

THE LANDINGS AT STONE CREEK TWELFTH PLAT

A Replat of Lot 13, STONE CREEK VILLAGE SECOND PLAT, A SUBDIVISION in the Southeast 1/4 of Section 22, Township 13 South, Range 23 East, in the City of Olathe, Johnson County, Kansas



LEGEND

- Indicates Existing Plus Cuts on top of curb, unless otherwise noted.
- Indicates set 1/2" X 24" Rebar with KS PS 814 Cap.
- Indicates Existing 1/2" X 24" Rebar with CUS 741 Cap, unless otherwise noted.
- B.L. = Building Line
- U/E = Utility Easement
- PUB/E = Public Utility Easement
- TP/E = Tree Preservation Easement
- D/E = Drainage Easement
- L/E = Landscape Easement
- S/E = Sanitary Sewer Easement
- R = Radius
- L = Length
- S/W = Sidewalk

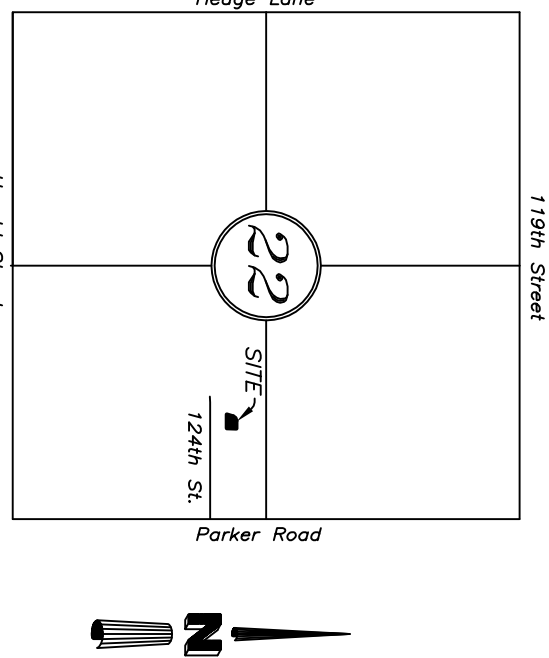
SURVEYOR'S NOTES

Bearings are based on the STONE CREEK VILLAGE SECOND PLAT subdivision plat, filed in Book 201009 at Page 009041. The easements shown on this plat were dedicated by the STONE CREEK VILLAGE SECOND PLAT, subdivision plat filed in Book 201009 at Page 009041. The subject property is outside the established flood plain according to the Federal Emergency Management Agency's 3, Flood Map No. 20091C0078 G, Revised map date, August 3, 2009. The driveways, sidewalks and decks are shown based on the plans provided and did not exist at the time the survey was conducted.

LOT NUMBER	SQ. FT.	ACRES
LOT 42	4,980.35	0.114
LOT 43	2,129.12	0.049
LOT 44	2,119.80	0.049
LOT 45	3,217.30	0.074
PLAT	12,446.57	0.286

PROJECT BENCH MARK

Aluminum Monument set on the Northwest corner of the curb inlet at the Southeast corner of 7 Highway and Harold, JCPW BM # 269, Elevation = 1019.25



DESCRIPTION: All of Lot 13, STONE CREEK VILLAGE SECOND PLAT, a subdivision in the City of Olathe, Johnson County, Kansas, according to the plat filed September 23, 2010 in Book 201009 at Page 009041.

DEDICATION: The undersigned proprietor of the above described tract of land having caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereinafter be known as **THE LANDINGS AT STONE CREEK TWELFTH PLAT**.

The undersigned proprietor of the above described land hereby makes declaration that all lots within this plat shall be sold conveyed subject to the acceptance by buyer and/or grantee of oil common area open spaces together with oil easements thereon, amenities, and landscaping.

The undersigned proprietor of the above described land hereby consents and agrees that the Governing Bodies of any special assessment district shall have the power to release such land proposed to be dedicated for streets, roads, or parts thereof for public use from the lien and effect of any special assessments and that the amount of the unpaid special assessments on such land shall be paid by the owner of the land and shall become and remain a lien on the remainder of this land fronting and abutting on such dedicated road, street, or parts thereof.

IN TESTIMONY WHEREOF, the undersigned owner of the property described herein, have hereunto set his hand this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Spess Custom Homes, LLC.

Daklyne Spess, Member

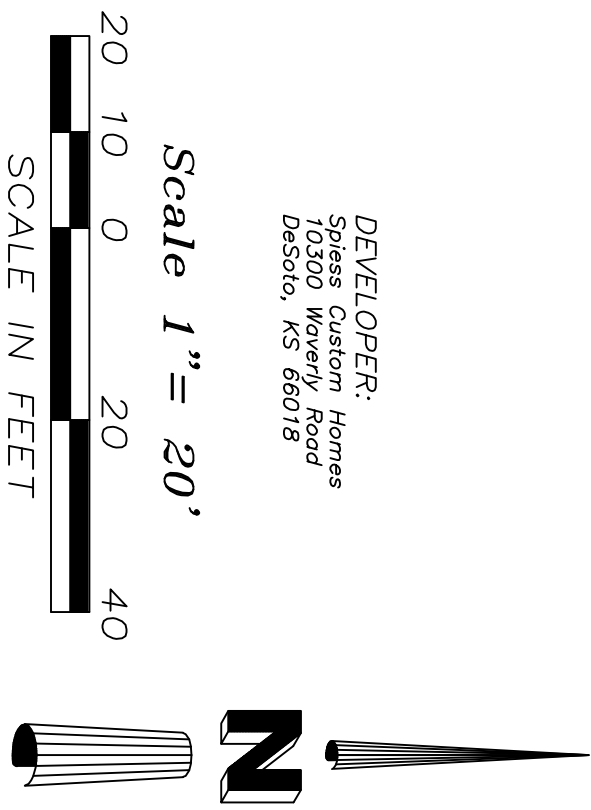
STATE OF KANSAS } ss.  
COUNTY OF JOHNSON }  
This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2019,  
by Daklyne Spess, as Member of Spess Custom Homes, LLC..

Notary Public: \_\_\_\_\_ My Appointment Expires: October 29, 2020  
Printed Name: Jerald W. Pruitt

APPROVED BY THE Planning Commission of the City of Olathe, Johnson County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Chairperson: C.S. Vokas

This survey was completed in the field in July, 2019, said survey was conducted under my direct supervision, and, to the best of my knowledge and belief, the above plat correctly portrays the results of the survey of the above described property.  
Jerald W. Pruitt, PS 814



DEVELOPER:  
Spess Custom Homes  
10300 Waverly Road  
Olathe, KS 66018

THE LANDINGS AT STONE CREEK TWELFTH PLAT

S.E. 1/4, Section 22, Township 13 South, Range 23 East  
Olathe, Johnson County, Kansas

**PRUITT and DOOLEY SURVEYING, LLC**  
7912 Elm Ave.  
Routtwn, MO 64138  
816-699-4239  
10777 Bartley, Suite 220-I  
Overland Park, KS 66217  
913-652-9002

Job No. 20-0209, June 14, 2020  
The Landings At Stone Creek Twelfth Plat.dwg

SHEET 1 OF 1