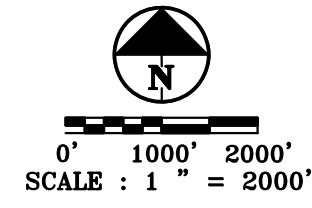
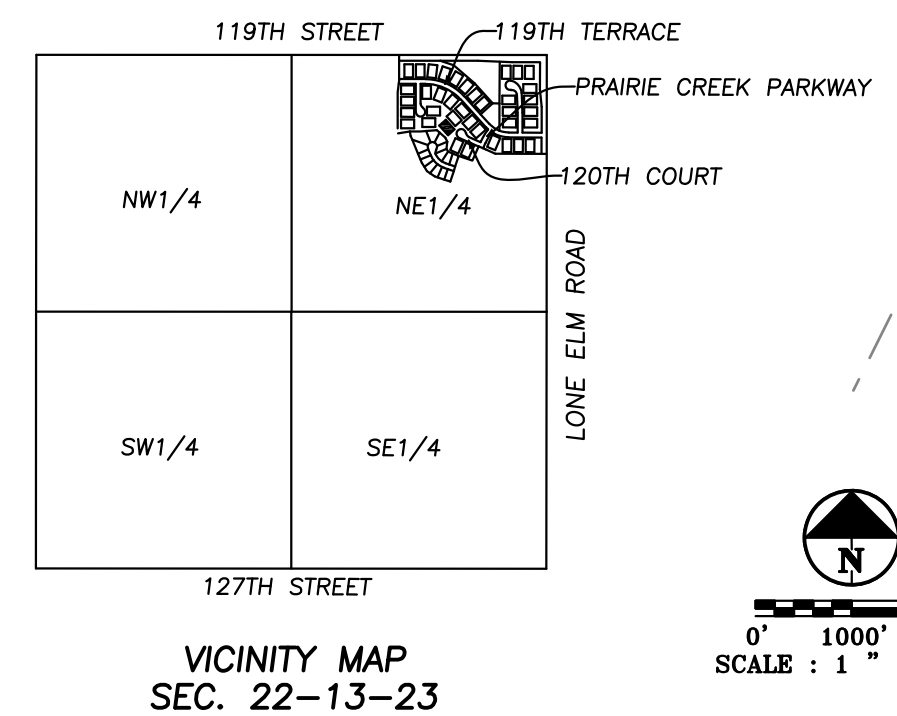
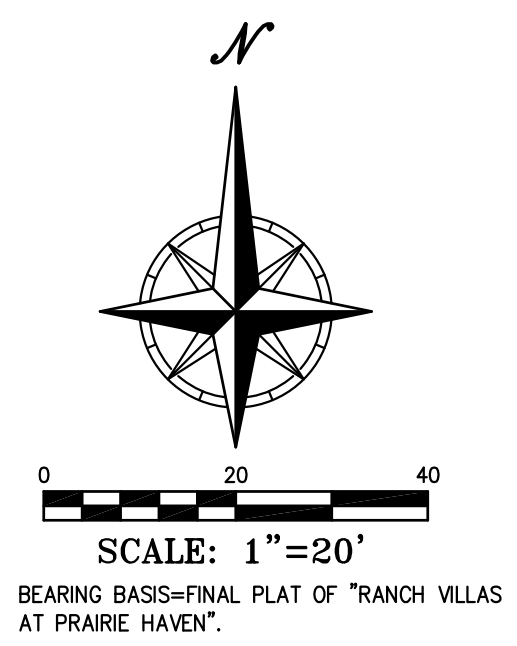
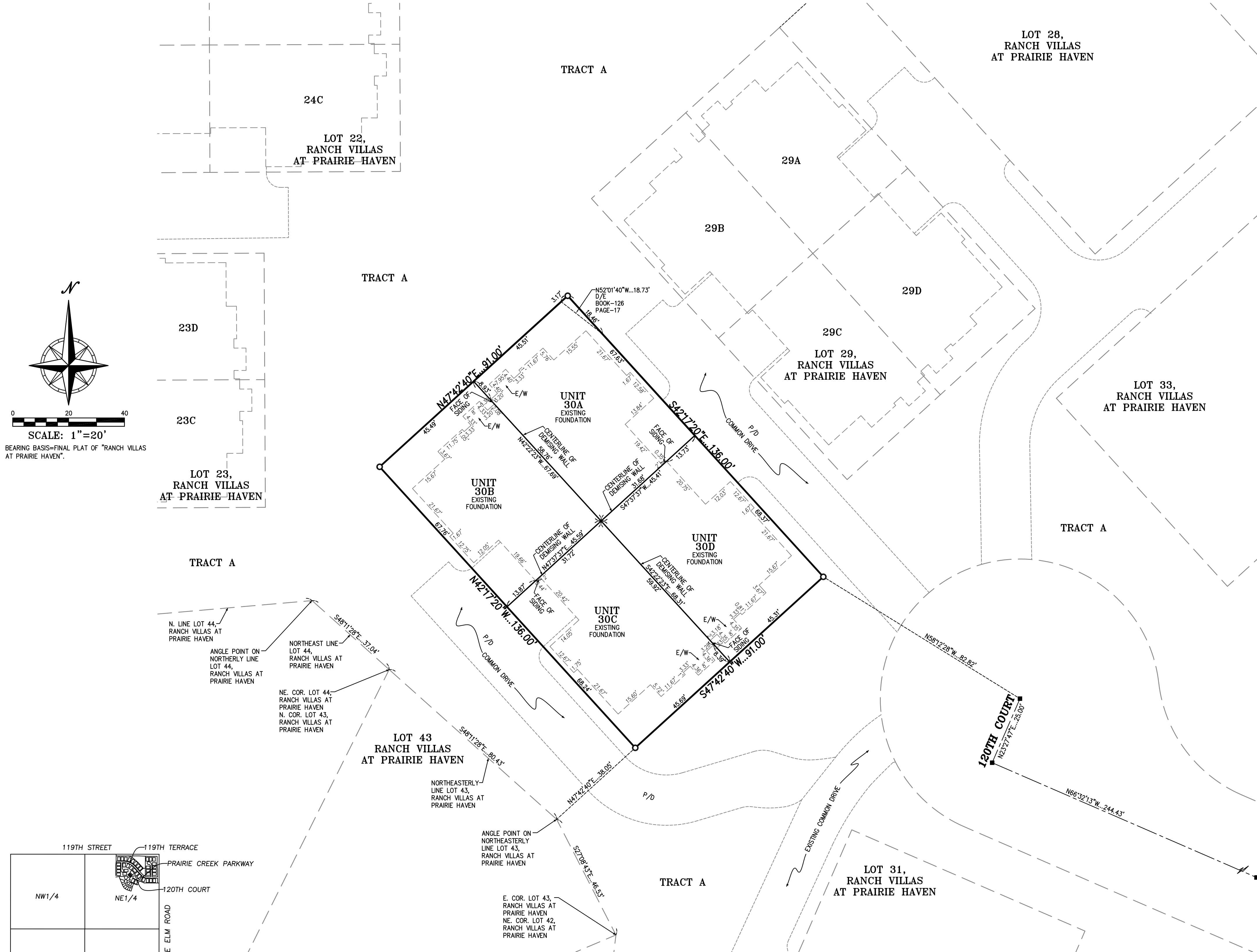


FINAL PLAT OF
**RANCH VILLAS AT PRAIRIE HAVEN,
LOT 30**

A RESURVEY AND REPLAT OF LOT 30, RANCH VILLAS AT PRAIRIE HAVEN,
A SUBDIVISION OF LAND IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS



LEGAL DESCRIPTION

A resurvey and replat of Lot 30, RANCH VILLAS AT PRAIRIE HAVEN, a subdivision of land in the Northeast Quarter of Section 22, Township 13 South, Range 23 East, in the City of Olathe, Johnson County, Kansas, containing 0.2841 acres, more or less of replatted land.

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereafter be known as "RANCH VILLAS AT PRAIRIE HAVEN, LOT 30".

DEDICATION

The undersigned proprietors of the property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, avenues, and alleys, not heretofore dedicated.

The undersigned proprietors of said property shown on this plat do hereby certify that all prior existing easement rights on land to be dedicated for public use and public ways and thoroughfares running to any person, utility, or corporation have been absolved except that same person, utility or corporation shall retain whatever rights they would have as if located in a public street.

CONSENT TO LEVY

The undersigned proprietors of the above described tract of land hereby agree and consent that the Board of County Commissioners of Johnson County, Kansas, and the City of Olathe, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall remain a lien on the remainder of this land fronting and abutting on said dedicated public way or thoroughfare.

RESTRICTIONS

All lots, parcels, tracts and properties in this subdivision shall hereafter be subject to the Declaration of Restrictions for "Ranch Villas at Prairie Haven", which instrument is recorded in the Office of the Register of Deeds of Johnson County, Kansas, and which shall hereby become a part of the dedication of this plat as though fully set forth herein.

EXECUTION

IN TESTIMONY WHEREOF, PRIEB HOMES, INC., has caused this instrument to be executed by its Member this _____ day of _____, 20____.

Gregory D Prieb II, President

ACKNOWLEDGEMENT

STATE OF KANSAS)
COUNTY OF JOHNSON)SS

BE IT REMEMBERED that on this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for said County and State, came Gregory D. Prieb II, President of Prieb Homes, Inc., who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said Company, and said person duly acknowledged the execution of same to be the act and deed of said company. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

NOTARY PUBLIC: _____ My Appointment Expires: _____

Print Name: _____

APPROVALS

APPROVED by the Planning Commission of the City of Olathe, Johnson County, Kansas, this _____ day of _____, 20____.

Chairman: C.S. Vakas


LOT AREAS		
PARCEL	AREA (S.F.)	AREA (AC.)
30A	3075.70	0.0706
30B	3084.42	0.0708
30C	3116.10	0.0715
30D	3099.78	0.0712
PLAT BOUNDARY	12376.00	0.2841

- LEGEND**
- DENOTES SET 1/2" X 24" REBAR W/PHELPS CORP CLS-82 PLASTIC CAP IN CONCRETE
 - DENOTES FOUND 1/2" REBAR FOUND IN CONCRETE (UNLESS NOTED OTHERWISE)
 - DENOTES FOUND MAG. NAIL FROM ORIGINAL CENTERLINE CONTROL POINTS SET BY GREEN ENGINEERING SERVICES ON MARCH 14, 2002
 - E/W DENOTES EGRESS WELL
 - P/D DENOTES PROPOSED DRIVE PER APPROVED SITE PLAN
 - D/E DENOTES DRAINAGE EASEMENT

I, Thomas Dwayne Phelps, hereby certify that in June 2020, I or someone under my direct supervision have made a survey of the above described tract of land and the results of said survey are correctly represented on this plat.

THOMAS DWAYNE PHELPS
LICENSED
LS-1075
KANSAS
LAND SURVEYOR

Thomas Dwayne Phelps, Kansas R.L.S. # 1075



PLANNING
ENGINEERING
IMPLEMENTATION

PHELPS ENGINEERING, INC.

1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166