Pendula"	weeping Alaska Cedar	6" H.	symmetrical pyramidal form		
7	1	Pinus strobus	Norway Spruce	6" H.	symmetrical pyramidal form		
SEMI-DECIDUOUS TREES							
11	1	Cornus canadensis	Eastern Redbud	1.5"			
3	1	Cornus florida "Cloud Nine"	Cloud 9 Dogwood	2"			
3	1	Betula papyrifera var. japonica "Whisper"	Whispering River Birch	1.5"	5' min. clear		
PERENNIAL SHRUBS/GRASSES							
24	1	Lilium monadelphum "Vanguard"	Vanguard Liriodendron	1 gal.	Plant @ 18" O.C.		
71	1	Campanula medium "Compass"	Dark Bunting Bush	2 gal.	Plant @ 3' O.C.		
2	1	Hydrangea paniculata "Dawn Fire"	Little Quik Fire Hydrangea	3 gal.	Plant @ 4' O.C.		
92	1	Syringa x "Pam"	Blossoming Purple Lilac	5 gal.	Plant @ 5' O.C.		
EVERGREEN SHRUBS							
142	1	Juniperus chinensis "Spartan"	Spartan Juniper	3 gal.	Plant @ 4' O.C.		
14	1	Juniperus chinensis "Spartan"	Spartan Juniper	2 gal.	Plant @ 4' O.C.		
93	1	Taxus x media "Nidus"	Hicks Yew	5" H.	Symmetrical pyramidal form		
GROUNDCOVERS AND GRASSES							
3	1	Juniperus horizontalis "Wilton"	Blue Rug Juniper	1 gal.	Plant @ 24" O.C.		
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							
LAWN AREAS							
SOD SHALL BE TALL FESCUE MIXTURE, AS PROVIDED BY MEMBERS OF THE TURF PRODUCERS ASSOC.							
SEED	SEED	SEED	SEED	SEED	SEED	SEED	SEED
PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE
15	15	15	15	15	15	15	15
PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE
15	15	15	15	15	15	15	15
PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE	PERENNIAL TALL FESCUE
15	15	15	15	15	15	15	15



Date: 5.15.2020
Project #: 593
Layout Plan

L2

1 LANDSCAPE PLAN - ENLARGEMENT PLAN
SCALE: 1"=20'-0"

CITY OF OLATHE
Property Owner Notification Letter

Attachment A

Case No. SU20-0001

Dear Property Owner:

This is to notify you that a public hearing will be held at the Olathe City Hall Council Meeting room at 100 E. Santa Fe, Olathe, Kansas, to consider a **SPECIAL USE PERMIT** for Animal Care - Indoor or Outdoor Kennel on the following described tract of land:

Legal Description:
Lengthy, See Attached.

General Location: 16129 Lone Elm Rd (See general location map attached)

A public hearing will be held to consider a request for a special use permit for the above-described tract at 7:00 PM on June 8, 2020. Any interested persons or property owners are invited to attend. Due to the COVID-19 pandemic, the City of Olathe continues to follow social distancing and recommendations from the State and Johnson County, therefore additional means of meeting participation may be provided through interactive communication methods, such as Zoom. Please refer to the City of Olathe Planning Division website (<https://www.olatheks.org/government/planning>) for updates and latest news on the meeting format. You may also call the Planning Division at 913-971-8750.

Information regarding this special use permit application is available in the Planning Division located at City Hall, at 913-917-8750, through email at PlanningContact@Olatheks.org, or you may contact Judd Claussen at Phelps Engineering at the contact information below for additional information regarding this request.

A fourteen (14) day protest period begins at the conclusion of the public hearing during which you may file a protest petition with the City Clerk. If valid protest petitions are received from property owners of twenty (20) percent of the land within the notification area, exclusive of the public right-of-way, a three- quarters ($\frac{3}{4}$) vote of the City Council is required to approve this request.

Copies of the protest petitions are available from the Planning Division or City Clerk office at 913-971 8521 or CCO@Olatheks.org.

Respectfully,

Judd D. Claussen, P.E.

Applicant (or Owner or Agent)
jclaussen@phelpsengineering.com
PHONE: 913-393-1155
ADDRESS: 1270 N Winchester
CITY: Olathe
STATE: KS
ZIP: 66061



May 5, 2020

Re: **Neighborhood Meeting for K-9 Acres project**
16129 Lone Elm Rd, Olathe, Kansas
Rezoning case # RZ20-0004
Special Use permit case # SU20-0001

Dear Neighbor,

On behalf of our client, Emerald Properties, LLC., I would like to invite you to an informational meeting that we are hosting for our neighbors regarding the development on the above referenced property. Due to the COVID-19 Pandemic, this meeting will be held via a virtual online meeting. Below is the information to attend:

Meeting Date/Time:	Monday May 18 at 5:30 pm.
Website:	https://zoom.us/join
Meeting ID:	856 0818 3958
Password:	Olathe
Phone call in option:	(312) 626 6799 - for use only if not using computer audio.

Our proposed project consists of remodeling the existing church building and re-purposing the building for a canine facility where training, day-care, boarding, and veterinary services will be provided for canines. A new building will be constructed east of the existing parking lot, and play/training fields will be located on the eastern portion of the property. A copy of the proposed site plan and building elevation is attached for reference. We have filed rezoning and special use permit applications with the City for their approval and we are excited to share this information with you and answer any questions you may have.

An upcoming Planning Commission public hearing will be held at the City of Olathe City Hall at 7 pm, June 8, 2020. The public is invited to attend and will be able to speak.

Please feel free to attend this meeting for an opportunity to learn more about the project and discuss any questions you might have. If you are not able to be on the virtual meeting, please contact me and I will be happy to answer any questions you may have.

Sincerely,

Judd D. Claussen, P.E.
Phelps Engineering, Inc.,
Jclaussen@phelpsengineering.com
Encl: Site plan, building elevation.

PHELPS ENGINEERING, INC.



Date: May 18, 2020

Meeting Date: May 18, 2020 at 5:30 PM

Location of Meeting: Zoom online meeting (see attached invite letter)

Project: K-9 Acres

Project/File No.: 200353

Neighborhood Attendees: None.

Development Team: Brandon Sutherland – Emerald Properties
Jason Meier – Meier Consulting – Landscape Architect
Judd Claussen – Phelps Engineering
Daniel Finn – Phelps Engineering
Powell Minnis – Davidson Architects & Engineers

Copy: Olathe Planning Department

-
1. Development team called / logged in at meeting time. After approximately 20 minutes, there had been no neighbors that called or logged into the meeting. Meeting ended approximately 5:50 pm.